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Appendix A: Community Input

1. Executive Summary of Focus Group Findings
2. Executive Summary of Community Wide Survey Findings
3. Summary of Community Leader Interviews
4. Population/Demographics

Focus Group Summary Report



Submitted to the

Quincy Park District ***Quincy, Illinois***



by

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Quincy Park District

Focus Group Summary Report

Overview and Methodology

On behalf of the Quincy Park District, Leisure Vision facilitated a total of four focus groups with City of Quincy residents in January and February of 2011. The purpose of the focus groups was to gather citizen feedback regarding the Quincy Park District. Input from the focus groups will be used to help develop a citizen survey that will be administered throughout the City of Quincy in the spring of 2011.

Two focus groups were conducted on January 25th, and two more were conducted on February 17th. Focus group participants were randomly selected from households in different geographic locations of the City. The first focus group on January 25th was attended by participants living in the northeast area of the City, and the second focus group was attended by participants living in the northwest area of the City. On February 17th, the first focus group was attended by participants living in the southeast area of the City, and the second focus group was attended by participants living in the southwest area of the City.

A total of 59 residents attended the four focus groups. The sessions were between 90 – 105 minutes long and were moderated by Ron Vine, President of Leisure Vision.

Three major topics were discussed during the focus groups:

- 1) Current park system
- 2) Vision of the future park system
- 3) Funding the future park system

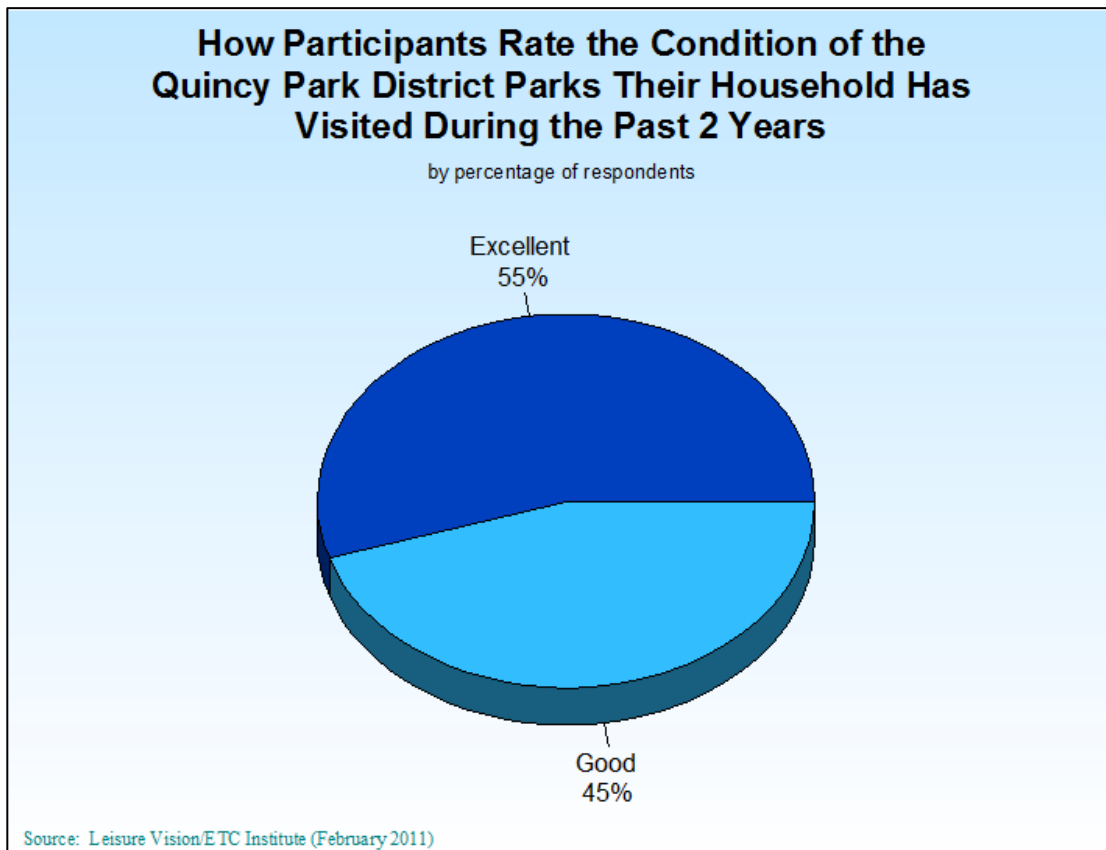
The following pages contain a summary of the comments that were provided by focus group participants.

TOPIC #1: CURRENT PARK SYSTEM

Focus group participants were asked questions regarding the current park system of the Quincy Park District, including parks, programs and revenue facilities. Listed on the following pages are comments that were provided on various topics related to the current park system.

Question #1: Focus group participants were asked if any members of their household have visited Quincy Park District parks in the past two years. Participants that have visited parks were asked to rate the condition of the parks they have visited.

- Ninety-eight percent (98%) of participants have visited Quincy Park District parks in the past two years.
- Of the participants that have visited Quincy Park District parks in the past two years, 55% rated the parks as “excellent” and 45% rated them as good. No respondents rated the parks as “fair” or “poor”.



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Question #2: Focus group participants who have visited Park District parks in the past two years were asked to indicate what facilities their household uses at the parks. Listed below are the comments that were provided.

- I walk my dog weekly on the trails at Wavering Park. The park is always very clean and well maintained. I always see a park ranger or police patrolling the area, so I feel safe there. It's a really nice park.
- There are some parks that could use more trees. Bob Mays Park is nice but needs shade by some of the new equipment.
- Our last two family reunions were at parks. Overall our experience was really good, but I was disappointed that trash cans were not provided.
- There are a lot of parks in Quincy that are old but nice.
- I took my cousins sledding at South Park and they loved it. The park was really clean and seemed safe.
- The Blues in the Park in the summer time at Washington Park is awesome.
- We've used parks for birthday parties and family reunions, and we really like them.
- The recent additions they've made at Washington Park are very nice. The kids have a great time playing in the fountains. The new restrooms are nice also.
- We have a lot of parks for a city this size. I wonder if there are too many for the Park District to maintain.
- South Park is great, but it has a lot of space, and I think it should be utilized for more special events.
- I like going to the concerts at the parks. I used to go all the time when my kids lived at home.
- Reservoir Park is the park I like the most. I really like the open fields for baseball and softball, and the park shelters.
- I really like the trails at South Park. There are markers along the trail that tell you how far you've walked. I also like that I can keep an eye on my kids while I'm on the upper trail.

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- We really like Bob Mays Park. Our kids fly kites and have fun on the playground equipment.
- My daughter loves Madison Park, but I wish it had swings.
- We grew up playing at Sunset Park and it was great, but it needs more playground equipment.
- I like the new walking trails at Bob Mays Park. The only problem is that it floods when it rains a lot and you end up walking through water.
- We've used Bob Mays and South Park for birthday parties and family reunions. They're great, except the trash receptacles are hot and have a lot of bees in the summer.
- I especially like the parks for open space.
- Bob Mays Park is great, but it's really hot and there are no trees.
- The concerts at Madison Park are really good.
- I would like to see Quinsippi Island fixed up like it was when I was a kid. It seems like they've really let it go, and I think more people would use it if it were improved.
- We use Quinsippi Island all the time. It's in a great location and I have a lot of great childhood memories of playing down by the river. But it does seem like safety could be a bit of an issue sometimes, so I'd like to see that improved.
- I've gone to various parks for employee picnics and family gatherings.
- One of our family's hang-outs has been Quinsippi Island.
- I coach youth baseball, and we use Boots Bush Park quite a bit. One thing that's disappointing about the park is that when it rains it retains water. It's especially bad behind 1st and 3rd base, and takes 3-4 days to dry.
- I've attended classes at the Women's City Club.
- My wife and I have attended Date Night at Wavering Park and had no complaints.
- We like to go to the parks just to walk.

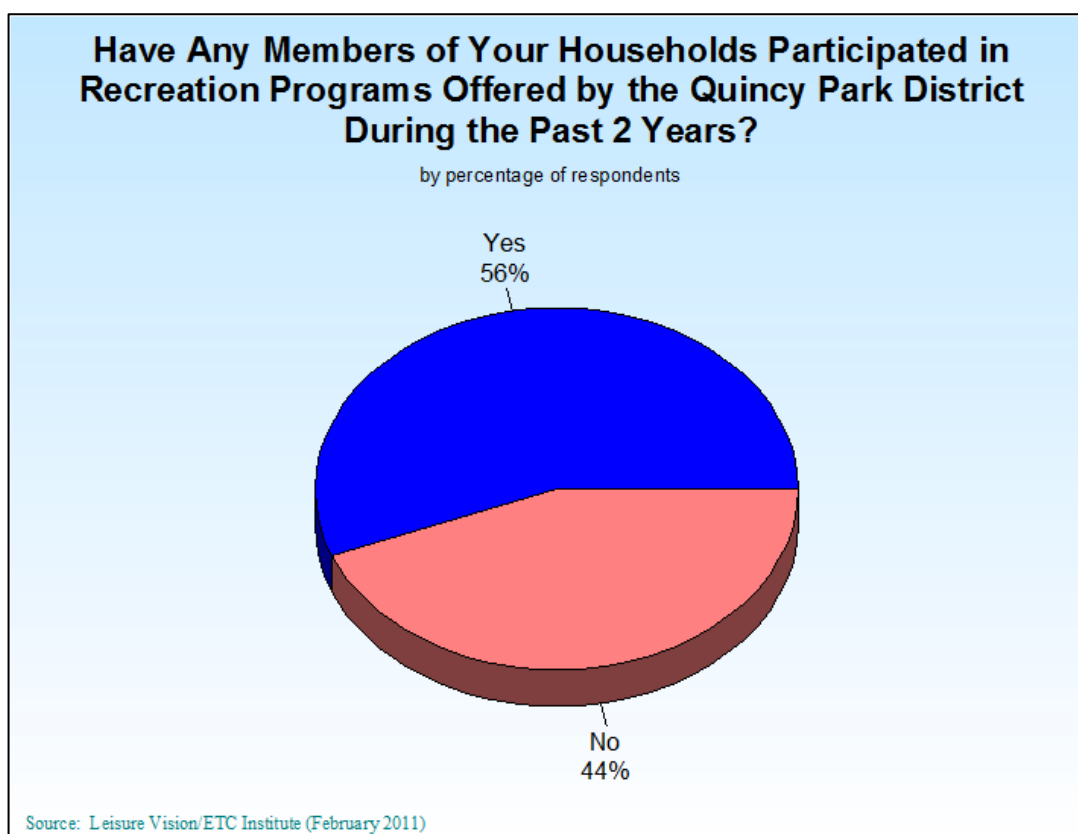
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- There are a lot of special events at various parks that I like to go to.
- I've enjoyed going to Moorman Park, especially for softball and other recreation activities.
- I go to a lot of these parks on a regular basis, especially Washington Park. I like to just sit down and relax, feed the squirrels, feed the birds, and people watch.
- I've really enjoyed all of the parks I've been to. We've had family gatherings at parks, and I really enjoy watching the kids play on the equipment and play baseball.
- The Indian Mounds Pool is great, for both kids and adults.
- I like to fish a lot, and I really enjoy taking my kids fishing.
- I use the parks mainly to walk my dog, and I really enjoy it. I do wish there were more trash cans along the walking trail though.
- My wife and I use the walking at South Park pretty often.
- We enjoy all the parks, and we especially enjoy going to Quinsippi Island and walking along the river with our kids and the dog.
- I use the trails at South Park all the time. It's a great place to relax and take our dog for a walk.

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Question #3: Focus group participants were asked if any members of their household have participated in any programs offered by the Quincy Park District in the past two years.

- Fifty-six percent (56%) of participants have participated programs offered by the Quincy Park District parks in the past two years.



Question #4: Focus group participants who have participated in Park District program were asked to indicate the programs they've participated in. Listed below are the comments that were provided.

- We've participated in Calls for Santa. I think this is a great program that the Park District offers for kids.
- We really like the outdoor concerts at Madison Park.
- We used to shoot archery at the range, but now you need a pass and the hours that it's open are more limited than they used to be.

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- We've used the dive-in movies at the pool, where you could watch a movie while sitting on a raft. Our kids loved it, but I don't think they have it anymore.
- My kids did the Letters from Santa, and really liked it.
- Our kids took swim classes and fitness classes.
- Tae-Kwon Do classes are great for stay-at-home moms or people who have transportation, but with my work schedule I can't participate because the classes are over before I get off work.
- My son is in special education programs. The staff understands his needs, and it's a huge help to me when I'm working during the day.
- Our kids have participated in youth baseball and golf at Washington Park.
- The mother/son date night was nice. Also, my daughter participated in the babysitting class and really enjoyed it.
- Our daughter's participated in the tiny-tots T-ball, and she really liked it.
- The Storytelling by the Campfire is great. Even though my kids are older we still go. The attendance is pretty low, and I think a lot of people just don't know about it, which is a shame.
- I've participated in the low impact fitness exercise and family fun concerts at Madison Park.
- I've participated in the fishing clinics for kids. We were teaching kids how to fish, and there were a lot of kids that had never fished before. It was great – a lot of fun.
- My daughter has gone to the teen pool parties with her friends, and they had a great time.
- I've enjoyed the programs that I've participated in, but I'm not aware of most of these programs. The Park District should do more marketing to create awareness for these programs.
- The outdoor concerts at Washington Park are just a blast. A lot of people attend and everybody really seems to enjoy themselves. It's free, a lot of fun, and it's a great of the City of Quincy. It also gets people downtown. It's really fantastic.

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- There's a growing music scene in Quincy, and I'd like to see more free music available.
- It's great that the Park District offers so many programs, but I wonder if there's really a need for this many programs, and if the Park District can afford to offer this many programs.
- The Park District needs to improve their use of technology. I'm 25 years old, and everybody my age or younger has grown up with a computer in their hands. I know the Park District has a website, but it's somewhat limited and there was no mention of Facebook on it. Maybe they could also do some advertising with Google.
- I love the outdoor concerts.

Question #4a: Focus group participants who have not participated in Park District programs were asked if there are any particular reasons they did not participate in the programs. Listed below are the comments that were provided.

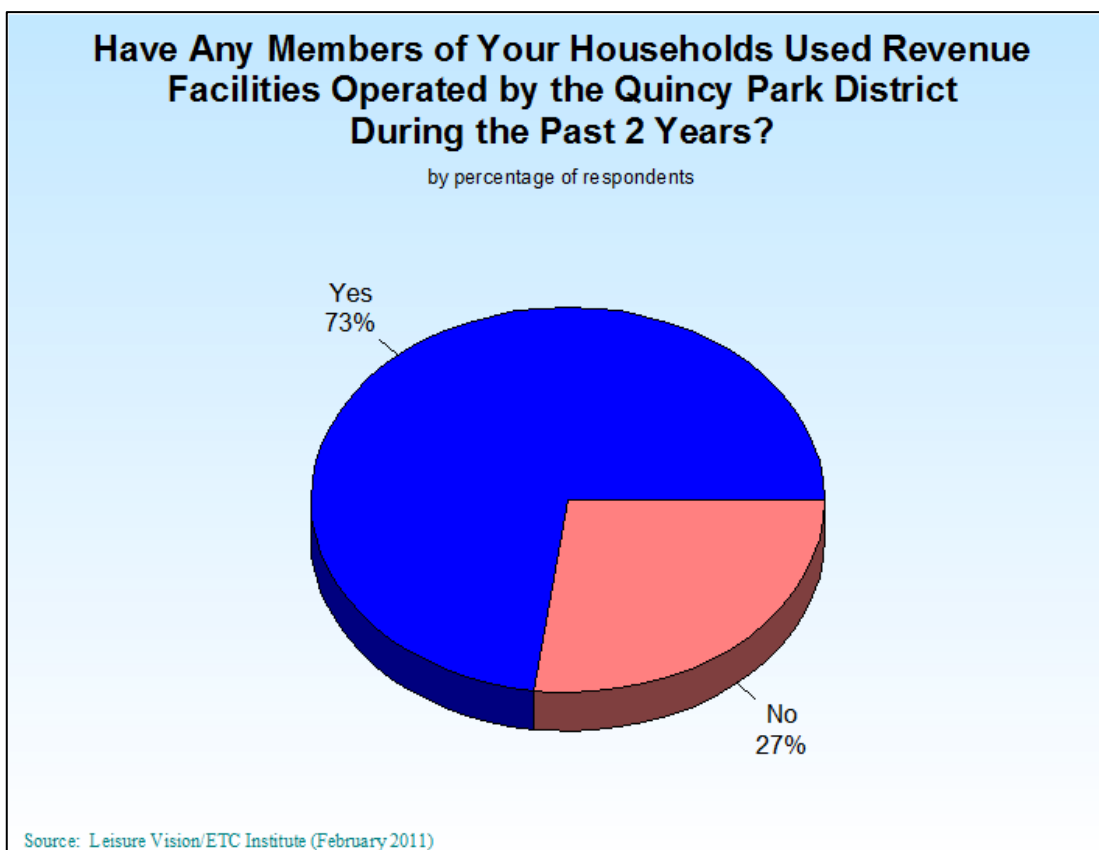
- There are other providers that I use.
- There aren't many programs available for people my age (18 years old) that I'm interested in.
- I think that lack of transportation is a problem for a lot of people. Buses don't run after 6pm.
- There aren't as many programs available in the evening, and I work during the day.
- I haven't heard of most of these programs. The Park District should advertise more.
- When I was a kid I participated in a lot of these programs, and I didn't even know these programs were offered anymore.
- We're just too busy to participate in programs, and we already participate in library programs.
- I wasn't aware of most of the programs the Park District offers.
- The YMCA is established as a community provider. They have a new facility, it's one location, and people know what it is and what it offers.

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- There is a lot more to do in Quincy now than there was when I was kid, not just the Park District but other providers, so I think we've spread ourselves really thin.
- If the Park District offered more programs for stay-at-home moms I would probably participate in more programs.
- I didn't know what the Park District offered. I'm surprised at how many programs they offer.

Question #5: Focus group participants were asked if any members of their household have used any revenue facilities operated by the Quincy Park District in the past two years.

- Seventy-three percent (73%) of participants have used revenue facilities operated by the Quincy Park District in the past two years.



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Question #6: Focus group participants who have used Quincy Park District revenue facilities were asked to indicate which one they've used. Listed below are the comments that were provided.

- The Westview Golf Course is very nice, but it's a little overcrowded in the summer because there seems to be a lot of leagues, tournaments, high schools, etc. It can be especially difficult for a non-member to find time to play.
- We love the batting cages and miniature golf. It's great that the Park District offers these facilities.
- I really like the batting cages and miniature golf, but sometimes it's overcrowded, especially on weekends.
- I really like the golf course, but I wish there were more park rangers to push play along faster.
- There's a lot to do in the spring, summer, and fall, but there's really nothing to do in the winter. I would like to see an ice-skating rink.
- I've gone to the Wavering Aquatic Center a few times, and I really like it.
- I've taken my kids to Indian Mounds Pool. We really like the zero depth entry and water slides, but the pool does get crowded.
- Wavering Pool is nice, but it is expensive.
- I've played miniature golf with my friends, and it was really fun.
- The batting cages are great, and the miniature golf course is as good as I've ever seen, even when compared to bigger cities like Chicago and St. Louis.
- I went to the Westview Golf Course a few times last year, and it was really nice, but it's too expensive.
- I don't like Wavering Pool. It doesn't seem very clean to me, especially the baby pool.
- Miniature golf is great, but it's really overcrowded. You have to wait so long to play. It would be great if there were more places like this, because it's great family fun. The batting cages are great also.

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- I don't go to Waverling Pool because it's too expensive, and it seems like kids are allowed to run around out-of-control.
- We used a golf pass for kids this summer, and it's great, and it's affordable. We really liked it.
- I like the Westview Golf Course, but it seems like the maintenance has slacked off recently.
- One thing that I think Quincy needs is a good driving range. The Westview Golf Course is great, but I wish there was a place that was dedicated only to a driving range.
- I like the Indian Mounds Pool. The gentle slope entry and shaded areas are great for my family.
- The miniature golf is great. We really like it, but it is overcrowded sometimes.
- I think that Westview Golf Course is in always in great condition, and is well worth the money if you have a pass, but probably not if you pay per visit. I would like to see a park ranger there to move play along though.
- Our family uses the miniature golf and batting cages a lot, and we really like it. It makes for a great family outing.

TOPIC #2: VISION OF THE FUTURE PARK SYSTEM

Focus group participants were asked to think about improvements the Quincy Park District could make to its current park system over the next five years that would improve the system for their household. Listed on the following pages are comments that were provided on various topics related to the future park system.

Question #7: Focus group participants were asked to indicate the most important major improvements the Quincy Park District could make to parks, trails, recreation, and sports facilities for their household. Listed below are the comments that were provided.

- We could use more winter sports and activities. There isn't a lot to do in the winter.
- I'd like to see an indoor ice-rink.
- I think that having a minor league baseball team would be great. We would need to find a way to get new stadium though.
- There are batting cages and miniature golf available on the south side of town, but I'd like to see these offered on the north side also.
- Some trails are getting overgrown at South Park.
- They used to freeze the ponds in the winter for ice skating, and it was great. I'd like to see them do that again.
- They don't utilize the baseball field at Berrian Park anymore, so I think this would be the perfect place to flood in the winter and make into an ice rink.
- Restrooms at parks could be cleaner, and they close too early.
- I'd like to see the Park District add more swings at parks.
- There aren't enough lights along walking trails. There are some areas of trails where I don't feel safe.
- I wish we had an indoor ice rink.
- There is a lot of open space around trails isn't being utilized. I would like to see some of this space used to extend the walking and biking trails.

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- The Park District should focus on maintaining and improving regional parks. There are too many neighborhood parks that aren't used very often, and it seems like a waste of the Park District's resources.
- The Park District needs to make sure to keep up maintenance of parks and trails.
- I'd like to see more advertising about what programs/activities the Park District offers.
- I think we need more nature trails, especially by the riverfront.
- I'd like to see more walking and biking trails, and other athletic facilities and programs for middle age to older adults who want to stay in shape.
- I think the Park District wasted money on the fancy new trash cans that were added to all the parks. They're not user friendly at all.
- I'd like to see a nature center added to Quinsippi Island.
- We could use an ice skating rink. Fields at Berrian Park and South Park used to be flooded so we could ice skate there. Maybe the Park District could do something like that again.
- There is a lack of winter activities for kids.
- I think maybe the Park District should spend more money on improving outdoor parks and recreation facilities instead of after-school programming. It seems like other organizations are better suited to provide after-school programming.
- I've noticed that the Park District has been cutting down trees lately, and it doesn't seem like the trees are being replaced, and I think they need to be replaced.
- It would be great if the baseball diamonds had higher quality playing fields.
- We need to focus more on the kids and get them used to using the parks. We have too many kids that are couch potatoes and into video games. I like the stuff for adults also, but I think it's more important to focus on the kids.
- I don't think we need any more parks in Quincy. I love the parks and trails, but we already have too many to maintain.
- There needs to be better access for people with disabilities.

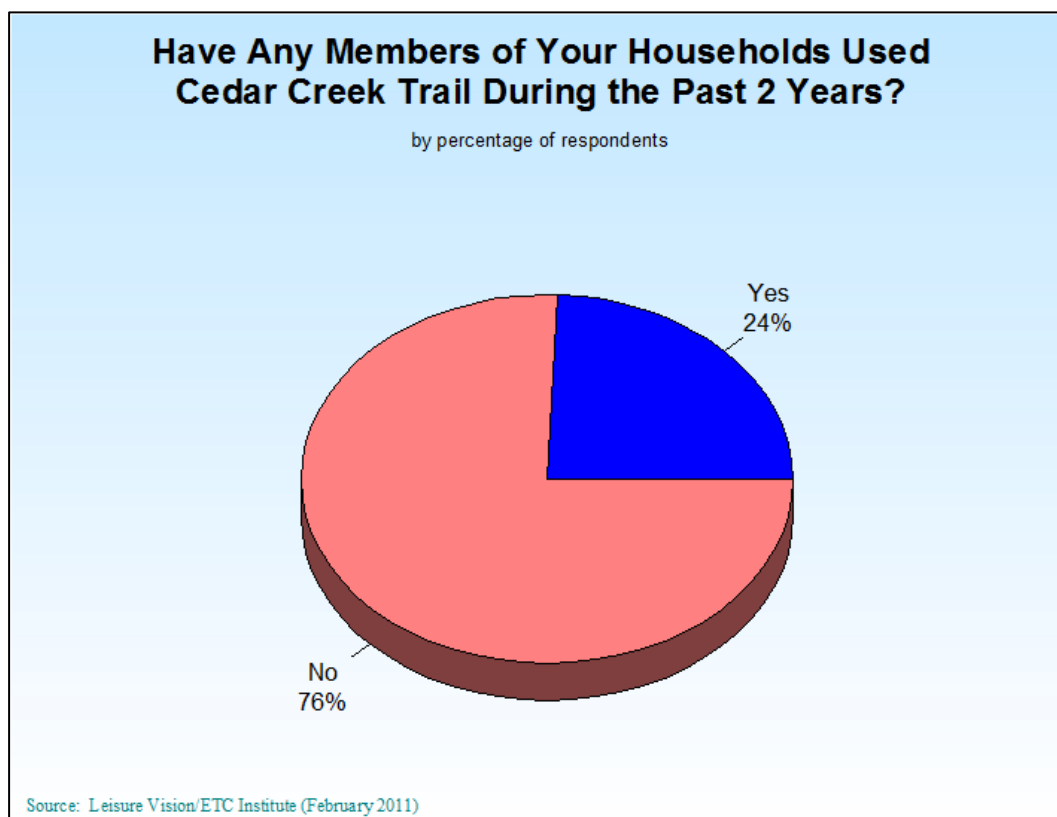
2011 Quincy Park District Focus Group Summary Report

- Some parks need to have more parking. Reservoir Park has very little parking. We had a family outing there this past year and there was not enough available parking.
- It would be helpful if there were volunteer groups to help the Park District clean up the parks. I would sign up if this were available.
- There aren't enough restrooms in parks, especially when they have concerts. There are only two restrooms available, and the line is always wrapped around the building.
- Parks have a lot of pretty places that I would like to have a picnic, but there aren't any benches, picnic tables or grills.
- We live near South Park, and there's not enough security in the area. We called the police recently because there were some suspicious people hanging around, and they never came. This happens repeatedly.
- I would like to see more security at parks.
- I think there's too much parkland for the Park District to maintain. The Park District should sell some of the land. I love the parks, but I think we have too much and it's too expensive to maintain.
- Sometimes there's a lot of trash at Indian Mound Park. I like to walk my dog in that area and I wish it were cleaner.

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Question #8: Focus group participants were asked if any members of their household have used Cedar Creek Trail in the past two years.

- Twenty-four percent (24%) of participants have used Cedar Creek Trail in the past two years.



Question #8a: Focus group participants were asked if they felt that Cedar Creek Trail should be extended to the Mississippi River. Listed below are the comments that were provided.

- The people I know who use the trail seem to think it's really nice.
- I think it would be a waste of money. It costs too much to maintain.
- I would love to see the trail expanded to the Mississippi River. My husband and I run on the trail all the time. They even clear the snow from the trail so you can use it year-round.
- The trail seems like it ends too soon. I think expanding the trails would make it much better.

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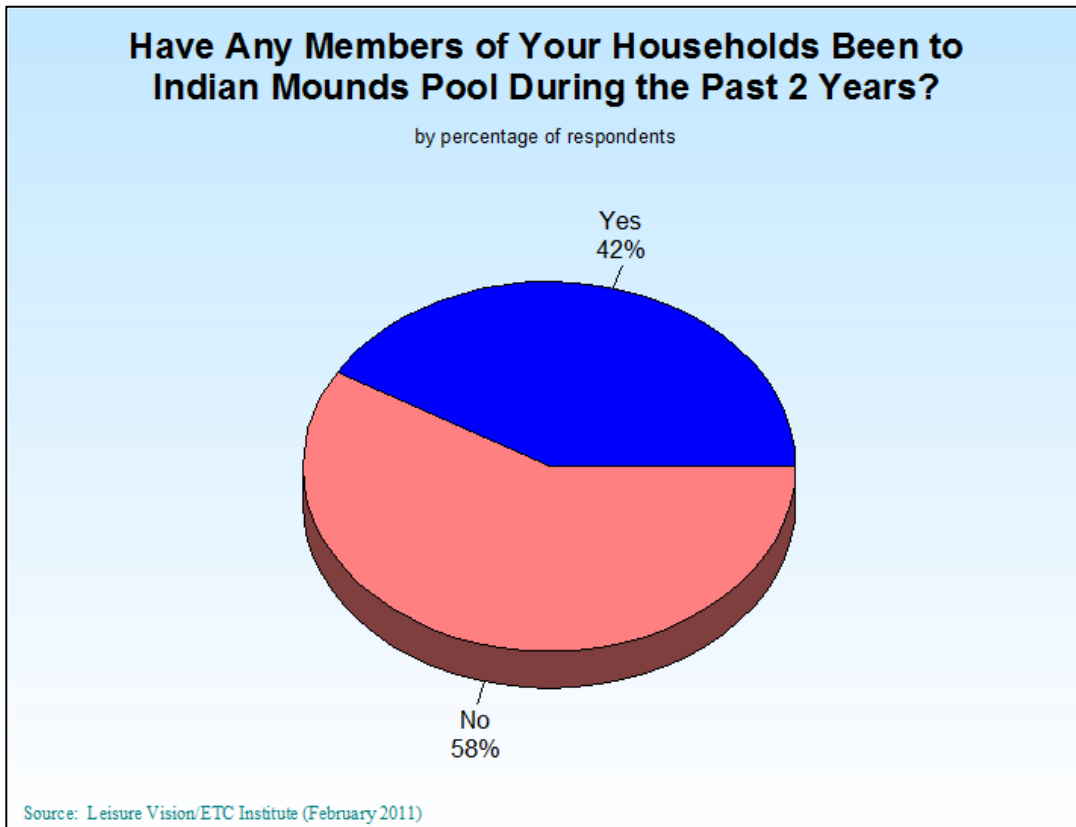
- I would use the trail more often it was expanded.
- The trail is too narrow as it is, and I think it would be too expensive to expand it.
- I'd rather see the money spent on maintaining and improving parks that are used the most frequently rather than expanding Cedar Creek Trail.
- Quincy is known as the "river city", so I think we should embrace this idea. It would be great to extend the trail to the Mississippi River. I'd also like to see some attractions and events added along the river to promote the heritage of our city and maybe bring in tourism.
- I think this is a great idea. It would encourage people to use the trail to get to the river parks. More people using the river parks would also justify the Park District spending more time maintaining these parks.

Question #8b: Focus group participants were asked if they felt that Cedar Creek Trail should be extended to 36th street. Listed below are the comments that were provided.

- I've been on the trail with my grandson, and it doesn't seem like it's used by as many people as I expected. I also have some concerns with safety, because parts of the trail are really isolated.
- I've enjoyed using the trail, but it seems like people living between 12th street and 18th street are not happy with it being there.
- I've heard that if the trail is extended to 36th street it will have to be put in people's yards. I definitely don't think that is a good idea.
- If the trail goes all the way to 36th street, it will run really close to my back yard, and it will give people a reason to be there. I don't want people that close to my yard.
- The trail is pretty popular, so I think expanding it to 36th street is a good idea.
- I like the trail, but I think safety would be a concern if the trail were expanded too far. The trail would be far away from people in some areas.
- There are a lot of parks in Quincy, especially compared to other cities. We should maintain what we have instead of adding parks or trails.

Question #9a: Focus group participants were asked if any members of their household have been to Indian Mounds Pool in the past two years.

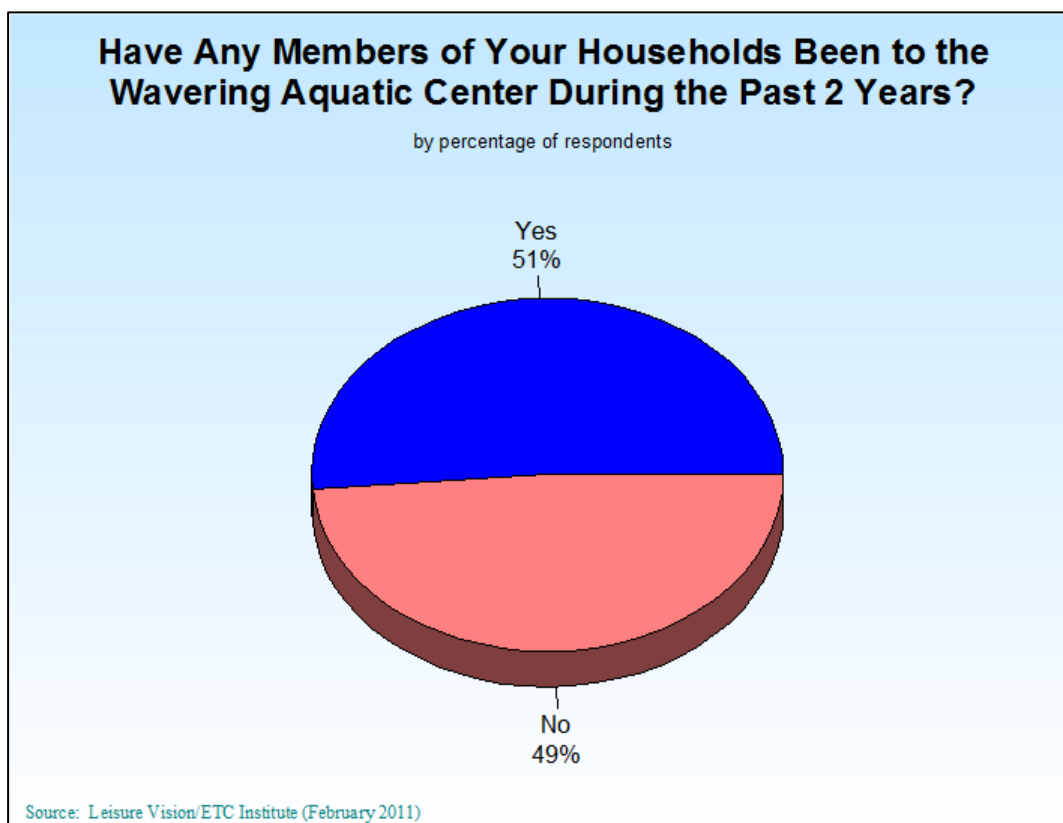
- Forty-two percent (42%) of participants have been to Indian Mounds Pool in the past two years.



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Question #9b: Focus group participants were asked if any members of their household have been to the Wavering Aquatic Center in the past two years.

- Fifty-one percent (51%) of participants have been to the Wavering Aquatic Center in the past two years.



Question #10: Focus group participants were told that Indian Mounds Pool is relatively new, but the Wavering Aquatic Center is near the end of its lifespan. Participants were then asked to indicate their opinion about the possibility of the Quincy Park District closing the Wavering Aquatic Center and operating only Indian Mounds Pool. Listed below are the comments that were provided.

- I don't use the pools, but I think it's important for the kids. I'd rather kids swim in the pools than in the river.
- The pools are located in opposite ends of town, so we need both pools.
- Transportation would be an issue if Wavering was closed. Right now the pools are on opposite ends of the City.

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- I'd much rather invest in the pools than in new trails.
- It's worth the money to keep both pools open.
- I don't think it's a good idea to close Wavering. Sometimes the pools are already overcrowded, so it would be way too crowded if Indian Mounds was the only pool available.
- Quincy is too big of a city to have only one pool.
- A lot of kids like to walk to the Wavering Aquatic Center. It gives kids in the neighborhood something to do and keeps them out of trouble.
- We can only swim outdoors three months out of the year in Illinois, so the costs of maintaining two pools might not be worth it.
- I think the pools are too small to have just one. Indian Mounds in particular is definitely too small to be the only outdoor pool in Quincy.
- There are other pools in Quincy that people can use, so I don't the Park District needs to have two pools.
- Indian Mounds is too small even with Wavering open. We need to fix Wavering and keep it open.
- I think Quincy probably needs two outdoor pools, so it makes sense to fix Wavering. But I if the Park District does this they should raise the rates at Wavering.
- I don't think the rates at Waverly should be raised. It's too expensive already.

Question #11: Focus group participants were told that the Salvation Army is going to build a \$25 million indoor community center and the YMCA is considering expanding its facility. Participants were then asked if they feel that indoor programming in Quincy is adequately provided by other organizations or if there is a need for additional programming that the Park District should provide. Listed below are the comments that were provided.

- The Park District should wait and see what the Salvation Army and YMCA are building before adding any programming.
- I don't think the Park District should duplicate what is already provided elsewhere.

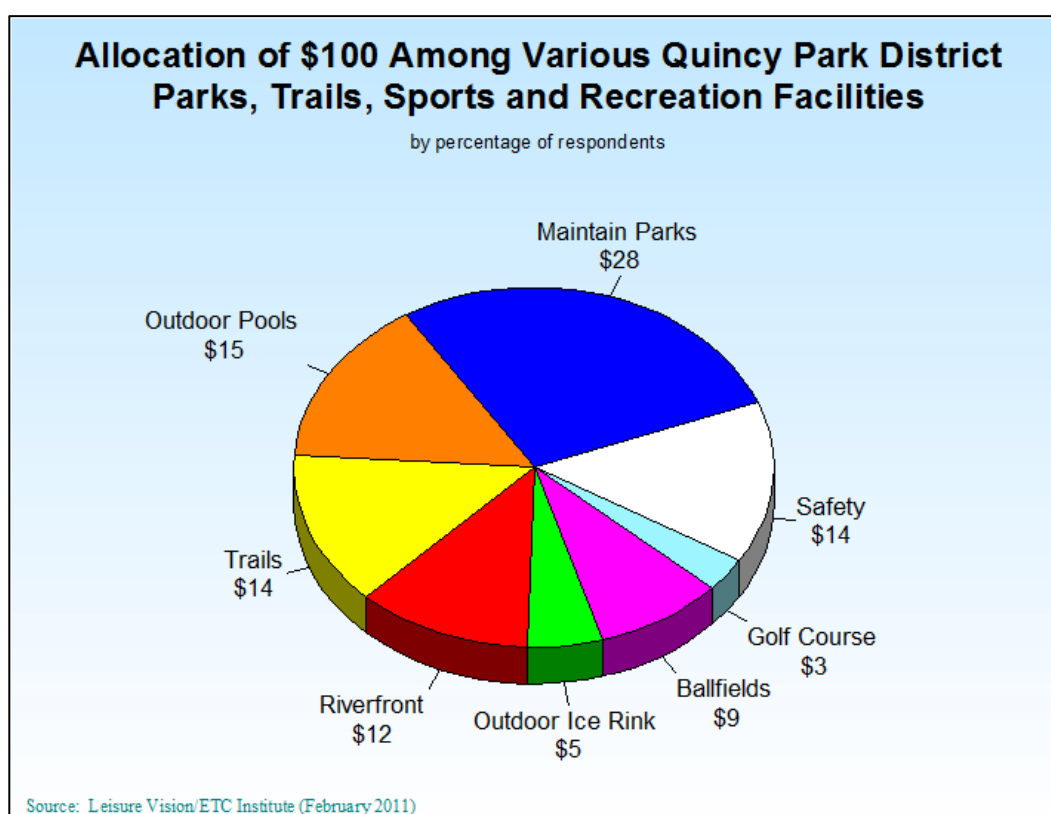
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- I think duplication of is okay if it serves a different demographic and is located in different parts of the City. When I was a kid it was hard to get to all of the parks and programs you wanted to use because everything was so spread out.
- Even with the Salvation Army and YMCA, the Park District could still offer classes in the evening. I don't think many other organizations are offering classes after 6pm.
- I could be wrong, but I think you need a membership to use the YMCA, and will also need one for the Salvation Army. I like being able to pay per visit at the Park District, instead of committing to a monthly or annual membership.
- I don't think it makes sense for the Park District to compete with the Salvation Army for providing indoor facilities.
- The Park District should focus mainly on outdoor parks and facilities, and let other organizations provide indoor programs and facilities.
- There's no way the Park District can compete with brand new indoor facilities at the Salvation Army and YMCA. It would be a waste of money to try to compete with them.
- I would use whatever it is closest to my house. I don't care who the provider is.
- The new Salvation Army community center is going to be great, and have state of the art programs and facilities. It wouldn't make sense for the Park District to compete with them in providing indoor programming.
- The new Kroc Center will take care of lower income residents, so there's really no need for the Park District to try and duplicate these services.
- It seems like the Park District already has tons of programs. I think the Park District might even want to consider getting rid of some programs, not add more.
- I think it would make sense for the Park District to partner with the YMCA for baseball, softball and tee-ball leagues. Each organization is okay at best on their own, but if they were combined there would be so many more fields available to use and teams to play against.

TOPIC #3: FUNDING THE FUTURE PARK SYSTEM

Focus group participants were asked questions related to funding the future Quincy Park District park system. Listed on the following pages are comments that were provided on various topics related to funding the future park system

Question #12: Focus group participants were asked to allocate \$100 among various parks, trails, sports, and recreation facilities that the Park District could concentrate on over the next five years. Listed below is the average amount that participants allocated to each area, and the comments that were provided.



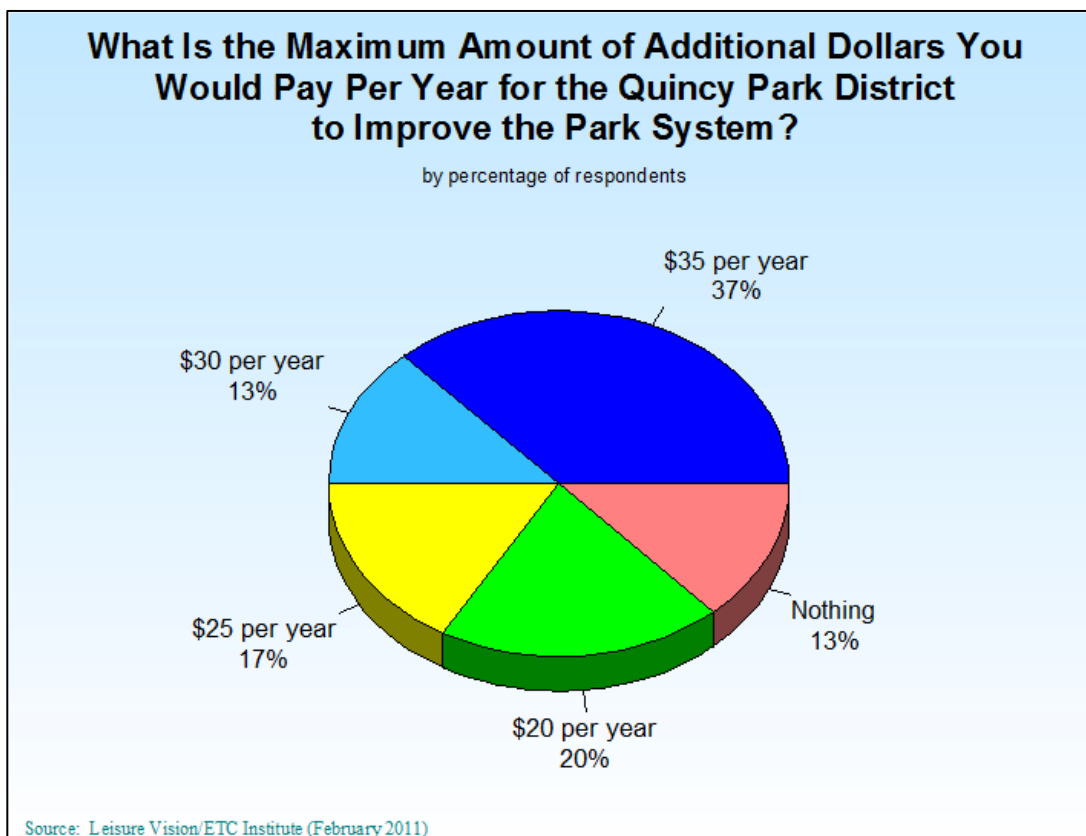
- Maintenance of some parks and Wavering Pool are starting to slide. It's important to maintain these.
- The number of parks and quality of parks is a big draw to Quincy among new residents that I've talked to. I wouldn't want to lose that image of the City by not keeping parks maintained.
- Sunset Park and Parker Heights Park don't get used as much as they used to, and they are in isolated areas that can be dangerous.

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- Restrooms need to be maintained better.
- I think trails are really important to the City, and a lot of people use them.
- Parks are important, but should we be spending more money on them, especially in this economy? I think maybe we have too many parks already that are too costly to maintain.
- I really like the idea of extending Cedar Creek Trail.
- There are a couple of parks that are really small and not well maintained. I don't think we need these really small parks that don't get much use.
- I think the overall maintenance of parks is the most important thing to focus on. Maybe add some shade and parking to some parks also.
- Sunset Park is great has nothing but trees. I'd like to see some playground equipment added.
- I wish there were swings at Bob Mays Park.
- I think it's more important to maintain and improve what we have before we build new facilities.
- Trails promote wellness in the community and they're good for all ages.
- I think that safety is really important. There are some walking trails in secluded areas, and this could be especially dangerous when it's dark in the mornings and evenings.

2011 Quincy Park District Focus Group Summary Report

Question #13: Focus group participants were told that the Park District currently has room within its current bond fund to invest about \$3.5 million in park improvements, and that investing this money would cost about \$35 more per year for five years for the average household in Quincy. Participants were asked how they felt about the Park District using this money to improve the park system. Listed below is the amount per year that participants would be willing to pay for improvements to the park system, and the comments that were provided.



- The pools are a necessity because they're really important to the kids, but anything else we can cut back on.
- I think an indoor ice arena would be great, but it's too expensive to maintain. It's too much for a city the size of Quincy to handle.
- Now is not the time to pay additional money for park improvements, even if it is only \$35 a year.
- The Park District should first consider maintaining what they have before investing in new things.

2011 Quincy Park District Focus Group Summary Report

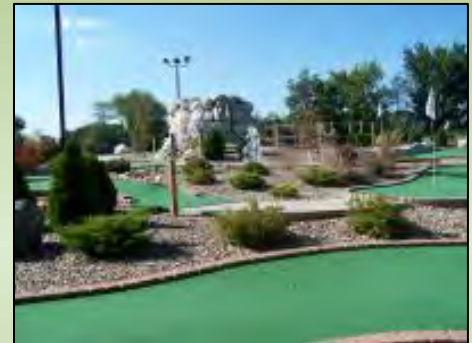
- I would rather give extra money to the schools.
- I think maybe we already have too many parks to maintain. Maybe we should get rid of some of the parks that aren't used as frequently, and spend the money on more important things that are used a lot.
- It seems like a high percentage of tax dollars are already allocated to the park system.
- Some of the parks are so small that they don't even have picnic tables. Maybe we don't need those parks.
- I love the parks, but I wonder if some other areas in the City need the money more, especially in this economy.
- It would be helpful if more transportation was offered to Park District facilities.
- If the Park District did more advertising I think it would really increase awareness and usage. I think a lot of people don't know what the Park District offers.
- I think it would make sense for the Park District to consider partnering with businesses to provide programs, facilities, and services.
- I would support the additional \$35 a year if it's used to improve and maintain what we currently have.

Community Survey

Summary Report

Submitted to

The Quincy Park District



by

Leisure Vision
(a division of ETC Institute)
725 W. Frontier
Olathe, KS 66061
(913) 829- 1215

June 2011

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Section 1:
Management Letter

Leisure Vision

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Assisting Organizations & Communities in Making Better Decisions

June 1, 2011

Mr. Daniel Gible, Executive Director
Quincy Park District
1310 Washington
Quincy, Illinois

RE: MANAGEMENT LETTER FOR THE CITIZEN SURVEY

Dear Park Board Members and Staff:

The Park District Board and staff of the Quincy Park District should be congratulated for your leadership and proactive interest in conducting the "Community Attitude & Interest Citizen Survey".

Please accept this Management Letter as a brief summary of conclusions from the Citizen Survey. This management report is divided into the following four (4) sections: A) Methodology; B) Strengths and Opportunities for the Quincy Park District; C) Weaknesses and Threats for the Quincy Park District; and D) Final Conclusions.

A. Methodology

The Quincy Park District conducted a Community Survey during the spring of 2011. The survey was conducted to establish priorities and support for the future development of parks, trails, recreation facilities, programs and services within the community.

The survey was designed to obtain statistically valid results from households throughout the Quincy Park District. Leisure Vision guaranteed completion of 400 surveys. This would provide a 95% level of confidence with a margin of error of +/-5%. A goal of completing 87-119 surveys in each of the four sub-regional areas was also established for the survey. The survey was administered by a combination of mail and phone.

Questions on the survey were based on feedback received from 59 participants in four (4) focus groups held on the evenings of January 25 and February 3 in Quincy. Participants for the four (4) focus groups were recruited at random by Leisure Vision from four (4) quadrants of the City, those being the Northeast, Northwest, Southeast, and Southwest quadrants.

Leisure Vision mailed out surveys to a random sampling of 2,000 households within the Quincy Park District. To ensure that the goal of completing 87-119 surveys in each of the four sub-regional

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areas was accomplished, Leisure Vision identified the sub-regional areas by GIS tracking allowing for us to send out the required number of surveys to each sub-regional area.

Two days prior to receiving the mailed survey, each resident household receiving a survey received an electronic voice message, informing them about the survey and encouraging them to complete the survey.

Approximately 10 days after the surveys are mailed out, extensive phone follow-up was conducted either to encourage completion of the mailed survey or to administer the survey by phone. This approach (mail/phone) allowed for a higher percentage of households an opportunity to participate in the survey, effective control of the demographic sampling for the Park District to ensure that the demographic distribution of the survey matches the actual composition of the community and for Leisure Vision to guarantee the required return rate for the Park District as a whole and the sub-regional areas.

The goal was to obtain a total of at least 400 completed surveys, including at least 87-119 surveys from each of the four (4) quadrants. These goals were accomplished, with a total of 433 surveys being completed. 117 surveys were completed from households in the Northeast quadrant; 92 surveys were completed from households in the Northwest quadrant, 129 surveys were completed from households in the Southeast quadrant; and 95 surveys were completed from households in the Southwest quadrant. Results from the 433 surveys have a 95% level of confidence with a margin of error of +/-4.7%.

Results broken down by the four quadrants are included in the final report.

Additionally, survey results from key questions in the Quincy survey were compared to a “National Benchmarking Average” of more than 300 communities in over 40 states across the country, and also an “Illinois Benchmarking Average” including numerous Illinois Park Districts, such as Northbrook, Lake Bluff, Elk Grove, Wheeling, Gurnee, Schaumburg, Champaign, Urbana, Hoffman Estates, Woodridge, Glenview, Geneva, and others.

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B. Strengths and Opportunities for the Quincy Park District

The following are major strengths and opportunities for the Quincy Park District as indicated by survey respondents.

1. Park usage is extremely high. 95% of survey respondents indicated visiting Park District parks at least once within the past 12 months. This is significantly higher than the national benchmark of 72% or the Illinois benchmark of 77%.
2. Marketing through friends and family, newspaper advertisements, radio, and cable access television were all high. 49% of survey respondents indicated that one of their sources for receiving information regarding parks, trails, recreation programs and activities was by friends and neighbors. This is higher than the national benchmark of 41% and the Illinois benchmark of 36%.

32% of survey respondents indicated that one of their sources for receiving information regarding parks, trails, recreation programs and activities was by newspaper advertisements. This is higher than the national benchmark of 19% and the Illinois benchmark of 16%.

29% of survey respondents indicated that one of their sources for receiving information regarding parks, trails, recreation programs and activities was by radio. This is higher than the national benchmark of 10% and the Illinois benchmark of 6%.

21% of survey respondents indicated that one of their sources for receiving information regarding parks, trails, recreation programs and activities was by cable access television. This is higher than the national benchmark of 9% and the Illinois benchmark of 7%.

3. A small percentage of survey respondents use parks and recreation facilities or participate in programs in other cities. Only 1% of survey respondents indicated using parks and recreation facilities or participating in programs in other cities. This is lower than the national benchmark of 10% and the Illinois benchmark of 6% and shows growth opportunities for Quincy programs and facility usage.
4. Survey respondents have high needs for picnic areas, and shelters, riverfront parks, and scenic views. 69% of survey respondents indicated having a need for picnic areas and shelters. This is significantly higher than the national benchmark of 53% and the Illinois benchmark of 48% and indicative of the high usage of the Quincy Park District parks.
5. Quincy also has a high need for riverfront parks and scenic views. While Leisure Vision does not have benchmarking information on these two (2) facilities, the high need is indicative of the opportunities the Park District has in these areas.

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6. Overall satisfaction and value received from the Park District is high. 41% of survey respondents indicated they were very satisfied and 36% indicated they were somewhat satisfied with the value they receive from the Quincy Park District. This is significantly higher than both national and Illinois benchmarks

Nationally, only 26% are very satisfied and 35% somewhat satisfied while Illinois benchmarks are 31% very satisfied and 35% somewhat satisfied.

7. For the most part, survey respondents feel safe in parks. 87% of survey respondents indicated they feel very safe (36%) or safe (51%)
8. There is support for extending the Cedar Creek Trail from 12th Street to the Mississippi River. 62% of survey respondents are supportive of extending the trail, with 17% indicating they are not supportive and 21% indicating not sure. It is important for further education to occur particularly for those who are not sure.
9. There is support for extending the Cedar Creek Trail from 12th Street to 36th Street. 61% of survey respondents are supportive of extending the trail, with 19% indicating they are not supportive and 20% indicating not sure. It is important for further education to occur particularly for those who are not sure.
10. There is support for either building a new Wavering Aquatic Center or renovating the existing Aquatic Center. 46% of survey respondents indicated they would favor building a new Wavering Aquatic Center that will have more leisure features, with 24% indicating they would favor leaving the Wavering Aquatic Center open and renovating the 30 year old pool. Only 8% would close the Wavering Aquatic Center and have pool patrons use the Indian Mounds Pool. 22% are not sure.
11. There are four actions that at least 25% of survey respondents are most willing to fund with tax dollars. When asked what their three main choices of actions for the Park District to take, 30% indicated “upgrading existing neighborhood parks”, 30% indicated “extend Cedar Creek Trail to the Mississippi River”, 28% indicated “extend the Cedar Creek Trail to 36th street”, and 25% indicated “develop a new Wavering Aquatic Center”.
12. 73% of survey respondents would favor some level of tax increase for improvements to the parks, recreation, sports and aquatic improvements that they were most willing to fund with their tax dollars. 50% of survey respondents would be willing to invest \$15 or more per year with an additional 18% being willing to invest \$5-\$14 per year; and an additional 5% being willing to invest under \$5 per year.

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C. Weaknesses and Threats for the Quincy Park District

The following are major weaknesses and threats for the Quincy Park District as indicated by survey respondents.

1. Excellent ratings for the conditions of parks are low. While visitation of parks is very high, only 21% of those who have visited a park in the past 12 months rated the condition of the parks as excellent. This is lower than the national benchmark of 31% and the Illinois benchmark of 36%.
2. Participation in recreation programs is low. 24% of survey respondents indicated they have participated in a recreation program in the past 12 months. This is lower than the national benchmark of 30% and the Illinois benchmark of 38%.
3. Learning about parks, trails, recreation programs and activities through the Park District Program Brochure is similar to the national average but lower than the Illinois benchmarking average. 50% of survey respondents indicated that one of the ways they learned about parks, trails, recreation programs and activities was through the Program Brochure. This percentage is similar to the national benchmark of 53% and considerably lower than the Illinois benchmark of 74%.
4. The Wavering Aquatic Center received the lowest ratings as far as being in excellent condition. Only 17% of survey respondents who use the Wavering Aquatic Center rated the condition of the Aquatic Center as excellent. In comparison, 41% of those who use the Indian Mounds Pool rated the condition of the Indian Mounds Pool as excellent.
5. For a wide range of recreation programs needs are not being met. In comparison to parks, trails, and recreation facilities, where at least 45% of survey respondents indicated that 100% of their needs were being met, there are no recreation programs that at least 45% of survey respondents indicated their needs are being 100% met. Among the most important programs to concentrate on are: nature activities, programs for older adults/seniors, adult education type programs, and environmental education programs.

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D) Final Conclusions

Results from the citizen survey clearly show that the Quincy Park District is doing an excellent job in many important areas. This is particularly true regarding usage of parks, which at 95% of survey respondents is considerably higher than national and other State of Illinois Park Districts.

It is also particularly true in the percentage of survey respondents who indicate that they are very satisfied (41%) or somewhat satisfied (36%) with the overall value they receive from the Quincy Park District. The ratings of very satisfied are considerably higher than both national benchmarks and Illinois benchmarks. Only 6% of survey respondents are very dissatisfied (2%) or somewhat dissatisfied (4%).

The Quincy Park District markets its parks, trails, programs and activities in a wide variety of ways. In particular marketing through use of newspaper articles, from friends and neighbors, and by radio are high.

While the Quincy Park District is currently doing an excellent job, the survey clearly showed opportunities for actions to improve Park District services to residents.

For example, the conditions of parks can be improved. I believe this to be an exceedingly important issue, since usage of Quincy Park District parks is so high. This is not unusual for parks with high usage and will be an important challenge to be addressed. Survey respondents indicated that “upgrading existing neighborhood parks” and “extending the Cedar Creek Trail to the Mississippi” to be the two (2) actions they would be most willing to fund with tax dollars.

I also believe there are opportunities to link increases in recreation programming to park usage and conditions. Since 95% of survey respondents use parks, it would be natural to cross-market recreation programs users with park users. In particular cross-marketing of nature activities, programs for older adults/seniors, and environmental education programs can be cross-marketed with users of parks and trails.

There are also opportunities to extend the Cedar Creek Trail which will open up other citizen service opportunities. A strong majority of survey respondents indicated some support for investing increased tax dollars, showing a confidence in the Park District, substantiated by the high satisfaction ratings for overall value.

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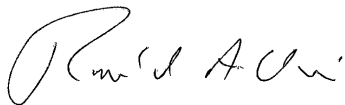
Last, while overall marketing efforts are strong in the use of newspaper articles, from friends and neighbors, and by radio, I believe there are opportunities to improve marketing through other marketing means. Only 19% of households make use of the website to learn about parks, trails, programs and activities. Across the State of Illinois and nationally, the web is the fastest growing method for residents finding out about Park District services.

Also, we believe that continued emphasis on utilization of the Park District Brochure will increase programming, particularly when marketing occurs through cross-marketing recreation program users with park users.

We would encourage Quincy Park District officials to utilize the results from the Citizen Survey as the basis of future Strategic Planning efforts, program development, grant applications, and overall strategic decision-making.

It has been our pleasure to work with the Quincy Park District on your "Community Attitude & Interest Citizen Survey". We wish you continued success in serving the residents of your community with the highest quality parks, trails, recreation, sports, and aquatics facilities and program services.

Sincerely,



Ronald A. Vine, President
Leisure Vision

Section 2:
Executive Summary

Community Survey

Executive Summary Report

Overview of the Methodology

Leisure Vision conducted a Community Survey on behalf of the Quincy Park District during April and May of 2011. The purpose of the survey was to help establish priorities for the future of the Park District's parks and recreation facilities, programs and services. The survey was designed to obtain statistically valid results from households throughout the Quincy Park District. The survey was administered by a combination of mail and phone.

Leisure Vision worked extensively with Quincy Park District officials in the development of the survey questionnaire. This work allowed the survey to be tailored to issues of strategic importance to effectively plan the future system.

In April, Leisure Vision mailed a seven-page survey to a random sample of 2,000 households throughout the Quincy Park District. Approximately three days after the surveys were mailed, each household that received a survey also received an automated voice message encouraging them to complete the survey. In addition, about two weeks after the surveys were mailed, Leisure Vision began contacting households by phone. Those who indicated they had not returned the survey were given the option of completing it by phone.

The goal was to obtain a total of at least 400 completed surveys from Quincy Park District households. This goal was far accomplished, with a total of 433 surveys having been completed. The results of the random sample of 433 households have a 95% level of confidence with a precision of at least $\pm 4.7\%$.

The following pages summarize major survey findings.

Major Survey Findings

- **Visiting Park District Parks.** Ninety-four percent (94%) of households have visited Quincy Park District parks during the past 12 months. This is significantly higher than the national benchmarking average of 72%, and the Illinois benchmarking average of 77%. The parks that have been visited by the highest percentage of households are: South Park (70%), Moorman Park (55%), Clat Adams Bicentennial Park (46%), Wavering Park (46%), Madison Park (45%), and Washington Park (43%).

Of the 94% of households that have visited Park District parks during the past year, 88% rated the physical condition of the parks they've visited as either excellent (21%) or good (67%). An additional 12% of households rated the condition of the parks as fair, and less than 1% rated the parks as poor.

- **Recreation Facilities Used in Parks.** The recreation facilities that have been used in Park District parks by the highest percentage of households are: picnic areas/shelters (59%), walking, hiking, and biking trails (56%), playground equipment (48%), Riverfront park (44%), small neighborhood parks (38%), and scenic views (37%).
- **Park District Special Revenue Facilities Used.** The Park District special revenue facilities that have been used by the highest percentage of households are: mini-golf, batting cages and Paddle Boat Complex (53%), Wavering Aquatic Center (38%), and Indian Mounds Pool (36%).
- **Participation in Park District Programs.** Twenty-four percent (24%) of households have participated in Quincy Park District programs during the past 12 months. Of the 24% of households that have participated in Park District programs during the past 12 months, 57% have participated in two or more programs during this time.
- **Ways Respondents Learn about Park District Parks, Programs and Activities.** The most frequently mentioned ways that respondents learn about Quincy Park District parks, trails, programs and activities are: the Park District Brochure (50%), newspaper articles (49%), from friends and neighbors (49%), newspaper advertisements (32%), and radio (29%).
- **Need for Parks and Recreation Facilities.** The parks and recreation facilities that the highest percentage of households have a need for are: picnic areas and shelters (69%), small neighborhood parks (66%), walking and biking trails (62%), Riverfront parks (59%), scenic views (56%), playground equipment (54%), and large regional parks (53%).

Community Survey for the Quincy Park District

- **Most Important Parks and Recreation Facilities.** Based on the sum of their top four choices, the parks and recreation facilities that households rated as the most important are: walking and biking trails (38%), picnic areas and shelters (37%), small neighborhood parks (31%), playground equipment (30%), and outdoor swimming pools/water parks (23%).
- **Safety of Parks.** Eighty-seven percent (87%) of households feel either very safe (36%) or safe (51%) in the parks that they go to. An additional 12% of households feel somewhat safe in parks, and 1% do not feel safe.
- **Need for Recreation Programs.** The recreation programs that the highest percentage of households have a need for are: nature activities (28%), programs for older adults/seniors (25%), and adult education type programs (23%).
- **Reasons Preventing Households from Using Park District Parks, Facilities & Programs.** The most frequently mentioned reasons preventing households from using Quincy Park District parks, recreation and sports facilities and programs more often are: “I do not know what is being offered” (17%), “fees are too high” (13%), and “program or facility not offered” (9%).
- **Use of Cedar Creek Trail.** Forty-one percent (41%) of households have used Cedar Creek Trail during the past two years.
- **Extending Cedar Creek Trail from 12th Street to the Mississippi River.** Sixty-two percent (62%) of households are supportive of extending Cedar Creek Trail from 12th Street to the Mississippi River. Seventeen percent (17%) of households are not supportive of extending Cedar Creek Trail from 12th Street to the Mississippi River, and 21% indicated “not sure”.
- **Extending Cedar Creek Trail from 18th Street to 36th Street.** Sixty-one percent (61%) of households are supportive of extending Cedar Creek Trail from 18th Street to 36th Street. Nineteen percent (19%) of households are not supportive of extending Cedar Creek Trail from 18th Street to 36th Street, and 20% indicated “not sure”.
- **Actions to Take Regarding the Wavering Aquatic Center.** Forty-six percent (46%) of households feel the Park District should build a new Wavering Aquatic Center that will have more leisure features. Twenty-four percent (24%) of households feel the Park District should leave the Wavering Aquatic Center open and renovate it, 8% feel the Wavering Aquatic Center should be closed, and 22% indicated “not sure”.

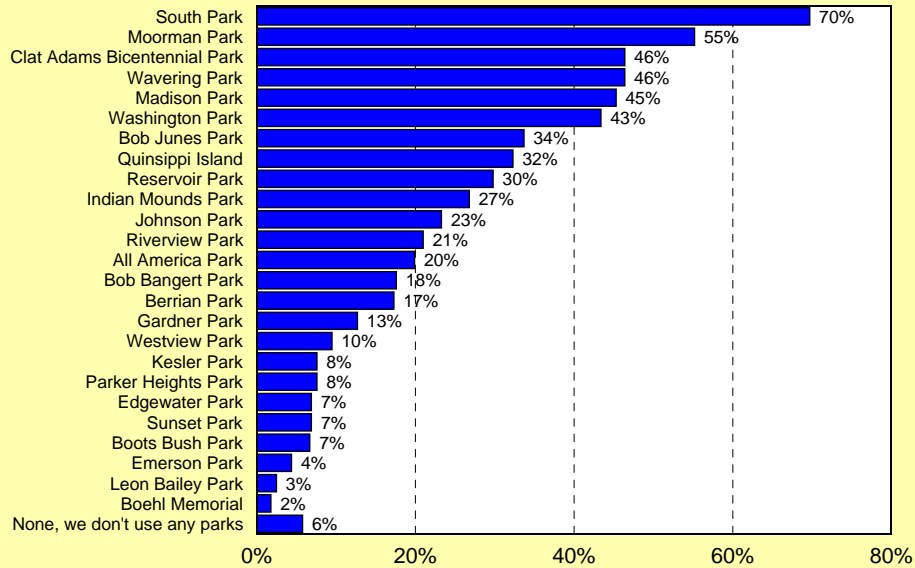
- **Actions to Improve Quinsippi Island, Quincy Bay, and Riverfront of Quincy** The actions that households feel are most important to improve Quinsippi Island, Quincy Bay, and Riverfront of Quincy are: walking trails (47%), better bridge access to the Island (39%), and picnic tables (32%).
- **Importance of Various Action the Park District Could Take.** Seventy-seven (77%) of households feel it's very important or somewhat important for the Park District to allow for increased energy conservation, and 74% feel it's very important or somewhat important for the Park District to preserve or re-create natural areas.
- **Actions Households Are Most Willing to Fund with Tax Dollars.** Based on the sum of their top three choices, the actions to improve the parks and recreation system that households are most willing to fund with their tax dollars are: upgrade existing neighborhood parks (30%), extend Cedar Creek Trail to the Mississippi River (30%), extend the Cedar Creek Trail to 36th Street (28%), and develop a new Wavering Aquatic Center (28%).
- **Paying Additional Taxes for Most Preferred Improvements.** Seventy-three percent (73%) of respondents would pay some amount of additional taxes for the types of parks, recreation, sports, and aquatic improvements they most prefer. This includes 21% that would pay \$35 per year, 29% that would pay \$15 - \$34 per year, and 23% that would pay \$5 - \$14 per year.
- **Level of Satisfaction with the Overall Value Received from the Park District.** Seventy-seven percent (77%) of households are either very satisfied (41%) or somewhat satisfied (36%) with the overall value their household receives from the Quincy Park District. Only 6% of households are either somewhat dissatisfied (4%) or very dissatisfied (2%) with the value received from the Park District. In addition, 12% of respondents rated the Park District as "neutral", and 5% indicated "don't know".

Section 3: *Charts and Graphs*

Community Survey for the Quincy Park District

Q1. Quincy Park District Parks That Households Have Visited Over the Past 12 Months

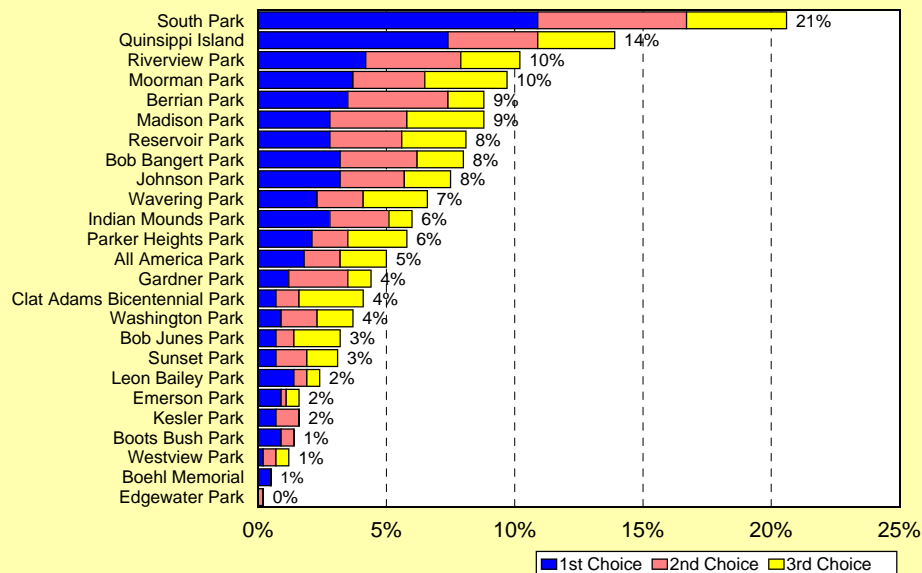
by percentage of respondents (multiple choices could be made)



Source: Leisure Vision/ETC Institute (June 2011)

Q2. Quincy Park District Parks That Households Feel Are Most in Need of Their Condition Being Improved

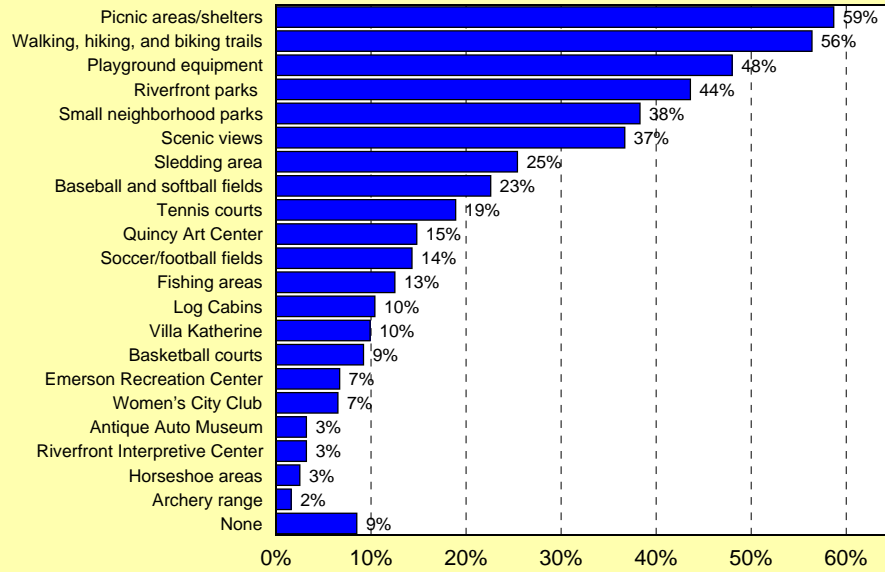
by percentage of respondents who selected the item as one of their top three choices



Source: Leisure Vision/ETC Institute (June 2011)

Q3. Quincy Park District Recreation Facilities That Households Have Used or Visited Over the Past 12 Months

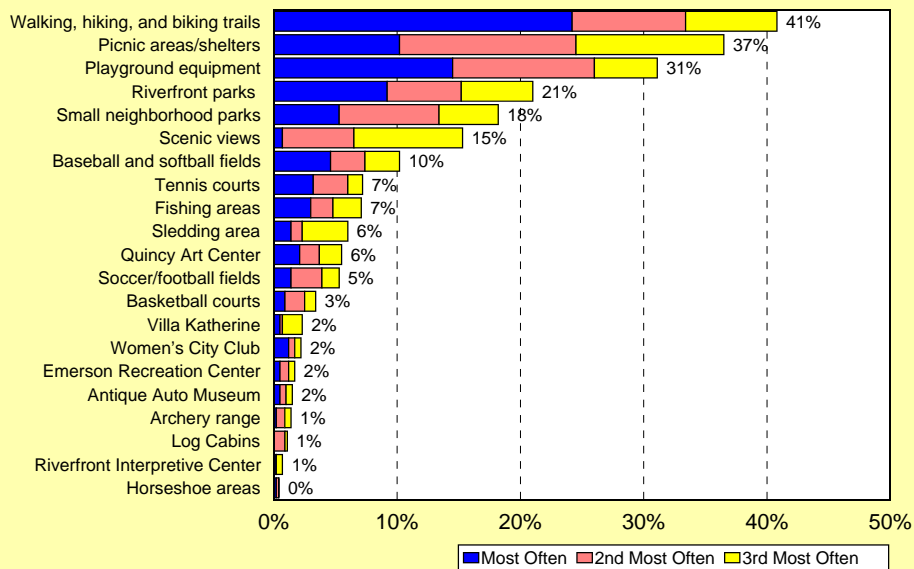
by percentage of respondents (multiple choices could be made)



Source: Leisure Vision/ETC Institute (June 2011)

Q4. Quincy Park District Recreation Facilities That Households Visit Most Often

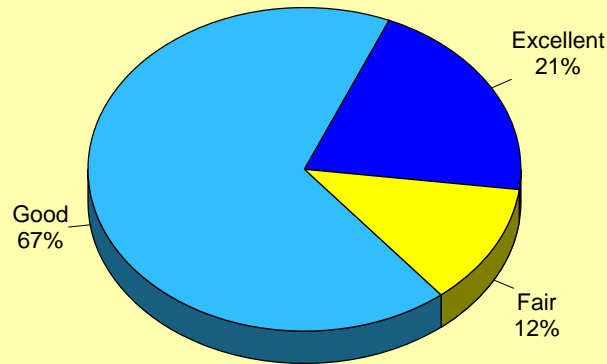
by percentage of respondents who selected the item as one of their top three choices



Source: Leisure Vision/ETC Institute (June 2011)

Q5. Overall, How Would You Rate the Physical Condition of All the Parks and Recreation Sites in the Quincy Park District System You Have Visited?

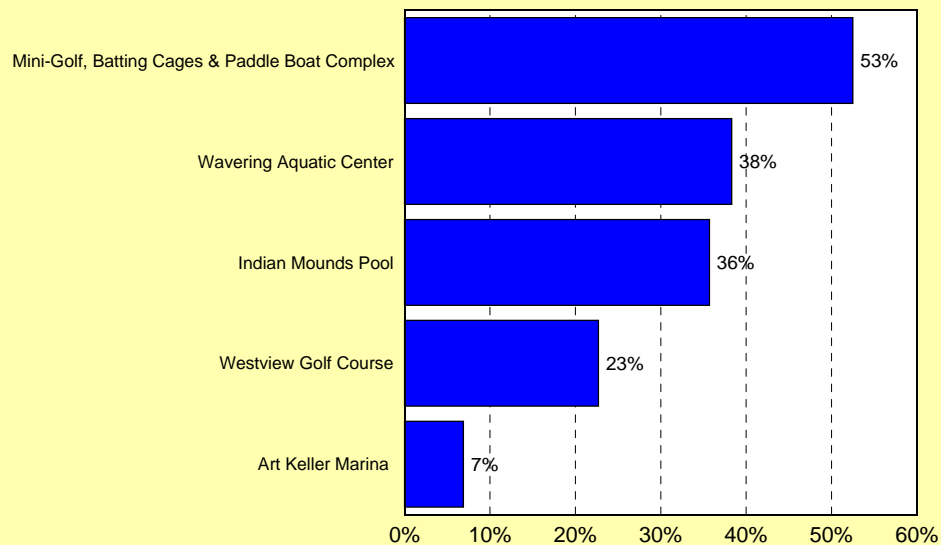
by percentage of respondents who provided a response



Source: Leisure Vision/ETC Institute (June 2011)

Q6. Quincy Park District Special Revenue Facilities That Households Have Used

by percentage of respondents

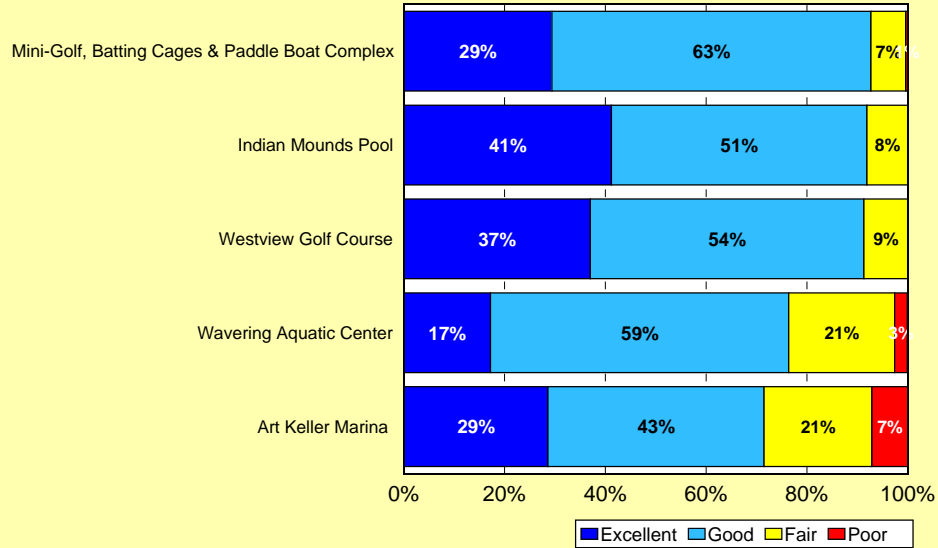


Source: Leisure Vision/ETC Institute (June 2011)

Community Survey for the Quincy Park District

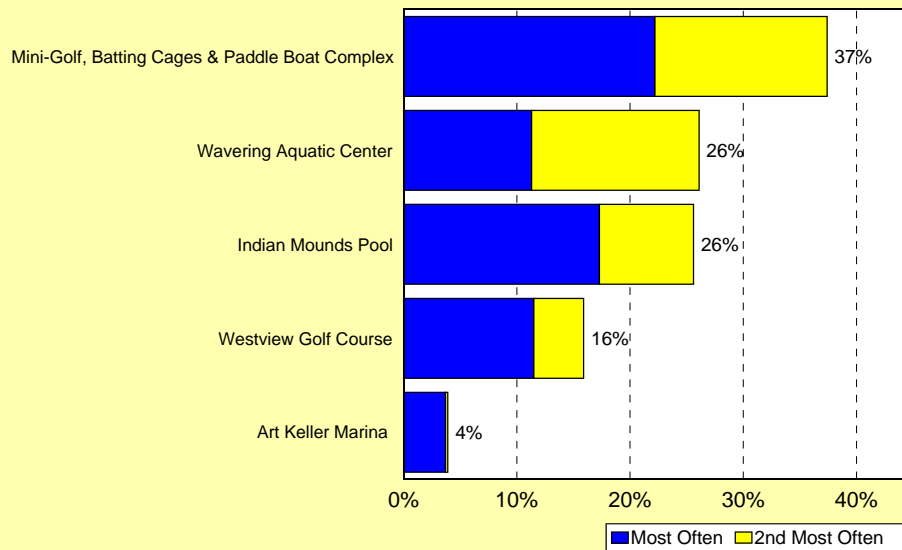
Q6a. How Households Rate the Condition of the Quincy Park District Special Revenue Facilities They Have Used

by percentage of households that have used Quincy Park District special revenue facilities

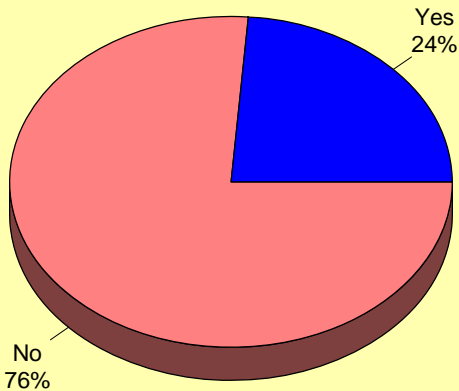


Q7. Quincy Park District Special Revenue Facilities That Households Visit Most Often

by percentage of respondents who selected the item as one of their top two choices



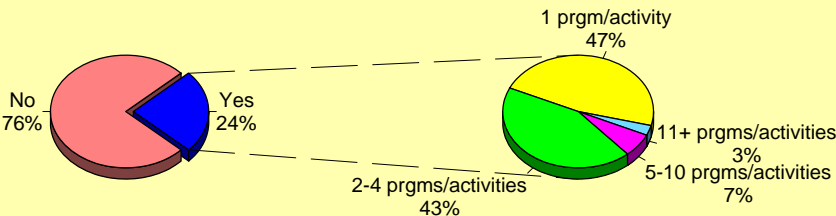
Q8. Has Your Household Participated in Any Recreation Programs Offered by the Quincy Park District During the Past 12 Months?
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Q8. Has Your Household Participated in Any Recreation Programs Offered by the Quincy Park District During the Past 12 Months?
by percentage of respondents

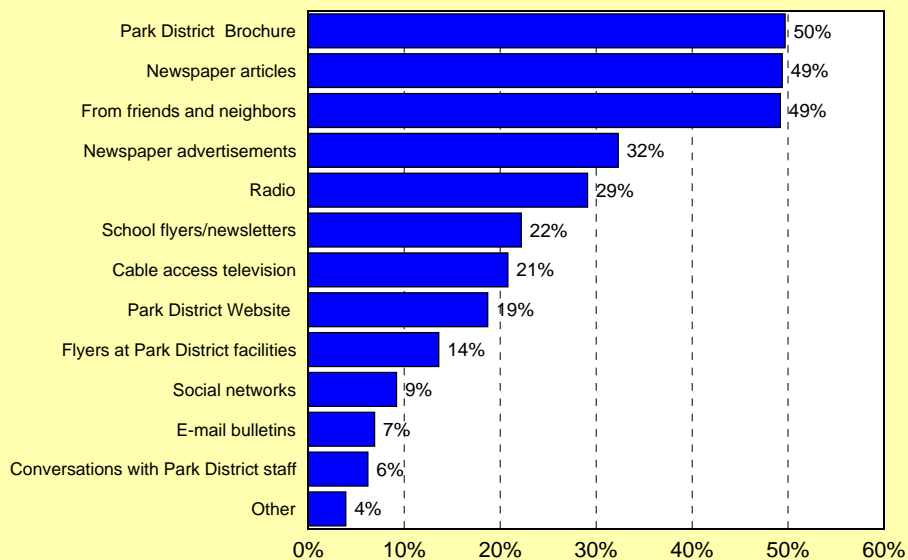
Q8a. Number of Different Recreation Programs/Activities That Households Have Participated in During the Past 12 Months



Source: Leisure Vision/ETC Institute (June 2011)

Q9. Ways Respondents Learn About Quincy Park District Parks, Trails, Programs and Activities

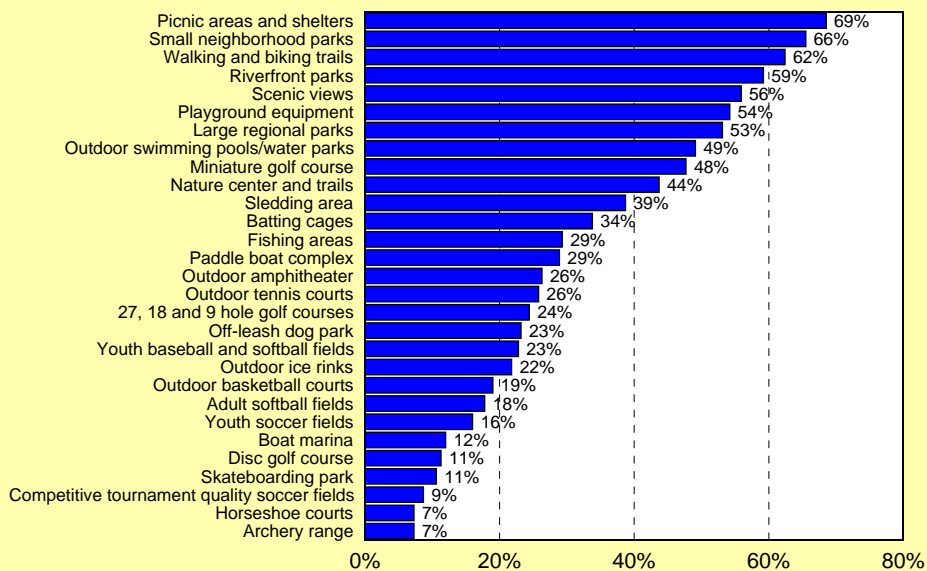
by percentage of respondents (multiple choices could be made)



Source: Leisure Vision/ETC Institute (June 2011)

Q10. Parks and Recreation Facilities That Households Have a Need for

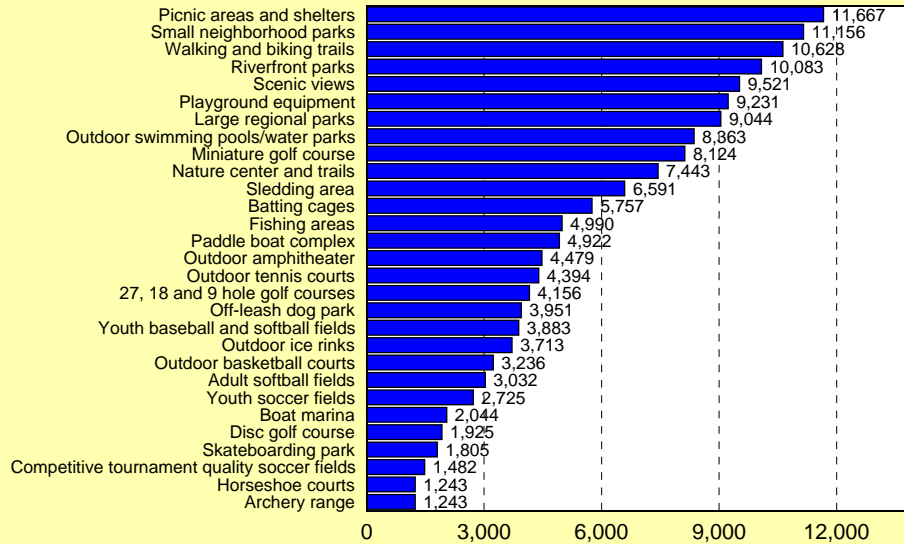
by percentage of respondents (multiple choices could be made)



Source: Leisure Vision/ETC Institute (June 2011)

Q10a. Estimated Number of Households in the Quincy Park District That Have a Need for Various Parks and Recreation Facilities

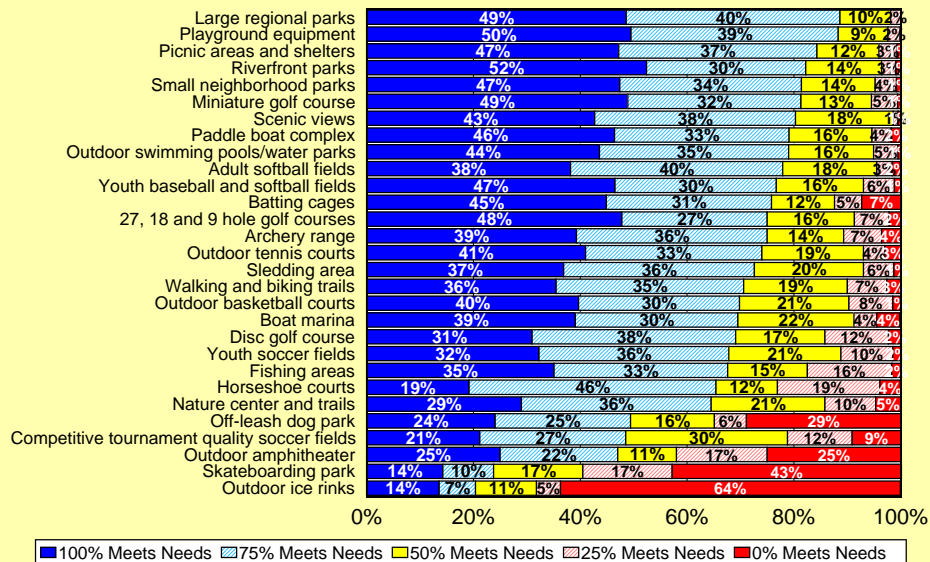
by number of households based on 17,302 households in the Quincy Park District



Source: Leisure Vision/ETC Institute (June 2011)

Q10b. How Well Parks and Recreation Facilities in Quincy Meet the Needs of Households

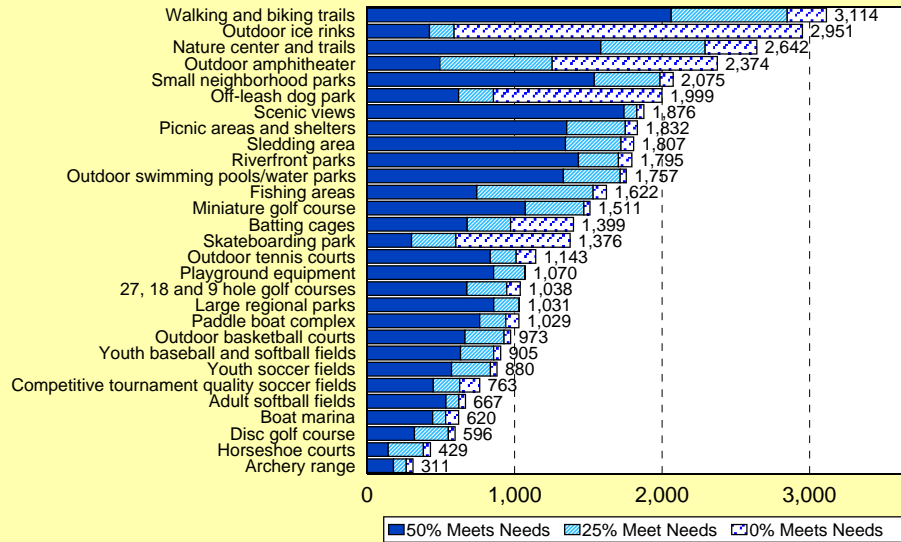
by percentage of households that have a need for parks/facilities



Source: Leisure Vision/ETC Institute (June 2011)

Q10c. Estimated Number of Households in the Quincy Park District Whose Needs for Parks and Recreation Facilities Are Only Being 50% Met or Less

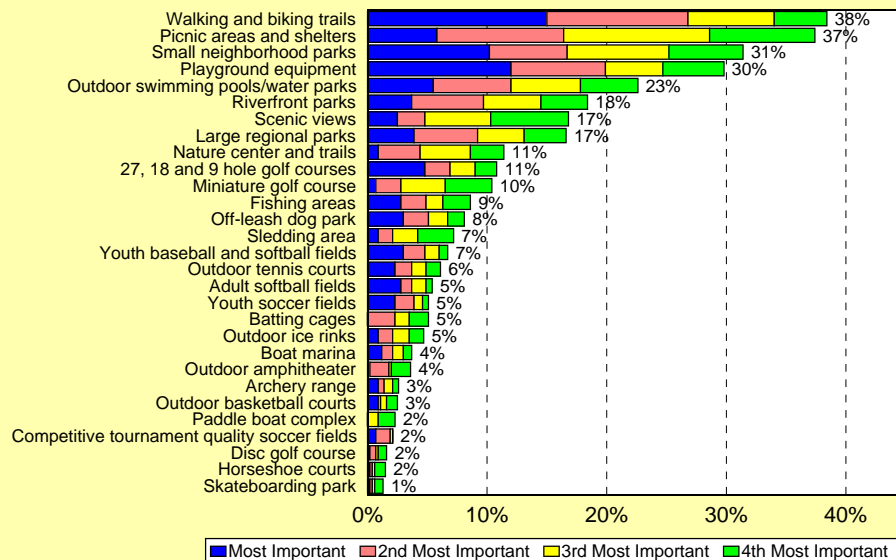
by number of households based on 17,302 households in the Quincy Park District



Source: Leisure Vision/ETC Institute (June 2011)

Q11. Parks and Recreation Facilities That Are Most Important to Households

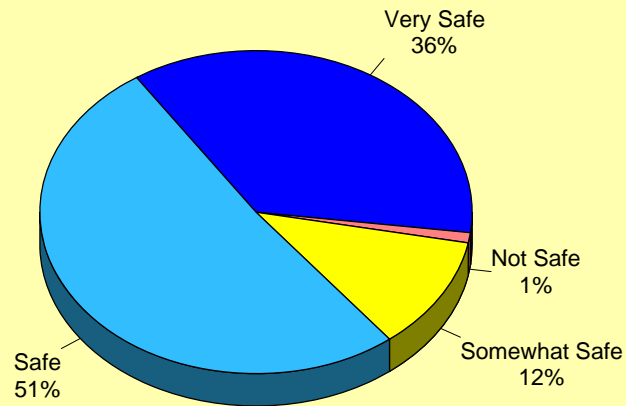
by percentage of respondents who selected the item as one of their top four choices



Source: Leisure Vision/ETC Institute (June 2011)

Q12. How Safe Do You Feel in the Parks That You Go To?

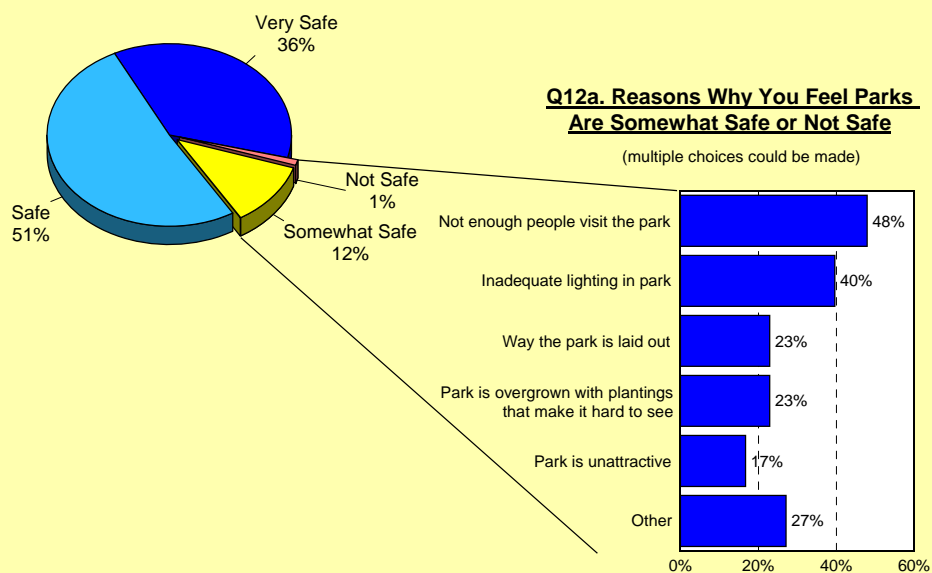
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Q12. How Safe Do You Feel in the Parks That You Go To?

by percentage of respondents

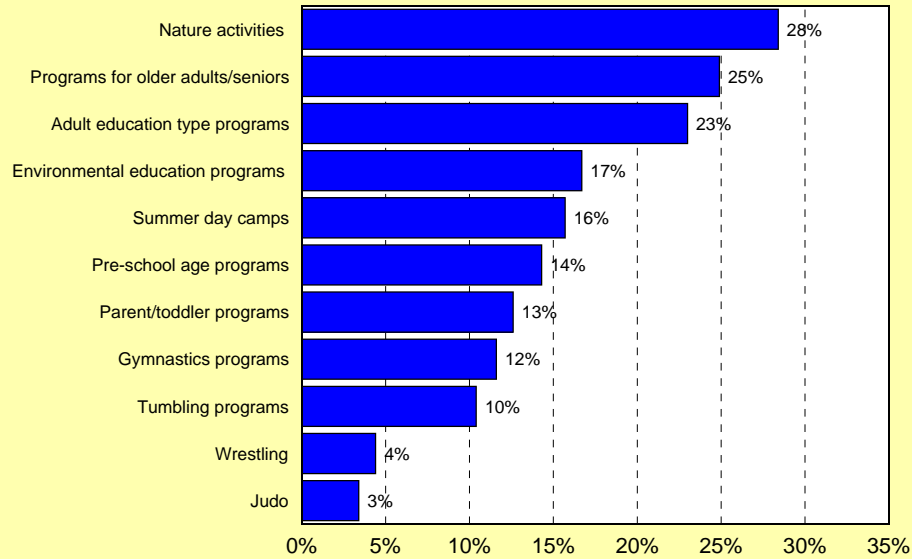


Source: Leisure Vision/ETC Institute (June 2011)

Community Survey for the Quincy Park District

Q13. Recreation Programs That Households Have a Need for

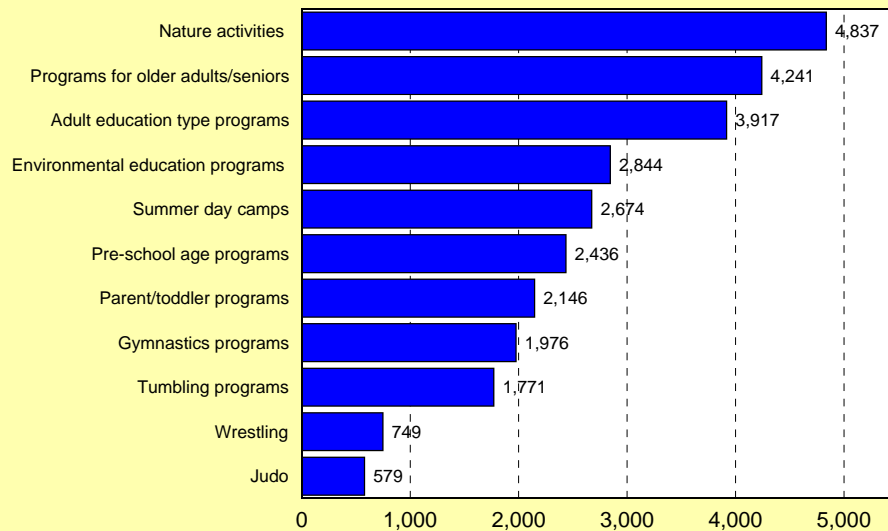
by percentage of respondents (multiple choices could be made)



Source: Leisure Vision/ETC Institute (June 2011)

Q13a. Estimated Number of Households in the Quincy Park District That Have a Need for Various Recreation Programs

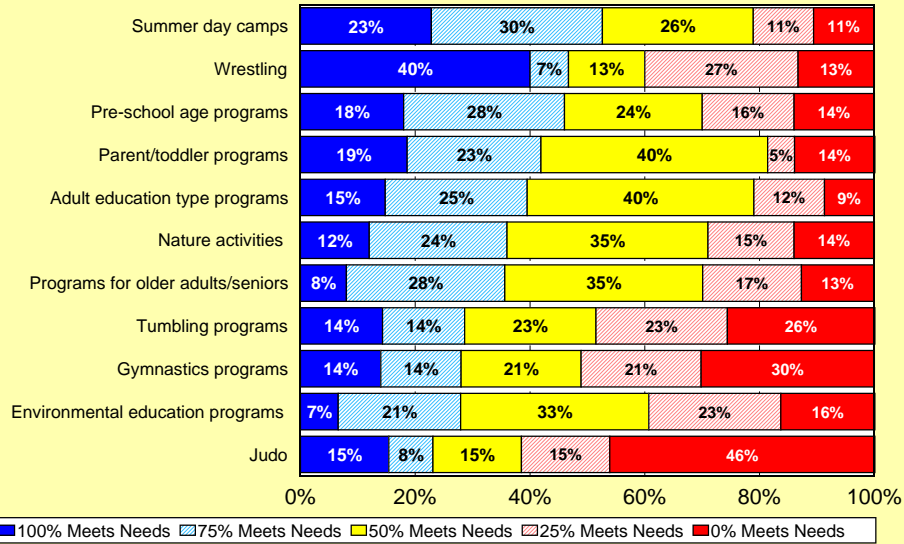
by number of households based on 17,302 households in the Quincy Park District



Source: Leisure Vision/ETC Institute (June 2011)

Q13b. How Well Recreation Programs in Quincy Meet the Needs of Households

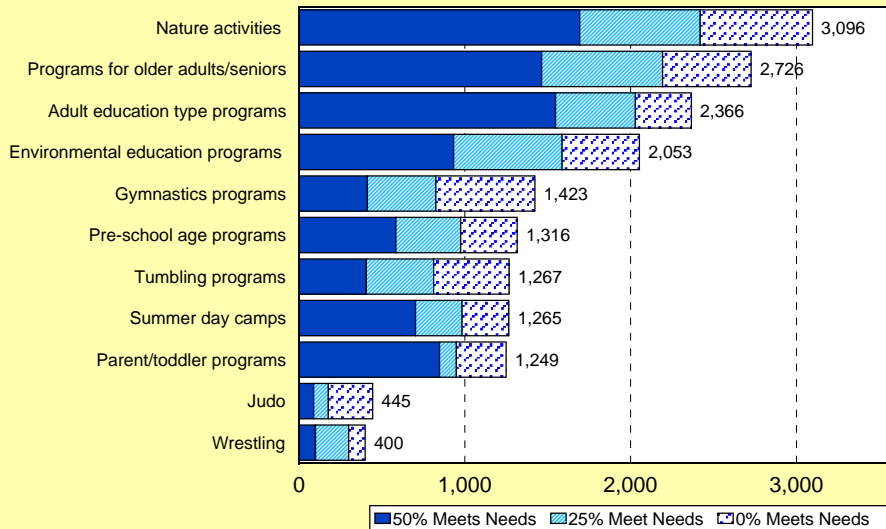
by percentage of households that have a need for programs



Source: Leisure Vision/ETC Institute (June 2011)

Q13c. Estimated Number of Households in Quincy Whose Needs for Recreation Programs Are Only Being 50% Met or Less

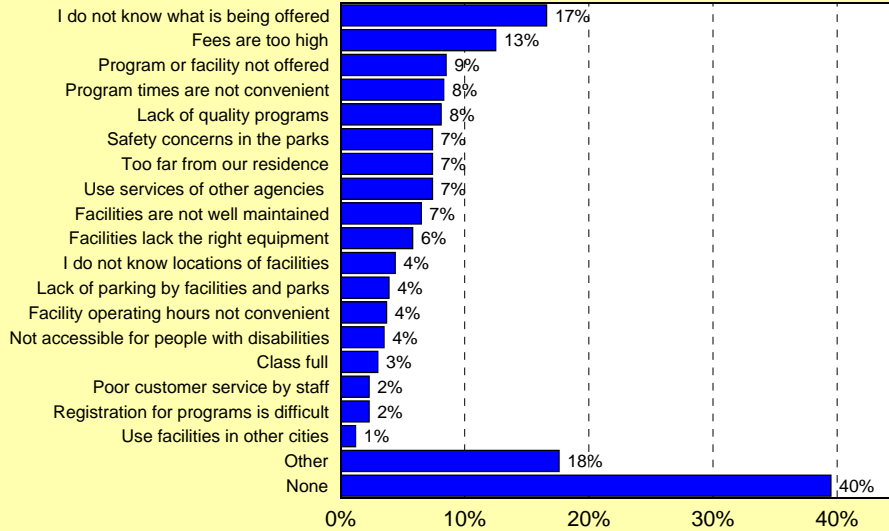
by number of households based on 17,302 households in the Quincy Park District



Source: Leisure Vision/ETC Institute (June 2011)

Q14. Reasons Preventing Households from Using Parks, Recreation and Sports Facilities or Programs of the Quincy Park District More Often

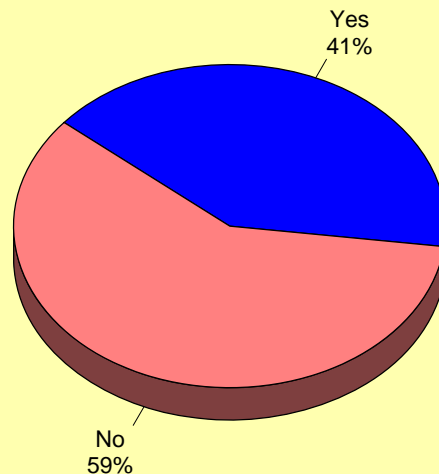
by percentage of respondents (multiple choices could be made)



Source: Leisure Vision/ETC Institute (June 2011)

Q15. Have You or Any Members of Your Household Used the Cedar Creek Trail During the Past 2 Years?

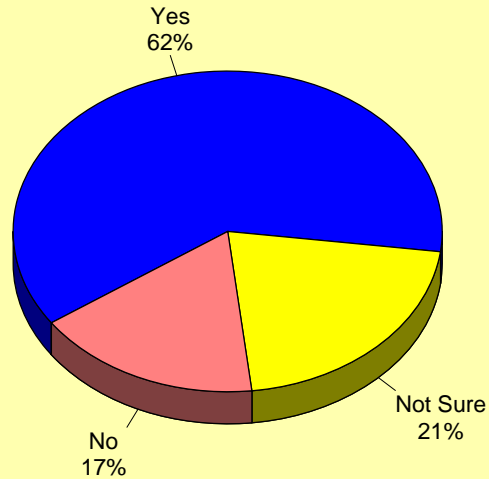
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Q16. Are You Supportive of Extending the Cedar Creek Trail from 12th Street to the Mississippi River?

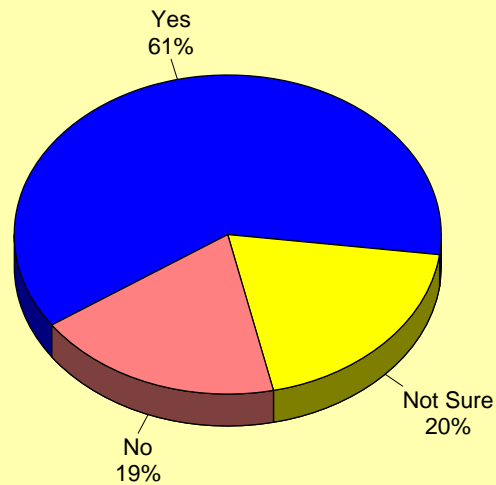
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Q17. Are You Supportive of Extending the Cedar Creek Trail from 18th Street to 36th Street?

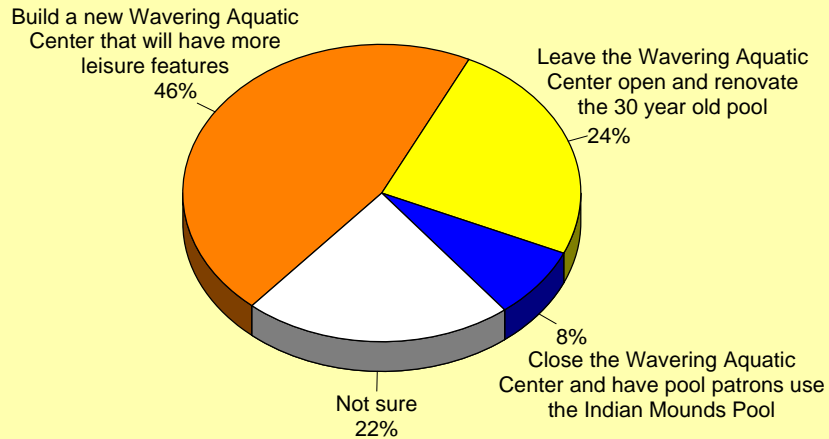
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Q18. Which of the Following Actions Would You Take Regarding the Wavering Aquatic Center?

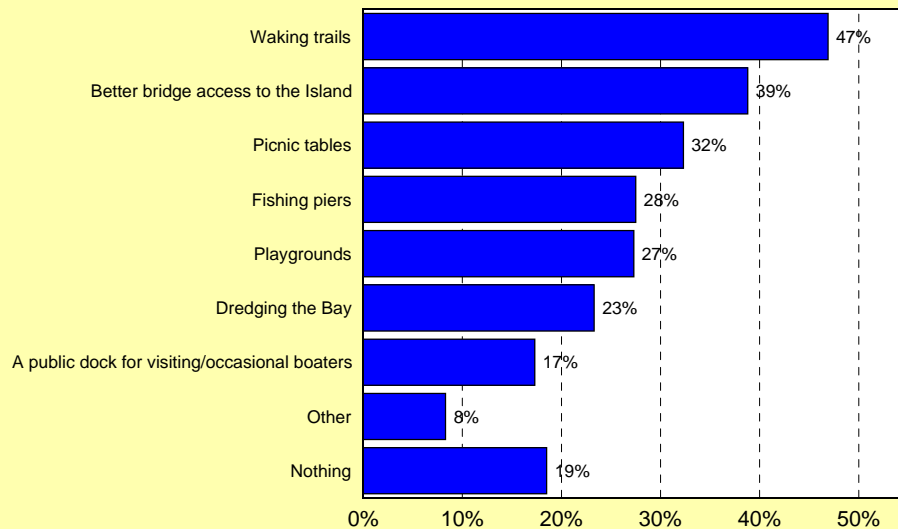
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Q19. Actions That Households Feel Are Most Important to Improve Quinsippi Island, Quincy Bay, and the Riverfront of Quincy

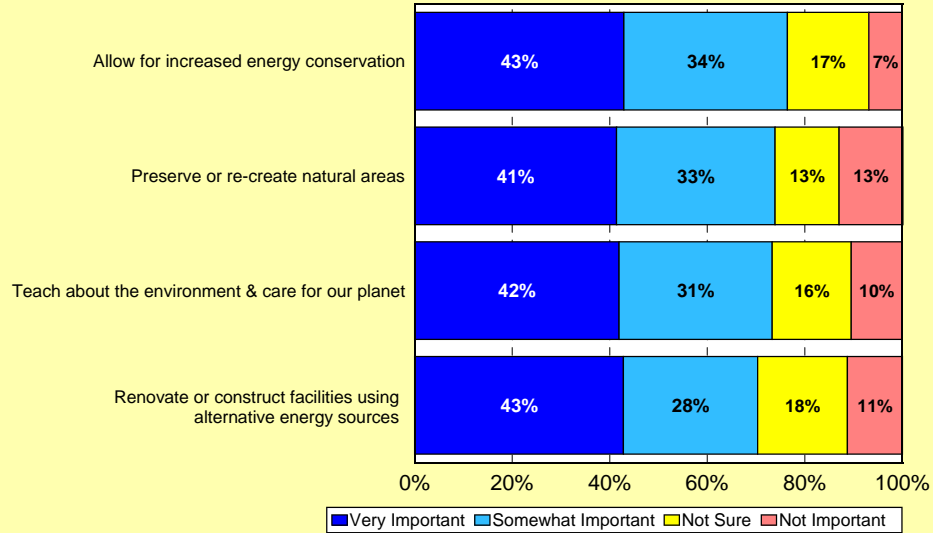
by percentage of respondents (multiple choices could be made)



Source: Leisure Vision/ETC Institute (June 2011)

Q20. Importance of Various Actions the Quincy Park District Could Take

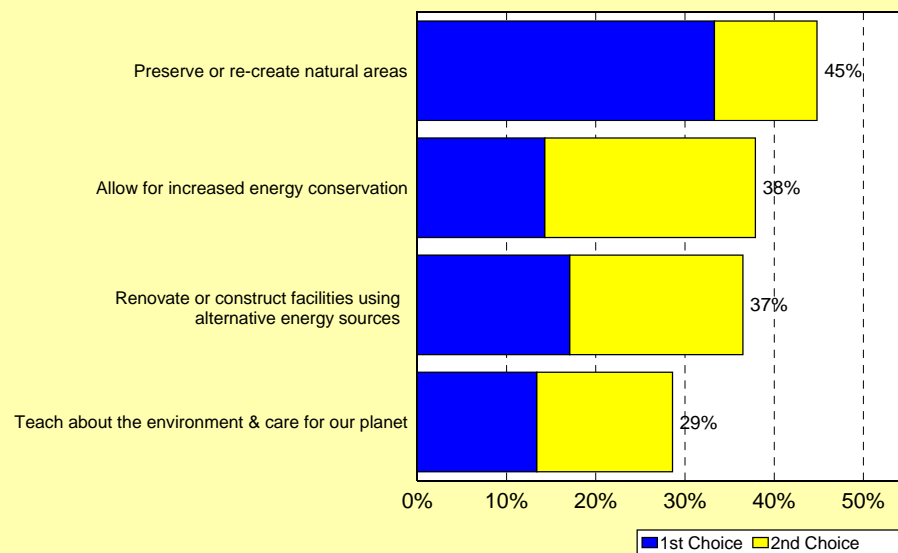
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Q21. Actions That Households Feel Are Most Important

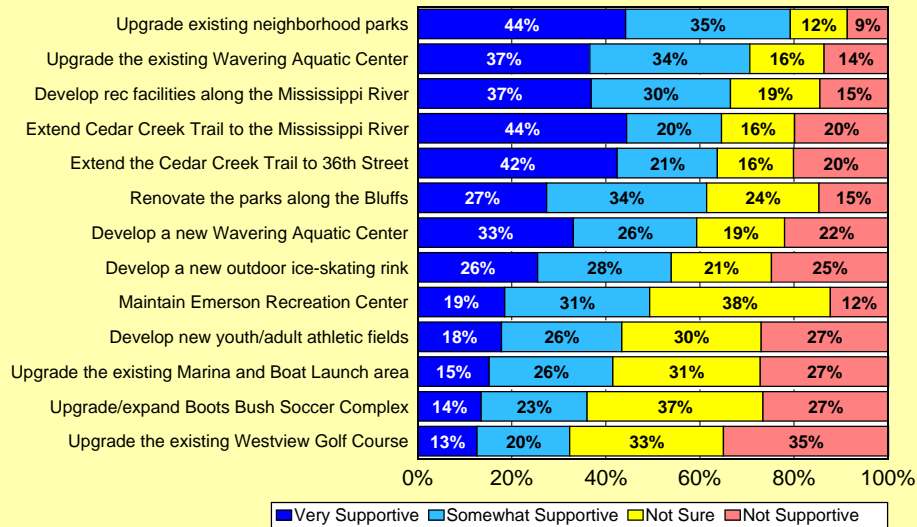
by percentage of respondents who selected it as one of their top two choices



Source: Leisure Vision/ETC Institute (June 2011)

Q22. Level of Support for Various Actions the Quincy Park District Could Take to Improve the Parks and Recreation System

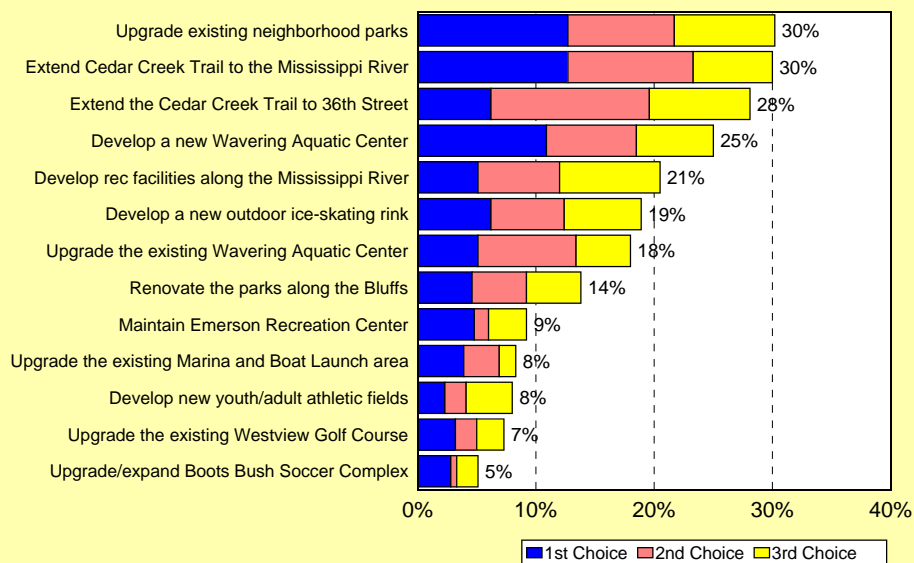
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Q23. Actions That Households Would Be Most Willing to Fund with Their Tax Dollars

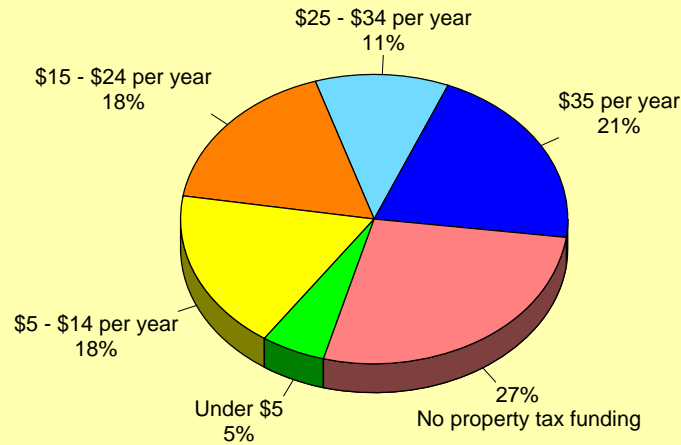
by percentage of respondents who selected it as one of their top three choices



Source: Leisure Vision/ETC Institute (June 2011)

**Q24. Maximum Amount of Additional Tax Revenues
Respondents Would Invest Per Year for the Types of Parks,
Recreation, Sports, and Aquatic Improvements That They
Rated as Their Top 3 Choices in Question 23**

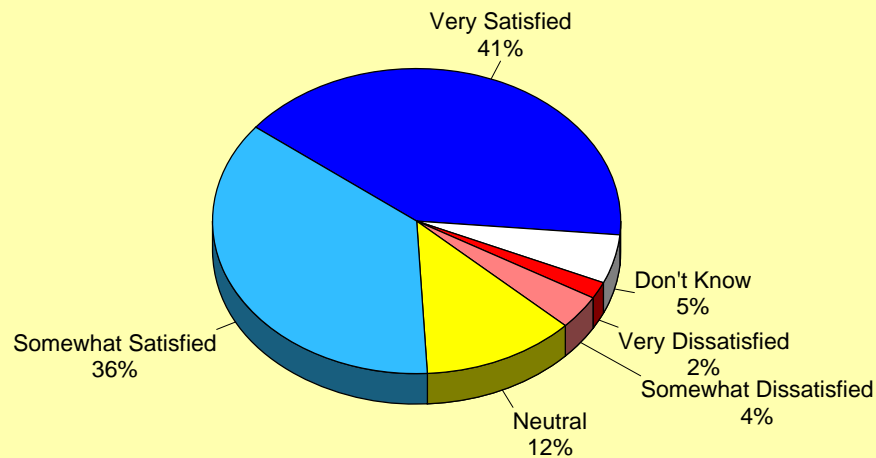
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

**Q25. Level of Satisfaction with the Overall Value
Households Receive from the Quincy Park District**

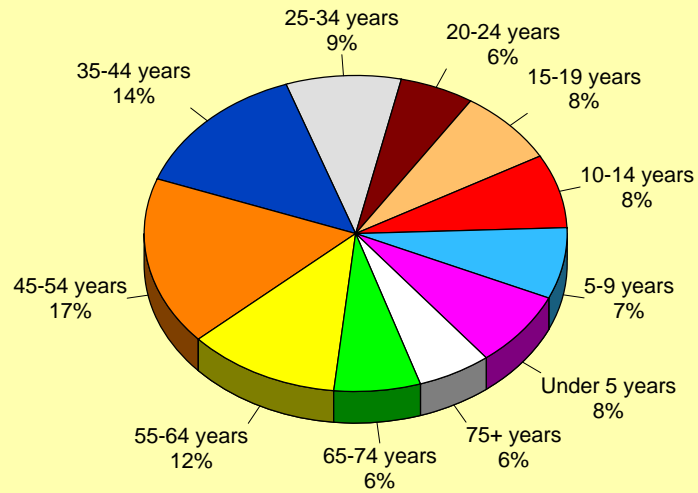
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Q26. Demographics: Ages of People in Household

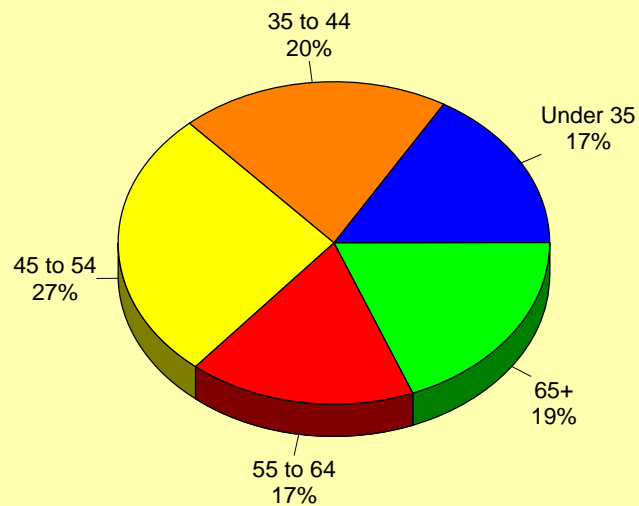
by percentage of household occupants



Source: Leisure Vision/ETC Institute (June 2011)

Q27. Demographics: Age of Respondents

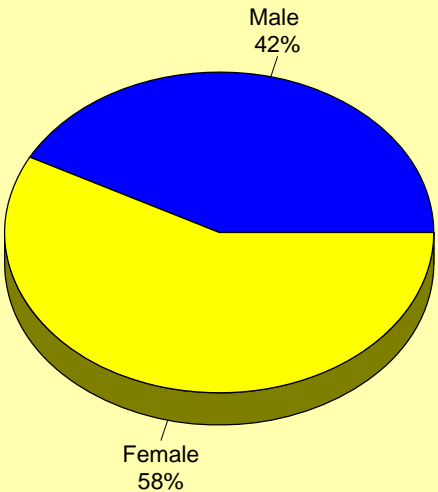
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Q28. Demographics: Gender

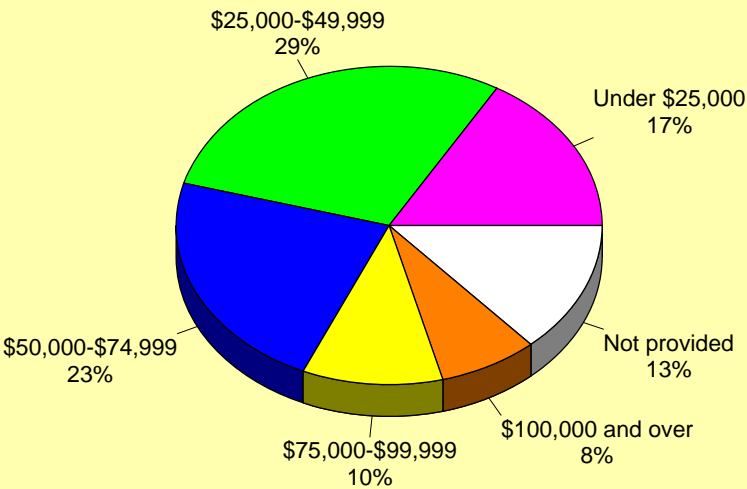
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Q29. Demographics: Household Income

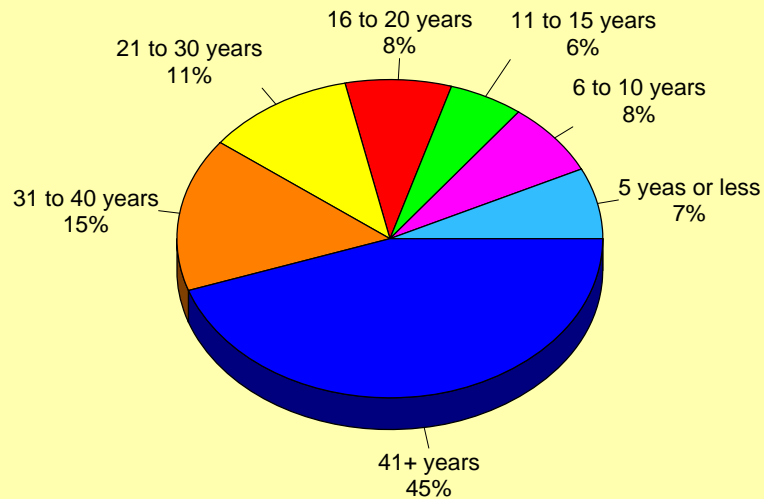
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Q30. Demographics: Number of Years Lived in Quincy

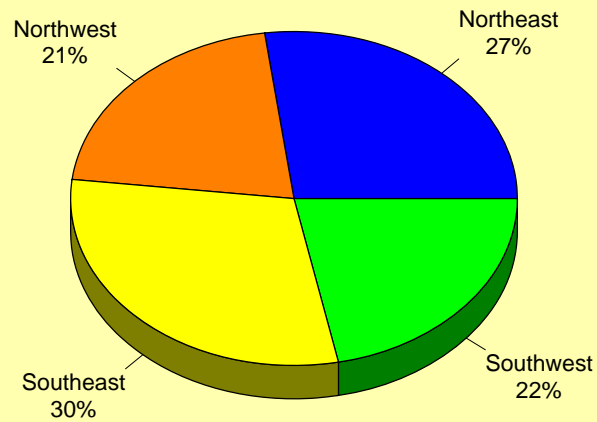
by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Q31. Demographics: Location of Residence

by percentage of respondents



Source: Leisure Vision/ETC Institute (June 2011)

Section 4:
Benchmarking Comparisons

National and Illinois Benchmarking

Since 1998, Leisure Vision (a division of ETC Institute) has conducted household surveys for needs assessments, feasibility studies, customer satisfaction, fees and charges comparisons, and other parks and recreation issues in more than 400 communities in over 40 states across the country.

The results of these surveys has provided an unparalleled data base of information to compare responses from household residents in client communities to “National Averages” and therefore provide a unique tool to “assist organizations in better decision making.”

Communities within the data base include a full-range of municipal and county governments from 20,000 in population through over 1 million in population. They include communities in warm weather climates and cold weather climates, mature communities and some of the fastest growing cities and counties in the country.

Communities within the following states are included within the National Benchmarking data base.

- | | |
|------------------------|-------------------------|
| ➤ Arizona | ➤ Missouri |
| ➤ Arkansas | ➤ Montana |
| ➤ California | ➤ Nevada |
| ➤ Colorado | ➤ New Hampshire |
| ➤ Connecticut | ➤ New Jersey |
| ➤ Florida | ➤ North Carolina |
| ➤ Georgia | ➤ Ohio |
| ➤ Kansas | ➤ Oklahoma |
| ➤ Kentucky | ➤ Oregon |
| ➤ Idaho | ➤ Pennsylvania |
| ➤ Illinois | ➤ Rhode Island |
| ➤ Indiana | ➤ South Carolina |
| ➤ Iowa | ➤ Texas |
| ➤ Maine | ➤ Utah |
| ➤ Massachusetts | ➤ Vermont |
| ➤ Michigan | ➤ Virginia |
| ➤ Minnesota | ➤ Washington |
| ➤ Mississippi | ➤ Wyoming |

“National Averages” have been developed for numerous strategically important parks and recreation planning and management issues including: customer satisfaction and usage of parks and programs; methods for receiving marketing information; reasons that prevent members of households from using parks and recreation facilities more often; priority recreation programs, parks, facilities and trails to improve or develop; priority programming spaces to have in planned community centers and aquatic facilities; potential attendance for planned indoor community centers and outdoor aquatic centers; etc.

The National Benchmarking Average includes the results of numerous communities from the State of Illinois. Results from household responses in the Quincy Park District were compared to the National Benchmarking Average, as well as the average of those communities within the State of Illinois to gain further strategic information. A summary of all tabular comparisons are shown on pages 3-9.

Note: The benchmarking data contained in this report is protected intellectual property. Any reproduction of the benchmarking information in this report by persons or organizations not directly affiliated with the Quincy Park District is not authorized without written consent from Leisure Vision/ETC Institute.

Parks and Recreation Benchmarking for Needs Assessment Surveys			
	Quincy Park District	Illinois Average	National Average
Have you or members of your household visited any City/County/ Park District <u>parks</u> over the past year?			
Yes	94%	77%	72%
No	6%	23%	28%
How would you rate the quality of all the <u>parks</u> you've visited?			
Excellent	21%	36%	31%
Good	67%	54%	54%
Fair	12%	9%	12%
Poor	0%	1%	2%
Don't know	0%	0%	1%
Have you or members of your household participated in City/County/Park District recreation <u>programs</u> during the past year?			
Yes	24%	38%	30%
No	76%	62%	70%

Parks and Recreation Benchmarking for Needs Assessment Surveys			
	Quincy Park District	Illinois Average	National Average
Ways respondents learn about recreation programs and activities			
Park District Brochure	50%	74%	53%
Newspaper articles	49%	34%	40%
From friends and neighbors	49%	36%	41%
Newspaper advertisements	32%	16%	19%
Radio	29%	6%	10%
School flyers/newsletters	22%	18%	17%
Cable access television	21%	7%	9%
Park District Website	19%	23%	16%
Flyers at Park District facilities	14%	20%	19%
Social networks	9%	3%	3%
E-mail bulletins	7%	6%	5%
Conversations with Park District staff	6%	7%	6%

Parks and Recreation Benchmarking for Needs Assessment Surveys			
	Quincy Park District	Illinois Average	National Average
Reasons preventing the use of parks and recreation facilities and programs more often			
I do not know what is being offered	17%	12%	22%
Fees are too high	13%	18%	12%
Program or facility not offered	9%	16%	13%
Program times are not convenient	8%	21%	15%
Lack of quality programs	8%	7%	7%
Safety concerns in the parks	7%	4%	7%
Too far from our residence	7%	8%	13%
Use services of other agencies	7%	9%	7%
Facilities are not well maintained	7%	5%	6%
Facilities lack the right equipment	6%	7%	7%
I do not know locations of facilities	4%	7%	12%
Lack of parking by facilities and parks	4%	4%	4%
Facility operating hours not convenient	4%	6%	6%
Not accessible for people with disabilities	4%	2%	3%
Class full	3%	6%	5%
Poor customer service by staff	2%	3%	3%
Registration for programs is difficult	2%	3%	3%
Use facilities in other cities	1%	8%	9%

Parks and Recreation Benchmarking for Needs Assessment Surveys			
	Quincy Park District	Illinois Average	National Average
Recreation <u>programs</u> that respondent households have a need for			
Nature activities	28%	26%	31%
Programs for older adults/seniors	25%	19%	23%
Adult education type programs	23%	27%	30%
Environmental education programs	17%	NA	NA
Summer day camps	16%	17%	19%
Pre-school age programs	14%	12%	14%
Parent/toddler programs	13%	NA	NA
Gymnastics programs	12%	14%	15%
Tumbling programs	10%	NA	NA
Wrestling	4%	NA	NA
Judo	3%	NA	NA

Parks and Recreation Benchmarking for Needs Assessment Surveys			
	Quincy Park District	Illinois Average	National Average
Parks and recreation <u>facilities</u> that respondent households have a need for			
Picnic areas and shelters	69%	48%	53%
Small neighborhood parks	66%	63%	60%
Walking and biking trails	62%	72%	69%
Riverfront parks	59%	NA	NA
Scenic views	56%	NA	NA
Playground equipment	54%	44%	42%
Large regional parks	53%	55%	55%
Outdoor swimming pools/water parks	49%	51%	44%
Miniature golf course	48%	NA	NA
Nature center and trails	44%	55%	54%
Sledding area	39%	43%	41%
Batting cages	34%	NA	NA
Fishing areas	29%	27%	32%
Paddle boat complex	29%	25%	28%
Outdoor amphitheater	26%	34%	35%
Outdoor tennis courts	26%	30%	26%
27, 18 and 9 hole golf courses	24%	36%	30%
Off-leash dog park	23%	25%	26%
Youth baseball and softball fields	23%	20%	25%
Outdoor ice rinks	22%	25%	27%
Outdoor basketball courts	19%	23%	24%
Adult softball fields	18%	12%	15%
Youth soccer fields	16%	21%	22%
Boat marina	12%	NA	NA
Disc golf course	11%	14%	12%
Skateboarding park	11%	12%	13%
Competitive tournament quality soccer fields	9%	NA	NA
Horseshoe courts	7%	NA	NA
Archery range	7%	NA	NA

Parks and Recreation Benchmarking for Needs Assessment Surveys			
	Quincy Park District	Illinois Average	National Average
Most important parks and recreation <u>facilities</u> (sum of top choices)			
Walking and biking trails	38%	43%	42%
Picnic areas and shelters	37%	13%	17%
Small neighborhood parks	31%	30%	29%
Playground equipment	30%	21%	21%
Outdoor swimming pools/water parks	23%	25%	18%
Riverfront parks	18%	NA	NA
Scenic views	17%	NA	NA
Large regional parks	17%	18%	19%
Nature center and trails	11%	21%	20%
27, 18 and 9 hole golf courses	11%	16%	14%
Miniature golf course	10%	NA	NA
Fishing areas	9%	8%	11%
Off-leash dog park	8%	13%	12%
Sledding area	7%	9%	8%
Youth baseball and softball fields	7%	6%	6%
Outdoor tennis courts	6%	8%	7%
Adult softball fields	5%	3%	4%
Youth soccer fields	5%	9%	8%
Batting cages	5%	NA	NA
Outdoor ice rinks	5%	7%	6%
Boat marina	4%	NA	NA
Outdoor amphitheater	4%	10%	9%
Archery range	3%	NA	NA
Outdoor basketball courts	3%	4%	5%
Paddle boat complex	2%	3%	8%
Competitive tournament quality soccer fields	2%	NA	NA
Disc golf course	2%	3%	3%
Horseshoe courts	2%	NA	NA
Skateboarding park	1%	2%	3%

Parks and Recreation Benchmarking for Needs Assessment Surveys			
	Quincy Park District	Illinois Average	National Average
Satisfaction with the overall value received from the parks and recreation department			
Very Satisfied	41%	31%	26%
Somewhat Satisfied	36%	35%	35%
Neutral	12%	17%	19%
Somewhat Dissatisfied	4%	5%	5%
Very Dissatisfied	2%	4%	3%
Don't Know	5%	10%	11%

Section 5:
Survey Instrument



Emerson Community Center
1310 Washington - Quincy, Illinois 62301-5213
Telephone 217-223-7703 – Fax 217-228-9209
Email info@quincyparkdistrict.com
www.quincyparkdistrict.com

**A Few Minutes of Your Time Will Help Make the Quincy Park District a
Better Asset to You and Your Community**

Dear Quincy Park District Resident:

Your response to the enclosed survey is extremely important...

The Quincy Park District is conducting a Community Survey as a part of a Strategic Plan to establish priorities for the future of the district's parks and recreation facilities, programs and services within the community. Your household was one of approximately 2,000 park district residents randomly selected to receive this survey, therefore, it is very important that you participate.

We appreciate your time...

We realize that this survey will take approximately 10-15 minutes to complete, but each question is important. The time you invest in completing this survey will aid the Quincy Park District in taking a resident-driven approach to making decisions that will enrich the future of our community and positively affect the lives of its residents.

Please complete and return your survey within the next two weeks...

We have selected Leisure Vision/ETC Institute, an independent survey company, as our partner to administer this questionnaire. They will compile the data received and present the results to the Quincy Park District. **Your responses will remain confidential.** Please return your completed survey in the enclosed postage-paid envelope addressed to ETC Institute, 725 W. Frontier Circle, Olathe, KS 66061.

If you have any questions, please feel free to contact the staff at Quincy Park District by calling 223-7703. The Community Survey is a tool that will benefit all residents. Please take this opportunity to let your voice be heard.

Sincerely,

A handwritten signature in dark ink, appearing to read "John Frankenhoff".

John Frankenhoff
Board President

A handwritten signature in dark ink, appearing to read "Daniel Gible".

Daniel Gible
Executive Director

COMMISSIONERS

JOHN FRANKENHOFF, President TOM BEHRENS, Vice President
DON ADOLFS - CHRIS HOGGE - MIKE RIDDER - TERRY ANASTAS - PATRICIA MCGLOTHLIN

DANIEL C. GIBBLE, Executive Director
MATTHEW A. HUTMACHER, Attorney

Community Interest and Opinion Survey: *Let your voice be heard today!*

The Quincy Park District would like your input to help determine park and recreation priorities for our community. **This survey will take 10-15 minutes to complete.** When you are finished, please return your survey in the enclosed postage-paid, return-reply envelope. We greatly appreciate your time.

- 1. From the following list, please check ALL the Quincy Park District parks you have visited over the past 12 months.**

- | | |
|--|---|
| <input type="checkbox"/> (01) All America Park | <input type="checkbox"/> (14) Leon Bailey Park |
| <input type="checkbox"/> (02) Berrian Park | <input type="checkbox"/> (15) Madison Park |
| <input type="checkbox"/> (03) Bob Bangert Park | <input type="checkbox"/> (16) Moorman Park |
| <input type="checkbox"/> (04) Bob Mays Park | <input type="checkbox"/> (17) Parker Heights Park |
| <input type="checkbox"/> (05) Boehl Memorial | <input type="checkbox"/> (18) Quinsippi Island |
| <input type="checkbox"/> (06) Boots Bush Park | <input type="checkbox"/> (19) Reservoir Park |
| <input type="checkbox"/> (07) Clat Adams Bicentennial Park | <input type="checkbox"/> (20) Riverview Park |
| <input type="checkbox"/> (08) Edgewater Park | <input type="checkbox"/> (21) South Park |
| <input type="checkbox"/> (09) Emerson Park | <input type="checkbox"/> (22) Sunset Park |
| <input type="checkbox"/> (10) Gardner Park | <input type="checkbox"/> (23) Washington Park |
| <input type="checkbox"/> (11) Indian Mounds Park | <input type="checkbox"/> (24) Wavering Park |
| <input type="checkbox"/> (12) Johnson Park | <input type="checkbox"/> (25) Westview Park |
| <input type="checkbox"/> (13) Kesler Park | <input type="checkbox"/> (26) None, we do not use any parks |

- 2. Which THREE of the parks listed in Question #1 do you feel are most in need of their condition being improved?** [Please write in the numbers below for your 1st, 2nd, and 3rd choices using the numbers in Question #1 above, or circle NONE.]

1st Choice

2nd Choice

3rd Choice

NONE

- 3. From the following list, please check ALL the Quincy Park District recreation facilities you or members of your household have used or visited in Quincy Park District parks over the past 12 months.**

- | | |
|--|--|
| <input type="checkbox"/> (01) Walking, hiking, and biking trails | <input type="checkbox"/> (12) Tennis courts |
| <input type="checkbox"/> (02) Baseball and softball fields | <input type="checkbox"/> (13) Basketball courts |
| <input type="checkbox"/> (03) Soccer/football fields | <input type="checkbox"/> (14) Riverfront Interpretive Center |
| <input type="checkbox"/> (04) Small neighborhood parks | <input type="checkbox"/> (15) Archery range |
| <input type="checkbox"/> (05) Riverfront parks | <input type="checkbox"/> (16) Playground equipment |
| <input type="checkbox"/> (06) Horseshoe areas | <input type="checkbox"/> (17) Scenic views |
| <input type="checkbox"/> (07) Fishing areas | <input type="checkbox"/> (18) Sledding area |
| <input type="checkbox"/> (08) Picnic areas/shelters | <input type="checkbox"/> (19) Women's City Club |
| <input type="checkbox"/> (09) Log Cabins | <input type="checkbox"/> (20) Villa Katherine |
| <input type="checkbox"/> (10) Emerson Recreation Center | <input type="checkbox"/> (21) Quincy Art Center |
| <input type="checkbox"/> (11) Antique Auto Museum | <input type="checkbox"/> (22) None |

- 4. Which THREE of the recreation facilities listed in Question #3 do you and members of your household visit the most often?** [Please write in the numbers below for your 1st, 2nd, and 3rd choices using the numbers in Question #3 above, or circle NONE.]

1st Most Often

2nd Most Often

3rd Most Often

NONE

5. Overall how would you rate the physical condition of ALL the parks and recreation sites in the Quincy Park District system you have visited?

____ (1) Excellent
____ (2) Good

____ (3) Fair
____ (4) Poor

6. Please indicate if YOU or any member of your HOUSEHOLD has used any of the following Quincy Park District Special Revenue facilities listed below by circling the YES or NO next to the facility.

If YES, please indicate how you would rate the condition of the Quincy Park District Special Revenue facility by circling the corresponding number to the right of the facility.

Name of Facility	Do You Use this Facility?		If YES You Use, How would you rate the condition of the facility?			
	Yes	No	Excellent	Good	Fair	Poor
A. Art Keller Marina	Yes	No	4	3	2	1
B. Indian Mounds Pool	Yes	No	4	3	2	1
C. Mini-Golf, Batting Cages, and Paddle Boat Complex	Yes	No	4	3	2	1
D. Waverling Aquatic Center	Yes	No	4	3	2	1
E. Westview Golf Course	Yes	No	4	3	2	1

7. Which TWO of the Special Revenue Facilities listed in Question #6 do you and members of your household visit the most often? [Please write in the letters below for your 1st, and 2nd, choices using the letters in Question #6 above, or circle NONE.]

1st Most Often

2nd Most Often

NONE

8. Has your household participated in any recreation programs offered by the Quincy Park District during the past 12 months?

____ (1) Yes [Please answer Questions #8a]

____ (2) No [Please go to Question #9.]

8a. How many different recreation programs or activities offered by the Quincy Park District has your household participated in during the past 12 months?

____ (1) 1 program/activities

____ (3) 5 to 10 programs/activities

____ (2) 2 to 4 programs/activities

____ (4) 11 or more programs/activities

9. Please check ALL the ways you learn about Quincy Park District parks, trails, programs and activities.

____ (01) Park District Brochure

____ (08) From friends and neighbors

____ (02) Park District Website

____ (09) School flyers/newsletters

____ (03) Newspaper articles

____ (10) E-mail bulletins

____ (04) Radio

____ (11) Conversations with Park District staff

____ (05) Cable access television

____ (12) Newspaper advertisements

____ (06) Flyers at Park District facilities

____ (13) Other: _____

____ (07) Social networks

10. Please indicate if YOU or any member of your HOUSEHOLD has a need for each of the **RECREATION FACILITIES** listed below by circling the YES or NO next to the park/facility.

If YES, please rate ALL the following parks and recreation **FACILITIES** of this type in Quincy on a scale of 5 to 1, where 5 means “100% Meets Needs” and 1 means “Does Not Meet Needs” of your household.

Type of Facility	Do You Have a Need for this Facility?		If YES You Have a Need, How Well Are Your Needs Being Met?				
	Yes	No	100% Met	75% Met	50% Met	25% Met	0% Met
A. Youth soccer fields	Yes	No	5	4	3	2	1
B. Competitive tournament quality soccer fields	Yes	No	5	4	3	2	1
C. Youth baseball and softball fields	Yes	No	5	4	3	2	1
D. Adult softball fields	Yes	No	5	4	3	2	1
E. Small neighborhood parks	Yes	No	5	4	3	2	1
F. Large regional parks	Yes	No	5	4	3	2	1
G. Riverfront parks	Yes	No	5	4	3	2	1
H. Off-leash dog park	Yes	No	5	4	3	2	1
I. Walking and biking trails	Yes	No	5	4	3	2	1
J. Nature center and trails	Yes	No	5	4	3	2	1
K. Outdoor swimming pools/water parks	Yes	No	5	4	3	2	1
L. Playground equipment	Yes	No	5	4	3	2	1
M. Picnic areas and shelters	Yes	No	5	4	3	2	1
N. Outdoor amphitheater	Yes	No	5	4	3	2	1
O. Outdoor tennis courts	Yes	No	5	4	3	2	1
P. Outdoor basketball courts	Yes	No	5	4	3	2	1
Q. 27, 18 and 9 hole golf courses	Yes	No	5	4	3	2	1
R. Boat marina	Yes	No	5	4	3	2	1
S. Paddle boat complex	Yes	No	5	4	3	2	1
T. Fishing areas	Yes	No	5	4	3	2	1
U. Miniature golf course	Yes	No	5	4	3	2	1
V. Batting cages	Yes	No	5	4	3	2	1
W. Outdoor ice rinks	Yes	No	5	4	3	2	1
X. Skateboarding park	Yes	No	5	4	3	2	1
Y. Disc golf course	Yes	No	5	4	3	2	1
1. Horseshoe courts	Yes	No	5	4	3	2	1
2. Archery range	Yes	No	5	4	3	2	1
3. Scenic views	Yes	No	5	4	3	2	1
4. Sledding area	Yes	No	5	4	3	2	1

11. Which **FOUR** of the facilities from the list in Question #10 are *most important* to your household?
 [Using the letters and numbers in the left hand column of Question #10 above, please write in the letters or numbers below for your 1st, 2nd, 3rd, and 4th choices, or circle 'NONE'].

1st. _____ 2nd. _____ 3rd. _____ 4th. _____ NONE

12. How safe do you feel in the parks that you go to? [Check ONE]

____ (1) Very safe [skip to Q13]

____ (3) Somewhat safe [please answer Q12a]

____ (2) Safe [skip to Q13]

____ (4) Not safe [please answer Q12a]

12a. Please check ALL the reasons why you feel somewhat safe or not safe.

____ (1) Way the park is laid out

____ (2) The park is overgrown with plantings that make it hard to see

____ (3) The park is unattractive

____ (4) Inadequate lighting in the park

____ (5) There are not enough people visiting the park

____ (6) Other: _____

13. Please indicate if YOU or any member of your HOUSEHOLD has a need for each of the RECREATION PROGRAMS listed below by circling the YES or NO next to the program.

If YES, please rate ALL the following RECREATION PROGRAMS of this type in Quincy on a scale of 5 to 1, where 5 means “100% Meets Needs” and 1 means “Does Not Meet Needs” of your household.

Type of Program	Do You Have a Need for this Program?		If YES You Have a Need, How Well Are Your Needs Being Met?				
	Yes	No	100% Met	75% Met	50% Met	25% Met	0% Met
A. Environmental education programs	Yes	No	5	4	3	2	1
B. Nature activities	Yes	No	5	4	3	2	1
C. Tumbling programs	Yes	No	5	4	3	2	1
D. Gymnastics programs	Yes	No	5	4	3	2	1
E. Summer day camps	Yes	No	5	4	3	2	1
F. Pre-school age programs	Yes	No	5	4	3	2	1
G. Parent/toddler programs	Yes	No	5	4	3	2	1
H. Wrestling	Yes	No	5	4	3	2	1
I. Judo	Yes	No	5	4	3	2	1
J. Adult education type programs	Yes	No	5	4	3	2	1
K. Programs for older adults/seniors	Yes	No	5	4	3	2	1

14. Please CHECK ALL the reasons that prevent you or other members of your household from using parks, recreation and sports facilities or programs of the Quincy Park District more often.

____ (01) Facilities are not well maintained

____ (11) Poor customer service by staff

____ (02) Program or facility not offered

____ (12) I do not know locations of facilities

____ (03) Facilities lack the right equipment

____ (13) Use services of other agencies

____ (04) Safety concerns in the parks

____ (14) Not accessible for people with disabilities

____ (05) Lack of quality programs

____ (15) I do not know what is being offered

____ (06) Too far from our residence

____ (16) Facility operating hours not convenient

____ (07) Class full

____ (17) Registration for programs is difficult

____ (08) Program times are not convenient

____ (18) Lack of parking by facilities and parks

____ (09) Use facilities in other cities

____ (19) Other: _____

____ (10) Fees are too high

____ (20) None

15. Have you or any members of your household used the Cedar Creek Trail during the past 2 years?

- ☐ (1) Yes
☐ (2) No

16. Currently the Cedar Creek Trail runs from 18th to 12th Street. The Quincy Park District is considering extending the Cedar Creek Trail from 12th Street to the Mississippi River. Are you supportive of extending the Cedar Creek Trail from 12th Street to the Mississippi River?

- ☐ (1) Yes
☐ (2) No
☐ (3) Not sure

17. The Quincy Park District is also considering extending the Cedar Creek Trail from 18th Street to 36th Street. Are you supportive of extending the Cedar Creek Trail from 18th Street to 36th Street?

- ☐ (1) Yes
☐ (2) No
☐ (3) Not sure

18. The Quincy Park District operates two pools. Indian Mounds Pool was rebuilt in 2003 and is in good condition. The Wavering Aquatic Center was built in 1980 and is near the end of its life span and in need of major maintenance repairs. Each of the pools costs tax dollars to operate.

Knowing this, which ONE of the following actions would you take?

- ☐ (1) Close the Wavering Aquatic Center and have pool patrons use the Indian Mounds Pool. This action would save tax revenues that are going into operating the two pools.
- ☐ (2) Leave the Wavering Aquatic Center open and renovate the 30 year old pool and continue the tax costs for operating two pools.
- ☐ (3) Build a new Wavering Aquatic Center that will have more leisure features, such as zero depth pool, lazy river, water slides, interactive play features for children, etc. and use the tax revenues for the current existing Aquatic Center to fund operations of a new Aquatic Center.
- ☐ (4) Not sure

19. From the following list, please check the THREE actions that you feel are most important to improve Quinsippi Island, Quincy Bay, and the Riverfront of Quincy.

- | | |
|--|---|
| <input type="checkbox"/> (01) Walking trails | <input type="checkbox"/> (06) Playgrounds |
| <input type="checkbox"/> (02) Better bridge access to the Island | <input type="checkbox"/> (07) A public dock for visiting/occasional boaters |
| <input type="checkbox"/> (03) Picnic tables | <input type="checkbox"/> (08) Other: _____ |
| <input type="checkbox"/> (04) Fishing piers | <input type="checkbox"/> (09) Nothing |
| <input type="checkbox"/> (05) Dredging the Bay | |

20. From the list, please indicate how important you feel each of the following actions are by circling the number to the right of the action.

<u>How important is it for the Quincy Park District to:</u>	<u>Very Important</u>	<u>Somewhat Important</u>	<u>Not Sure</u>	<u>Not Important</u>
(A) Preserve or re-create Natural Areas, i.e. prairie, wildflowers, grasslands....	4	3	2	1
(B) Allow for increased energy conservation.....	4	3	2	1
(C) Renovate or construct facilities using alternative energy sources, i.e. wind power, solar, geothermal, etc.....	4	3	2	1
(D) Teach about the environment and care for our planet.....	4	3	2	1

21. Which TWO of the actions from the list in Question #20 do you feel are most important? [Using the letters in the left hand column of Question #20 above, please write in the letters below for your 1st and 2nd choices, or circle 'NONE'.]

1st. _____ 2nd. _____ NONE

22. Following are actions that the Quincy Park District could take to improve the Parks and Recreation system. Please indicate whether you would be very supportive, somewhat supportive, or not supportive of each action by circling the number next to the action.

<u>How supportive are you of having the Quincy Park District</u>	<u>Very Supportive</u>	<u>Somewhat Supportive</u>	<u>Not Sure</u>	<u>Not Supportive</u>
(A) Maintain Emerson Recreation Center	4	3	2	1
(B) Upgrade existing neighborhood parks.....	4	3	2	1
(C) Upgrade/expand Boots Bush Soccer Complex	4	3	2	1
(D) Upgrade the existing Westview Golf Course	4	3	2	1
(E) Upgrade the existing Marina and Boat Launch area	4	3	2	1
(F) Upgrade the existing Wavering Aquatic Center	4	3	2	1
(G) Renovate the parks along the Bluffs.....	4	3	2	1
(H) Extend the Cedar Creek Trail to the Mississippi River ...	4	3	2	1
(I) Extend the Cedar Trail to 36 th Street	4	3	2	1
(J) Develop recreation facilities along the Mississippi River	4	3	2	1
(K) Develop new youth/adult athletic fields	4	3	2	1
(L) Develop a new Wavering Aquatic Center.....	4	3	2	1
(M) Develop a new outdoor ice-skating rink.....	4	3	2	1

23. Which THREE of the actions from the list in Question #22 would you be most willing to fund with your tax dollars? [Using the letters in the left hand column of Question #22 above, please write in the letters below for your 1st, 2nd, and 3rd choices, or circle 'NONE'.]

1st. _____ 2nd. _____ 3rd. _____ NONE

24. The Quincy Park District has room within its current bond fund to invest about \$3.5 million in park improvements or an average of \$35 per year increase in property taxes on a \$100,000 home for the next five years.

Knowing that, which ONE of the following would be the maximum amount of additional tax revenues you would be willing to invest per year for the types of parks, recreation, sports, and aquatic improvements that you rated as your top 3 choices in Question 23?

- | | |
|-----------------------------|----------------------------------|
| ____ (1) \$35 per year | ____ (4) \$5-\$14 per year |
| ____ (2) \$25-\$34 per year | ____ (5) Under \$5 |
| ____ (3) \$15-\$24 per year | ____ (6) No property tax funding |

25. Please rate your level of satisfaction with the overall value your household receives from the Quincy Park District.

- | | |
|-----------------------------|--------------------------------|
| ____ (1) Very Satisfied | ____ (4) Somewhat Dissatisfied |
| ____ (2) Somewhat Satisfied | ____ (5) Very Dissatisfied |
| ____ (3) Neutral | ____ (6) Don't Know |

Demographics

26. Counting yourself, how many people in your household are?

- | | | | |
|------------------|-----------------|-----------------|-----------------|
| Under age 5 ____ | Ages 15-19 ____ | Ages 35-44 ____ | Ages 65-74 ____ |
| Ages 5-9 ____ | Ages 20-24 ____ | Ages 45-54 ____ | Ages 75+ ____ |
| Ages 10-14 ____ | Ages 25-34 ____ | Ages 55-64 ____ | |

27. What is your age? _____

28. Your gender: ____ (1) Male ____ (2) Female

29. What is your household income?

- | | |
|----------------------------|-----------------------------|
| ____ (1) Under \$25,000 | ____ (4) \$75,000-\$100,000 |
| ____ (2) \$25,000-\$49,999 | ____ (5) \$100,000 or more |
| ____ (3) \$50,000-\$74,999 | |

30. How many years have you lived in Quincy? _____ years

This concludes the survey. Thank you for your time.

Please Return Your Completed Survey in the Enclosed Return-Reply Envelope Addressed to:
ETC Institute, 725 W. Frontier Circle, Olathe, KS 66061

Your response will remain Completely Confidential.
The address information on the sticker to the right will
ONLY be used to help identify areas with special interests.

Summary of Findings

Business and Community Leader Interviews

INTRODUCTION:

Part of the Comprehensive Planning Process that is essential to assuring the best possible representation of goals, objectives, and priorities in our five year planning horizon, is to have as broad a body of input from park district stakeholders as is possible. In order to develop as broad a body of input as possible, the Quincy Park District has:

- Conducted focus groups with citizens from four geographic regions in Quincy Park District.
- Completed a community-wide survey that was distributed to a random sample of over 2,500 park district residents.
- Conducted a SWOT Analysis with Board and Staff Teams.
- Spent over 12 months reviewing a large variety of detailed items audited by staff, and reviewed/critiqued by the Board of Commissioners.
- Consulted professional services in key areas where Board or Staff expertise was insufficient or unqualified to assess key information.
- Allowed for local city, county, school district, and other public agencies to provide information and input to the planning process.

In addition, the Quincy Park District plans to further allow for public input and information about our citizens by:

- Analyzing recent census data on Quincy.
- Holding study sessions to review and prioritize the key information gained by the planning process.
- Reviewing equity mapping for consideration of allocation of open space for all of the citizens of Quincy Park District.
- Holding public hearings on the draft comprehensive plan to allow for public comment and questions.

One additional tool used in comprehensive planning has been adopted by the Quincy Park District to broaden and deepen the input it receives, and to assist Staff and the Board in setting its priorities, goals and objectives. During the months of March and April, the Quincy Park District Executive Director planned and carried out one-on-one interviews with a group of about 35 Business and Community Leaders. While the park district is taking a number of steps to assure input from the public, this process is intended to garner input from leaders whose responsibility it is to assure the greater good of our citizenry through a healthy business climate, quality community services (police, fire, water, roads/highways, schools, etc.), and “big picture”

thinking. One of the “tools” in the comprehensive planning toolbox that is commonly used to accomplish this is these one-on-one interviews. When meeting with Maureen Kahn, President and CEO of Blessing Hospital, she referred to this process as Voice of the Community interviews. In fact, she is using a similar approach in Blessing’s Comprehensive Planning process in the month of May, and the Executive Director has been invited to be involved. The reality is that our community leaders and business leaders often are thinking of the greater good, and do a wonderful job of thinking outside the box—to steal an old cliché.

The discussion of a common, core group of questions with these leaders helps provide a business perspective and sensitivity to a very community and citizen-oriented operation—the Quincy Park District. The Quincy Park District appreciates all that the Business Community has done for it over the years. Furthermore, the City of Quincy, the County of Adams, the Quincy Public Schools, and so many community groups/affiliates have made it possible for Quincy Park District to succeed in what it does. We couldn’t do it without you, nor can we move forward without you.

The intent, therefore, of this summary is not to convey what an individual business owner/leader said, or what one of our community leaders feels, singularly, is most important. Rather the intent is to convey what were some of the most common ideas, thoughts, concerns and issues on the minds of these Business and Community Leaders—related to the park district.

While we could not meet with everybody, it does not mean that the Quincy Park District does not care about the input of those who did not participate in this process. Instead, just as the district is sampling other populations through Focus Groups, we took a sample of about 35 leaders for this process. The Quincy Park District wishes to thank:

Holly Cain, Executive Director: Quincy Area Convention and Visitors Bureau

Mike Klingner, President: Klingner & Associates

John Spring, Mayor: City of Quincy

Paul Brown, Vice President: Friends of the Castle

Terry Myers, President: ADM

Dr. Thomas Klincar, President: John Wood Community College

Jim Mentesti, President: Great River Economic Development Foundation

Amy Looten, Executive Director: Quincy Area Chamber of Commerce

Cullan Duke, Landscape Architect: Klingner & Associates

Julie Nelson, Executive Director/Curator: Quincy Arts Center

Dr. Robert Gervasi, President: Quincy University

Lonny Lemon, Superintendent of Schools: Quincy Public Schools

Travis Brown, Executive Director: Historic Quincy Business District

Rob Dwyer, Executive Director: Quincy Society of Fine Arts

Richard McNay, President: McNay Trucking

Chuck Fisher, Plant Manager: Quincy Compressor

Art Greenbank, President and CEO: First Bankers Trust
Chuck Scholz, Attorney/Past Mayor: City of Quincy
MaryAnn Wray, Vice President of Purchasing: Titan Wheel
Ron Schildt, Vice President of Corporate Development: Titan Wheel
Michael O'Connor, Manager of Organizational Development: Gardner Denver
Mike McLaughlin, Chairman: Adams County Board
Jil Tracy, Representative: Illinois House of Representatives
Ted Averkamp, President & CEO: Mercantile Bank
Ted Niemann, Attorney and President: Quincy Parks Foundation
Doris Sapp, President: Women's City Club
Aric Sharp, CEO: Quincy Medical Group
Major Dan Jennings, Senior Kroc Officer: Salvation Army
Maureen Kahn, President & CEO: Blessing Hospital
John Sullivan, State Senator: Illinois State Senate
Rich Niemann, Jr., President: Niemann Foods, Inc.
Bo Knapheide, Vice President: Knapheide Manufacturing
Teri Provine, Customer Service: Blue Cross/Blue Shield
Roy Nelson, General Manager: Pepsi Cola Quincy, IL

QUESTIONS:

In order to promote a focus for the interviews with our community's leaders, a standard set of questions was used. Those questions were:

1. When you think of Quincy Park District, what are your most positive thoughts or impressions?
2. How about your negative impressions or thoughts, what are they?
3. What does Quincy Park District currently do that you feel benefits your business or organization the most?
4. What is it about Quincy Park District that hurts your business or organization the most?
5. Are you familiar with the Quincy Park Foundation? What do you know about it?
6. In terms of parks and recreation services, what do you feel that Quincy Park District can do to improve the community of Quincy, attract businesses, and serve its citizens?
7. Are there any particular things that Quincy Park District does that benefits your business or organization directly?
8. Do you have any new ideas for recreation programs or park services that you feel the Quincy Park District should consider?

9. What do you think your organization or business can contribute to the improvement of the Quincy Park District?
10. What else do you want me to consider in regards to the Quincy Park District and its future?

Participants were assured that they would not be directly quoted, nor would any of their comments be attributed to them. Rather, their input would be confidential, and reported as a “conglomeration” or summary of key findings, so that they could speak freely.

FINDINGS:

The outcomes from these interviews have led to about 4 cornerstone findings, that, quite simply, were common wherever I went. It is safe to say that our community leaders feel:

- The Quincy Park District is one of three or four key assets that lead and shape the core quality of Quincy life.
- The Quincy Park District is one of two or three key recruiting tools when businesses are trying to recruit employees or lure businesses to locate in Quincy.
- The long history of community desire to provide open space for parks and recreation is a proud tradition for everyone, and should continue.
- The Quincy Park District is a value.

Again, these four items were a central theme found throughout the people I met with. In a secondary group, there were some common themes that a majority of the individuals highlighted as being of concern or importance. Those predominant items were:

- The park district must continue to play a key role in the health, fitness, and beautification of our community.
- Program and facility partnerships should be sought.
- We must work to get youth outdoors, more, and with more than just sports.
- There is little feeling of concern that the park district is over-taxing its citizens or businesses.
- Cedar Creek Trail is a strong asset.
- It is time to take care of some of our older parks—update and open up.
- Development and improvement of the Riverfront and Bay.
- Lack of communication about what we do and what we offer.

When asked about the positives and negatives (Q.1. and Q.2.), the most common responses were:

POSITIVES:

- Washington Park
- Westview Golf Course
- Cedar Creek Trail
- Beautiful Parks

NEGATIVES:

- Community Does Not Realize All It Has
- Need More Kids and Family Activities
- The Riverfront Needs More Attention (NOTE: The individuals interviewed had different definitions of what the Riverfront was. They included, more-or-less, the east bank, the bay, and Quinsippi Island.)
- Older Parks Need More Attention

When asked about what hurts or benefits their businesses (Q.3. and Q.4.), the most common responses were:

BENEFITS:

- Recruiting
- Overall Quality of Life
- Variety
- Value

HURTS:

People struggled to come up with anything negative about the park district. Part of this, it is understood, is the unwillingness of the interviewees to be disrespectful. Nonetheless, the interviewer encouraged the individuals to be open about their concerns, as we stand to learn from the concerns or issues of others. The few things identified were:

- Riverfront Issues: Cleanup after floods, Overgrown look of Quinsippi Island, and the impression one gets crossing the bridge from Missouri into Quincy.
- Older Parks: Need attention, Don't feel as safe.

In terms of knowledge of the Foundation (Q.5.) there was very little, or no knowledge of its existence or purpose. The exception was with two individuals who serve on that foundation.

When asked about actions that could be taken to improve services, attract business, or serve its citizens (Q.6.), the most frequent suggestions were:

- Help work on making our Riverfront more appealing.
- Increase efforts to provide programs for kids, and getting them outside. (Several people talked about doing things for kids—not only to keep them active in things like sports, but non-sports, as well. In addition, several talked about the idea of doing things to keep kids in Quincy once they get older—not having them move away.)
- More active things to do in winter (In follow-up, the interviewer asked about ice skating. A few people liked that idea, but nobody was crazy about it, or stuck on it. Some did feel that skating would be one good idea. Also, in follow-up, the interviewer asked what other winter activity ideas the individuals’ might have, but only one had a direct suggestion—a tobogganing chute.
- Cedar Creek Trail finished.

In a related question (Q.8.) individuals were asked if they had any new ideas for recreation programs or park services. The most frequent suggestions were:

- Health and Fitness courses
- Programs for kids

When asked about items that directly benefit their business or organization which is derived from the Quincy Park District (Q.7.), there was a resounding response that focused in one area. That response focused on how a great parks and recreation system increases community attractiveness for people to locate here, businesses to locate here, and help our economy.

When asked what they thought their organization or business could contribute to the improvement of the Quincy Park District (Q.9.) the more common reactions were:

- Cooperation
- Help with Promotion
- Volunteers and Other In-Kind Support

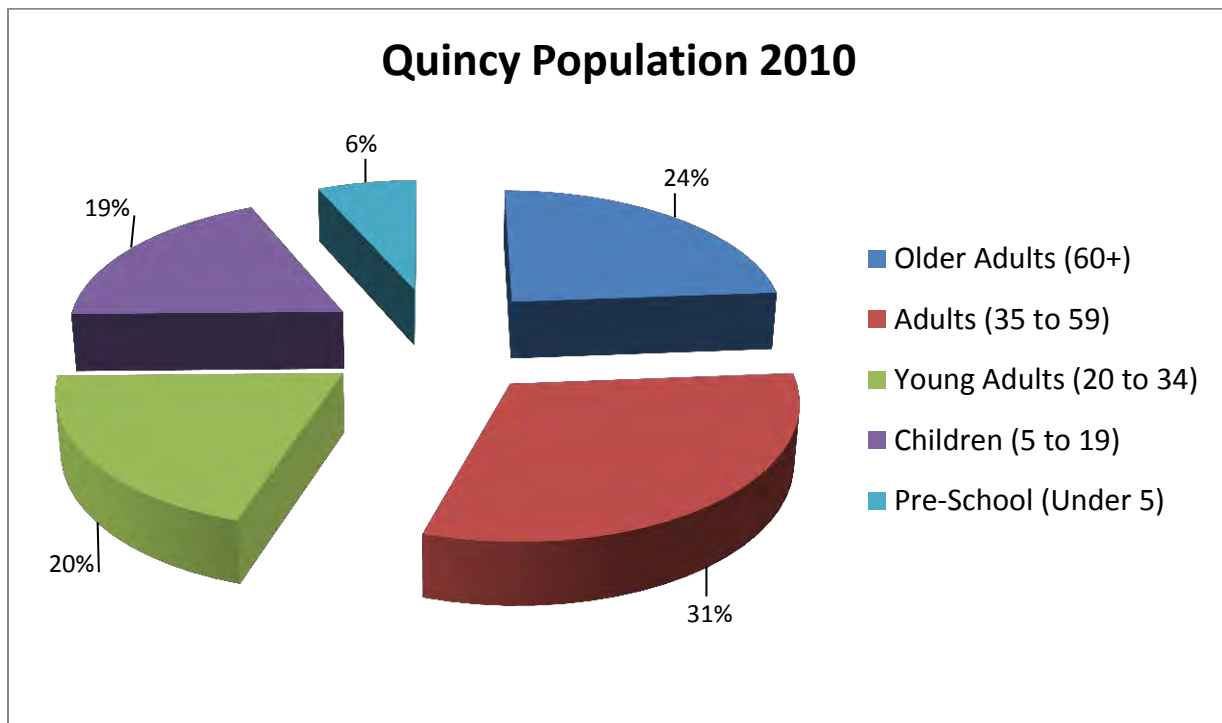
The interviewer concluded with a “catch-all” question (Q.10.), which allowed people to speak about pretty much anything related to the park district that they didn’t feel they were able to speak about, otherwise. At this point, most everyone went back to some of their opening comments related to Question 1—Positive Thoughts and Impressions of the Park District—and spoke very highly of the district. A few unique items came up. The ones that were shared that were mentioned by more than one or two individuals were:

- Some thought needs to be given to providing services for, and having features/activities in Quincy that appeal to young adults/young professionals—often single, more urban-oriented folks.
- Bay Siltation.
- We should have a Family Orientation in all that we do.

Demographic Data

To better understand who we are serving, it is important that we understand some of the demographic data about the Quincy population. Some things have not changed much. We are still roughly a 53% Female, and 47% Male population, for example. Furthermore, we are still a predominantly a White population, but that has dropped from 93%, to just over 90%. The increase has come in our Black, Asian and Hispanic populations.

The change in Total Population has only increased by 277 individuals. Quincy's population in 2010, according to the US Census, is 40,633. The breakdown by age group is demonstrated in the pie chart, below:

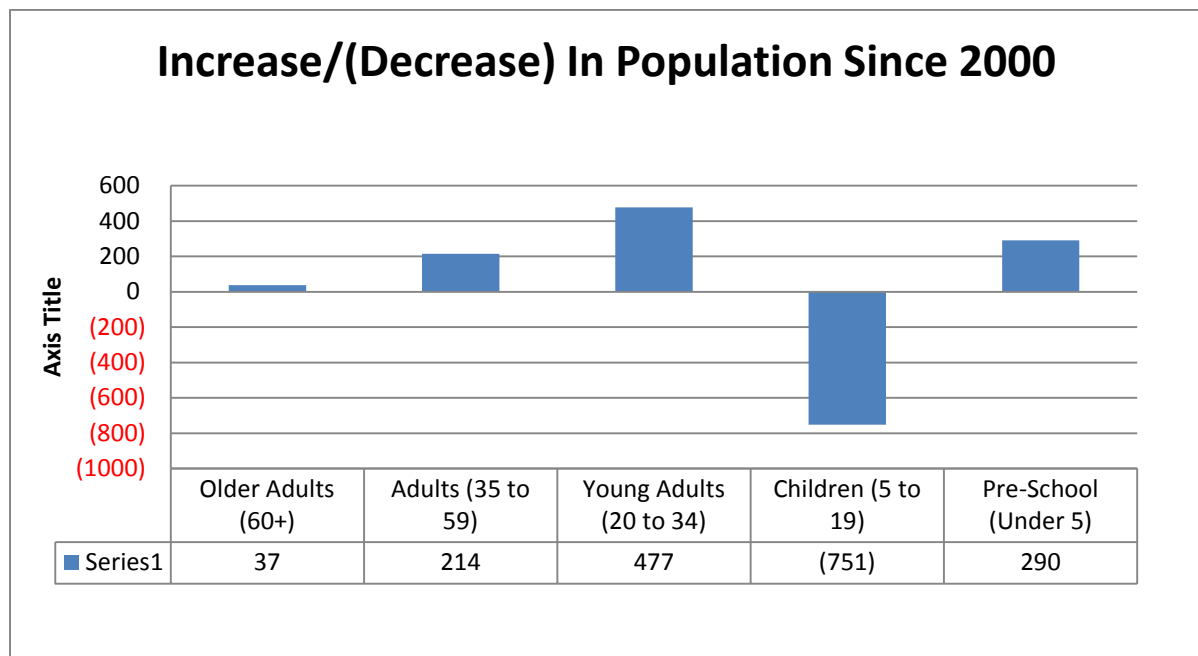


It is unfortunate, but at the time of the creation of the Quincy Park District's Comprehensive Plan in 2011, the data related to income, poverty, and related economic data was not yet released by the US Census Bureau. One indicator of the economy is housing by rental or ownership. While not a lot has changed in this category, there is a slight increase in number of households who are renting. Some would suggest that this is a sign that people are on more limited or fixed incomes. Quincy, however, has tracked well below the national averages for unemployment over the last two years, and has weathered the economic downturn better than most in the state of Illinois or nationally.

Most Notable Changes

Perhaps what is most significant besides a growing Asian and Hispanic population is the shift in ages. The chart on the next page shows:

- A sharp drop in Children Ages 5 to 19;
- A growing Young Adult population; And
- A surge in Pre-School Age (under 5) population considering that group only measures a 4 year age range.



Implications

Clearly the implications have several manifestations. Some of those might include:

- Any new programming may want to be sure it focuses on pre-school age, and/or young adult age.
- Playgrounds will continue to be important.
- The young adult age population is more independent, and seeks “self-directed” activities. These are often focused on trails and in parks.
- The young adult and adult populations have a “greener” focus, and tend to support environmental education programs, natural area restoration, and neighborhood park use.

- There is some research that shows differences in how our Asian and Hispanic populations use parks and participate in different sports, activities, and events.
- Programs geared toward school-age groups may see shrinking participation—QPD focuses our programming for this age group on sports and after-school activities.

Appendix B: Meeting the Requirements for ADA

1. ADA Executive Summary
2. ADA Study 5 Year Budget Plan

FINAL REPORT TO THE Quincy Park District

Conclusions and Recommendations

May 11, 2011

All Site Conclusions and Recommendations

Background

A step-by-step approach will help the Quincy Park District address the deficits in the specific site reports. We recommend the following to accomplish the goal of making District programs in District facilities more accessible to people with disabilities.

A Guide to this Section

There are 2225 access deficits identified in the 37 site reports. That is the ADA requirement, the identification of every access deficit at every site and facility. And, for every deficit, a solution must be identified.

However, this section is all about the big picture. As discussed in the cover letter with this report, the District does ***not necessarily have to make every site accessible***. It ***does*** have to make every program it conducts within its sites accessible.

We have attempted to identify some broad solutions, such as the refreshing of all accessible parking, as a way to address issues identified in the earlier 51 site reports, and as a way for the District to better manage compliance. This approach also gives the District flexibility within its compliance efforts to move resources so that they are applied with optimal impact.

This is also about accountability. The adjustments to door closers, eliminating changes in level, and other recommended actions are ineffective if not maintained over time by District employees. We recommend the following to facilitate review:

First, read the final report cover letter to Dan Gible. It describes the concepts and requirements invoked throughout the report.

Second, read this Conclusion section. As mentioned above, this is a big picture review of the issues and solutions we recommend.

Third, read the 37 site reports. Use your computer and you'll have instant access to the report for that site, the photo gallery, and the checklists.

Fourth, use your knowledge of the sites and of your staffs' expertise. You know Quincy Park District sites better than we do, and you certainly know the staff better than we do. Blend in what you know with what we recommend in the report. There is always another way to solve an access problem...perhaps you'll be the one to see that solution.

Common Issues

In our evaluation, some common issues arose. These included the way maintenance affects accessibility to playground surfaces used. The common issues are also "big picture" items for the District and incorporate many of the specific site recommendations.

Maintenance

The District uses a conscientious staff to maintain its facilities and sites. However, over time, every facility and site yields to wear and tear. The recommendations below describe ways in which attention to maintenance can specifically address some access deficits.

1. **Provide training** to maintenance staffs regarding the features of an accessible route and how to ensure that it remains unobstructed and that park amenities (such as garbage cans or signs) are placed adjacent to the accessible route.
2. **Provide training** to recreation staffs regarding the features of an accessible route and how to ensure that it remains unobstructed.
3. **Purchase some new tools.** The District should have enough battery-powered digital levels, and tools to measure pounds of force for doors, to equip some staff for occasional spot-checks. A great website for gauges is:

<http://www.technologylk.com/crl-door-pressure-gauge-lk-HMC035.htm?src=froogle>.

Changes in Level and Gaps

The routes and sidewalks that make up the District's network of accessible routes are in fair condition. Wear and tear, settling, weather, and other factors combine to cause changes in level and gaps along portions of those accessible routes, making that portion noncompliant and a barrier to many customers with physical and sensory disabilities.

Removing changes in level and gaps has a significant universal design benefit too, as more people with all types of conditions can more easily use District routes...staff pushing carts of supplies, parents with kids in strollers, and people using an assistive device such as a wheelchair, Segway, or walker.

4. **Eliminate changes in level** in 2012 or 2013. Using the rationale that the most severe changes in level are the greatest barriers to access, make changes in level of greater than .75" the highest priority. Make changes in level of between .5" and .75" the second priority. Make beveling of changes in level of .25" to .5" the third priority.
5. **Add** change in level of more than .25", and gap checks of greater than .5", **to park maintenance safety checklists** in 2011 if not sooner. This will help identify and correct these problems before they expand. Make pre-measured shims and distribute to employees for their use and ease of measurement.
6. **Add inspections for gaps** of greater than .5" **to park maintenance safety checklists**. Identify and fill these gaps before they expand. **In the alternative, consider a resurfacing of segments of asphalt route** which have deteriorated.
7. **Adopt** a policy about the use of other Other Power Driven Mobility Devices in District facilities and at District sites, and promote that policy to the general public. Every day, more people with limited physical mobility start to use a Segway or similar machines.

Pursuant to the new ADA title II regulation published September 14, 2010, this policy was to have been in place by March 15, 2011.

These assistive devices provide great benefits to people with disabilities and the sooner the District has a policy in regard to their use the better. The policy could, at a minimum, address times of allowed use (dawn to dusk), speed limits, off-limits areas, status of the user as a person with a disability, and minimum age. It is important to note that a power driven mobility device is not a wheelchair. That device has a separate definition and is already allowed in facilities and parks.

The components of a policy are noted below. ***The District is welcome to use some, all, or none of this, but a policy must be in place. We recommend at least the following statements:***

Definition: An electronic personal assistive mobility device (EPAMD) is a device used by a person with a mobility impairment for ambulation. This definition does **not** include gasoline powered devices, golf cars, or riding lawn mowers,

Permission: The Quincy Park District authorizes persons with mobility impairments to use EPAMDs in District facilities and sites subject to the following restrictions:

1. The operator of the device must be a person with a mobility impairment, and upon request by District officials, shall produce proof of such within 24 hours;
2. The device, if used in a facility or in a park, is allowed in any area of the facility or park in which the general public is allowed, with the exception of employee only spaces, stairways, and identified hazardous areas;
3. The device, if used in a facility, must be controlled by the operator. It:
 - A. may not exceed 4 mph;
 - B. shall be driven on the right side of the circulation route;
 - C. is prohibited from carrying another person on the frame, or any object on the frame that may make the EPAMD less stable; and
 - D. must not be operated in a dangerous or reckless manner that jeopardizes the safety of the operator, District employees, or District participants.
4. The device, if used in a park or outside, must be controlled by the operator. It:
 - A. may not be operated between dusk and dawn unless equipped with headlights that are visible at 300'
 - B. may not exceed 6 mph;

- C. shall not be driven into wet or ecologically sensitive areas which are posted as such;
 - D. shall be driven on the right side of the circulation route;
 - E. is prohibited from carrying another person on the frame, or any object on the frame that may make the EPAMD less stable;
 - F. must not be operated in a dangerous or reckless manner that jeopardizes operator safety, District employees, or District participants.
- 5. The District accepts no responsibility for storage of the device.
 - 6. The District accepts no liability for damage to the device, or injury to the operator, whether caused by the operator, another visitor to a District facility or site, or any other circumstance.
 - 7. The District accepts no liability for damage caused by the operator of the device, or injury to others caused by the operator of the device.
 - 8. The District reserves the right to suspend the use of facilities or sites by the operator if doing so is in the best interests of the District and its participants.
 - 9. The District reserves the right to change, modify, or amend this policy at any time, as it would any other policy.

Additionally, a sample policy from the Forest Preserve District of Will County is below.

SECTION 6: POWER-DRIVEN MOBILITY DEVICE: No PERSON shall upon, within or in connection with PROPERTY of the DISTRICT:

- a. Operate a POWER-DRIVEN MOBILITY DEVICE unless said person is qualified individual under the ADA.
- b. Operate a POWER-DRIVEN MOBILITY DEVICE except on a designated path, trail, or roadway.
- c. Fail to drive the right hand side of any road, trail or path, as conditions permit.
- d. Fail to obey POSTED speed limits.
- e. Carry another PERSON on the frame or operate the device in a reckless manner so as to endanger other patrons.

“POWER-DRIVEN MOBILITY DEVICE” where used means wheelchairs, mobility scooters, electronic personal assistive mobility devices (EPAMDs) and specifically excludes riding lawn mowers, golf carts, wheelchairs with rubber tracks, and gasoline-powered, two-wheeled scooters.

Obstructed Accessible Routes

Employees **may** see an accessible route as an empty 36" wide space in which a potted plant or garbage can is a perfect fit. However, that blocks or obstructs the accessible route

8. ***Provide training to park maintenance, recreation, and administration staffs*** regarding maintenance of accessible routes in parks and in recreation facilities.

Employee Work Areas

The District employs many well-qualified and skilled people on a full time basis, making parks and recreation services available to Quincy Park District residents. It also employs many more on a part-time or seasonal basis.

The District likely already has employees with disabilities and in the future, will have **more** employees with disabilities, in all categories...full time, seasonal, and regular part time.

It is important to address access to work areas, and both the title II regulation and the work of the Access Board do so. In section 203.9 of the 2004 consolidated accessibility guidelines, the treatment of employee areas is made clear.

Generally, a person with a disability should be able to **approach, enter, and exit** the work area. This is addressed by requirements for accessible routes and accessible means of egress. Other factors are door width, and threshold changes in level.

Excluded from this exception are several types of common spaces in employee areas. Spaces such as the ones below must meet the access guidelines as they are excluded from the definition of employee-only areas:

- corridors
- toilet rooms
- kitchenettes for employee dining use, and
- break rooms

In short, the key issues are the accessible route, changes in level, doors and entries, and maneuvering space once within the work area. This approach is effective so long as when the District hires an employee with disabilities, or a current employee acquires a disability, it will remove architectural barriers in work areas or make other accommodations.

The two recommendations below are particularly important in some of the older infrastructure sites owned by the District such as the Emerson Recreation Center.

9. ***Address accessibility in the District personnel policies***, and note that, upon request by an employee, the District will make reasonable accommodations, which **may** include the removal of architectural barriers in work spaces.

10. **Require new construction, and alterations or additions** that include employee work areas to be designed and constructed so they are compliant with the 2010 Standards for Accessible Design and the Illinois Accessibility Code.

Accessible Parking

The District maintains approximately 949 standard parking spaces at facilities, and 59 more that are designated as accessible stalls. Illinois requirements here are more stringent than federal requirements. In correcting or refreshing its accessible stalls, the District should address all of them at once to eliminate inconsistencies and come into compliance.

11. **Create a parking stall template.** A suggested template is below.

Parking Stall Dimensions

Stalls are a minimum of 8' wide. An adjacent access aisle must also be a minimum of 8' wide. An acceptable **alternative** design is an 11' stall with an adjacent 5' access aisle. The access aisle must be diagonally striped with high quality yellow paint.

Signs must be mounted on posts not farther than 5' from the head of the stall. The collection of signs must include the US Department of Transportation R7-8 standard sign (the blue icon in a wheelchair). Below that must be the fine sign. The statewide fine is \$250. Unless the City of Quincy has adopted a higher fine by ordinance, the sign must note the \$250 fine.

Federal settlement agreements in Illinois require a third sign, on at least one stall, that says VAN ACCESSIBLE. The Illinois Accessibility Code does not include this requirement but we believe it is required.

This belief was reinforced recently by a US Department of Justice settlement with St. Clair County in Illinois. The settlement required the addition of "van accessible" signs.

Finally, the bottom edge of the lowest sign is a minimum of 48" above the finished grade. We recommend 60" so it cannot be obstructed by a parked auto.

We suggest that the signpost be located at the head of the accessible stall and that the curb cut and detectable warning run the distance of the access aisle.

Perhaps the most common error we see in accessible parking stalls and access aisles is the slope. The Illinois Accessibility Code limits the slope to **not more than 2% in any direction. This is a challenging requirement that can take considerable effort to meet.**

Connection to the Accessible Route

The access aisles should connect to an accessible route. The maximum running slope for the accessible route is 5%, and to account for heaving and settling, we recommend 4%.

The maximum cross slope is 2%. Do be certain to use compliant detectable warnings, now available in a template with a colored background and raised, truncated domes.

Passenger Loading Zone

The loading zone must have an access aisle adjacent and parallel to vehicle pull-up space. The loading zone access aisle must be a minimum of 60" wide and 20' long.

Confirm this template with the City of Quincy, and the Illinois Attorney General's Office, to ensure that stalls will be compliant.

12. In 2012, 2013, or 2014 **implement a plan to correct or refresh every accessible stall** at every District facility. Incorporate this task into other plans that require parking lot restriping or resurfacing. Certainly in 2011 as lots are resurfaced or restriped, use this template as well.

Running Slope and Cross Slope

We often saw running slopes steeper than permitted. At some sites this was a minimal issue, but at other sites it was a significant variance. This condition naturally occurs when concrete settles, or when connections between new and old routes are off by fractions of an inch. Cross slope is equally important, as it serves drainage as well as access purposes.

13. **Adopt a policy** that in new construction and alterations the ramp slope shall not exceed 1:13, or 7.7%, as opposed to 1:12, or 8.33%. This allows room for error in the field. It also makes ramps easier to use for everyone, not just people with disabilities. This universal design approach is also a risk management tool.
14. **Adopt a policy** that in new construction or alterations the cross slope shall be an integral part of the project and shall not exceed 2% or 1:50.

Detectable Warnings

The US Access Board suspended the detectable warning requirement in the late 90's, for a period of several years. It was restored in 2002 though, and is now included in the 2010 Standards. It is typical to see noncompliant detectable warnings in every community.

The detectable warnings at curbs **that are not compliant** are often a cross-cut of concrete, or a grid laid on wet concrete to create a diamond-shaped indentation. Over time these should be replaced.

15. As with parking, **develop a template for detectable warnings**. Confirm the template with the City of Quincy and the Illinois Attorney General's Office.
16. In the same year that parking is refreshed, **implement a plan to correct or refresh every detectable warning** at every curb or crossing at District facilities. If necessary, phase this out over a two or three year period.

Door Opening Force Requirements

In District buildings and facilities, there are approximately 313 doors. Many have closer mechanisms. Some of these need adjustment to bring the pounds of force (lbf) necessary into compliance (5 lbf for interior doors and 8.5 lbf for exterior doors). However some of the closers are just old. The wear and tear of 20 or more years erodes the closer effectiveness.

17. **Evaluate and determine the age of door closers.**
18. **Add door closer maintenance checks** to safety checklists for employees and for closers with 10 years of service or less, aggressively maintain them for effectiveness.
19. **Purchase and install new door closers** for all exterior doors (with closers 20 years old or more) and 50% of interior doors in 2012 or as soon as is possible.
20. **Purchase and install** new door closers for all remaining interior doors (with closers 20 years old or more) in 2013 or as soon as is possible.

Signage

District signs serve several valuable purposes. First, signs assist wayfinding in buildings, such as Westview Golf Course. Second, signs identify important permanent elements of facilities, such as restrooms. Third, signs facilitate access by people with vision and physical limitations. Aside from consistent use of the District logo, we did not note a signage template.

The Access Board requires different treatment for 2 types of signs. Signs for permanent spaces, such as a bathroom, must be in both Grade 2 Braille and raised lettering. For directional or informational signage though, only raised lettering is required. Be certain to incorporate these approaches into signs in buildings and sites operated by the District.

21. **Develop a sign template** in 2011 that describes where and in what facilities signs will be used. The template could include size of sign, mounting height, mounting location, size of characters, space between characters, contrast between characters and background, icons or symbols used in the signs, District information in the signs (name of facility? phone number? main office number?), and more.
22. **Implement signage template and correct or refresh** District facility and site signage in 2012 or 2013.

Bathrooms

Bathrooms are an essential part of a visit to a Quincy Park District facility. Exercise, food and beverage, social activities, and more all rely on one of the oldest designs known to us. Making those facilities accessible is tremendously important.

Additionally, **portable toilets** placed temporarily at sports fields and event venues **must** be accessible and **must be served by an accessible route**.

23. **Develop a bathroom template in 2011.** Confirm it with the City of Quincy and the Illinois Attorney General. Be sure to include temporary facilities such as portable toilets in the template. The template should address the toilet itself, grab bars, items in the stall such as toilet paper and hooks, the stall itself, operating mechanisms, mirrors, sinks, hand towels, hand dryers, and more.
24. **Include bathroom renovations** at facilities in the District's Capital Acquisition and Replacement Plan.
25. **Consider the use of automatic flush controls.** These have environmental benefits and are also a great way to eliminate some accessibility problems.
26. **In the interim, implement non-structural modifications recommended in each section of this report,** such as lowering mirrors, remounting grab bars, changing the height of toilets and urinals, installing compliant stall hardware, and so forth.

These less costly changes on a site-by-site basis will serve your customers well until resources are available to renovate restrooms on a comprehensive scale.

27. **Make one portable toilet,** if one is provided at a site, accessible. This includes a portable toilet placed at a picnic shelter or adjacent to sports fields. These must be accessible and must be served by **an accessible route. The District has quite a few sites with portable toilets and this is critical to address. Follow our single-user toilet specifications in our site checklists.**

Lockers and Locker Rooms

Research shows that people with disabilities will refrain from using public facilities if they fear that sites are not accessible or they'll be embarrassed in their attempt to use sites. We all know the benefits of recreation participation. If a person with a physical disability comes to the Wavering Aquatic Center to swim, there are no designated accessible lockers.

28. **Implement the locker room changes recommended** at the Indian Mounds pool.
29. **Promote availability of accessible locker rooms once completed.** Announce these changes to the community and see more participation by people with disabilities.

Alarms

In existing facilities where an aural or audible fire alarm system is provided, a visual alarm is not required unless the building was constructed after January 26, 1992 or has been upgraded since that same date.

If an alarm in an existing facility is audible only, it need not be modified to include a visual alarm unless it is replaced or upgraded in the future.

30. **Determine in 2011** if systems have been upgraded or replaced since 1992.

31. **Develop a plan in 2011** for the installation of aural and visual alarms in renovations.
32. **Retrofit construction that has occurred since 1992** to include aural and visual alarms by the end of 2014.

Brochures

The park grid in the District brochures is an important tool for Park District residents and can now be used to communicate about accessibility. Revise it to incorporate the access work District staff completes and indicate in your grid where, for example, the accessible picnic areas are, or where the accessible playgrounds are.

33. **Update parks and facilities grid** to reflect decisions made by the District regarding our recommendations, and note which sites are accessible or will be made accessible.

Website

The title II regulation requires that all types of public communication used by the District be available to people with disabilities. Many people with vision impairments use websites every day with the aid of technical equipment. The District is required to evaluate its website and make necessary changes so that the website can be read by that type of equipment.

A link at the US Department of Justice website offers guidance on this. The District IT staff should become familiar with this issue. Go to <http://www.ada.gov/websites2.htm>

34. **Evaluate the District website** and make changes so that the information on the site is accessible to people with disabilities.

Swimming

The **minimum required** of the District by title II of the ADA is that the "program" of swimming be accessible to residents. This is measured by the "program access test" described in section 35.150 of the title II regulation (see 28 CFR Part 35).

The District has two outdoor pools one at Indian Mounds Park and one at Wavering Park. We recommend that changes occur at Indian Mounds pool as it has the most amenities.

35. **Make corrections to Indian Mounds** by implementing all of the recommendations in that site report.
36. **Leave Wavering Park Pool as is and inaccessible** and designate **Indian Mounds** as the accessible site within the District. If Wavering Park Pool is renovated, it must then comply with the 2010 Standards for Accessible Design and be made accessible.

Villa Katherine and Women's City Club

These sites do need attention. Before correcting sites on the historic register, the District should consult with the State Historic Preservation Officer (SHPO). Some changes are

technically infeasible to make. For example, replacing an internal stairway with an elevator, while possible, would require moving load-bearing structures, and therefore that work need not be completed.

When for either of these reasons access to Villa Katherine or the Women's City Club cannot be achieved, use virtual technology to provide visitors who cannot enter these sites with a tour of the facility.

37. **Contact the SHPO and discuss the Villa Katherine report recommendations.**
38. **Make Villa Katherine accessible** by implementing the recommendations in the site report the SHPO concurs with.
39. **Document these efforts** in the event a complaint is filed regarding Villa Katherine.
40. **Contact the SHPO and discuss the Women's City Club report recommendations.**
41. **Make the Women's City Club accessible** by implementing the recommendations in the site report the SHPO concurs with.
42. **Document these efforts** in the event a complaint is filed regarding Women's City Club.

Maintenance Buildings

In another site report we address the Maintenance Buildings. As discussed earlier, the District can apply a different standard to spaces used only as employee work areas. Park maintenance supervisory staff should receive an orientation in regard to the application of the **approach, enter, and exit** strategy so that they understand the reason for the various requirements.

43. **Train maintenance staff supervisors** in accessibility concepts that are applicable to the maintenance building.
44. **Implement recommendations regarding parking, accessible route, changes in level, gaps, doors, and alarm systems** at the Maintenance Campus.

5 to 12 Playgrounds

The **minimum required** of the District by title II of the ADA is that the "program" of playgrounds be accessible to residents. This is measured by the "program access test" described in section 35.150 of the title II regulation (see 28 CFR Part 35).

For similar multiple sites, no guidance is given as to how many existing playgrounds should be made accessible. Again, a good practice is to treat this as a planning exercise and aim for 1 of 3 playgrounds being made accessible.

Our evaluation included 14 different playgrounds for children aged 5 to 12. Of these, 4 are accessible, and one more could be made accessible with minor corrections.

The Program Access Chart, along with the Quincy Playground Map at the end of this section, illustrates the areas where work is recommended so that every resident of Quincy is close to an accessible playground. [[Quincy 5 to 12 Playground Map](#)]

45. **Make corrections** cited in these reports so the playgrounds at the site below remains accessible:

- **Bob Mays Park**
- **Gardner Park**
- **Madison Park**
- **Quinsippi Park**

46. **Make corrections** cited in these reports so the playground at the site below **becomes** accessible:

- **Wavering Park**

47. **Leave as is** the other playgrounds at the park named below, and if future alterations or renovations occur at those sites, make them accessible.

- **Berrian Park**
- **Emerson Park**
- **Johnson Park**
- **Kesler Park**
- **Leon Bailey Park**
- **Moorman Park**
- **Reservoir Park**
- **Riverview Park**
- **South Park**

48. **Advertise the accessible 5 to 12 playgrounds** in the District website and publications.

2 to 5 Playgrounds

The **minimum required** of the District by title II of the ADA is that the "program" of playgrounds be accessible to residents. This is measured by the "program access test" described in section 35.150 of the title II regulation (see 28 CFR Part 35).

For similar multiple sites, no guidance is given as to how many existing playgrounds should be made accessible. Again, a good practice is to treat this as a planning exercise and aim for 1 of 3 playgrounds being made accessible.

Our evaluation included 5 different playgrounds for children aged 2 to 5. Of these, 1 is accessible, and one more could be made accessible with minor corrections.

The Program Access Chart, along with the Quincy Playground Map at the end of this section, illustrates the areas where work is recommended so that every resident of Quincy is close to an accessible playground. [[Quincy 2 to 5 Playground Map](#)]

49. **Make corrections** cited in these reports so the playground at **Bob Mays Park** remains accessible:
50. **Make corrections** cited in these reports so the playground at **Wavering Park becomes** accessible:
51. **Leave as is** the other playgrounds at the park named below, and if future alterations or renovations occur at those sites, make them accessible.
 - **Madison Park**
 - **Reservoir Park**
 - **South Park**
52. **Advertise the accessible 2 to 5 playgrounds** in the District website and publications.

Baseball Fields

The **minimum required** of the District by title II of the ADA is that the "program" of baseball be accessible to residents. This is measured by the "program access test" found in section 35.150 of the title II regulation (see 28 CFR Part 35).

For similar multiple sites, no guidance is given as to how many existing baseball fields should be accessible. We recommend that a minimum of one field of every three be accessible. We saw 7 sites with 8 total ball fields. Of these, one field is accessible. We are recommending access be created to one of the 2 fields at Moorman Park.

The Program Access Chart at the end of this section, along with the Quincy Baseball Map, illustrates the areas where work is recommended so that every resident of the Park District is close to an accessible baseball field. [[Quincy Baseball Map](#)]

53. **Make corrections** cited in these reports so the baseball field **at Wavering Park remains** accessible.
54. **Make corrections** cited in these reports so **1 of the 2 baseball fields at Moorman Park becomes** accessible:
55. **Leave as is** the fields at the following sites:
 - **Berrian Park**
 - **Boots Bush Park**
 - **Emerson Park**
 - **Johnson Park**
 - **Moorman (1 of 2)**
 - **South Park**

56. **Advertise the accessible baseball fields** in the District website and publications.

Basketball Courts

The **minimum required** of the District by title II of the ADA is that the “program” of basketball be accessible to residents. This is measured by the “program access test” described in section 35.150 of the title II regulation (see 28 CFR Part 35).

For similar multiple sites, no guidance is given as to how many existing basketball courts should be accessible. Because of the nature of basketball surfaces, a hard court, access is easier. The District has 5 sites with courts. **Of those, one of the 5 is accessible, and we recommend no new access.**

The Program Access Chart at the end of this section, along with the Quincy Basketball Map, illustrates the areas where work is recommended so that every resident of the District is close to an accessible basketball court. [[Quincy Basketball Map](#)]

57. **Make the corrections** needed to maintain accessible basketball courts as specified in the reports for **Johnson Park**:
58. **Leave as is** the basketball court at the sites below:
- **Berrian Park**
 - **Emerson Park**
 - **Gardner Park**
 - **Riverview Park**
59. **Advertise the accessible basketball courts** in the District website and publications.

Tennis Courts

The **minimum required** of the District by title II of the ADA is that the “program” of tennis be accessible to residents. This is measured by the “program access test” described in section 35.150 of the title II regulation (see 28 CFR Part 35).

For similar multiple sites, no guidance is given as to how many existing tennis courts should be accessible. Because of the nature of tennis court surfaces, a hard court, access is easier. The District has 6 sites with 23 courts.

Of those, 9 of the 23 are accessible, and we recommend no new access.

The Program Access Chart at the end of this section, along with the Quincy Tennis Map, illustrates the areas where work is recommended so that every resident of the District is close to an accessible tennis court. [[Quincy Tennis Map](#)]

60. **Make the corrections** needed to maintain accessible tennis courts as specified in the reports for the site below:

- *Reservoir Park (5 of 9)*
- *South Park (4)*

61. **Leave as is** the tennis courts at the sites below:

- *Berrian Park (2)*
- *Johnson Park*
- *Madison Park (3)*
- *Moorman Park (4)*
- *Reservoir (4 of 9)*

62. **Advertise the accessible tennis courts** in the District website and publications.

Athletic Fields

The **minimum required** of the District by title II of the ADA is that the “program” of athletic fields be accessible to residents. This is measured by the “program access test” found in section 35.150 of the title II regulation (see 28 CFR Part 35).

For similar multiple sites, no guidance is given as to how many existing athletic fields should be accessible. We recommend that a minimum of one field of every three be accessible. There are 7 sites with athletic fields and none are accessible. We recommend access to two fields, one at Johnson and one at Westview.

The Program Access Chart at the end of this section, along with the Quincy Athletic Field Map, illustrates the areas where work is recommended so that every resident of the Park District is close to an accessible athletic field. [[Quincy Athletic Field Map](#)]

63. **Make the corrections** cited in the reports so that the athletic fields at **Johnson Park and Westview Park become** accessible:

64. **Leave as is** the athletic fields at the following site:

- *Berrian Park*
- *Bob Bangert Park*
- *Boots Bush Park*
- *Emerson Park*
- *South Park*

65. **Advertise the accessible athletic fields** in the District website and publications.

Horseshoe Pits

The **minimum required** of the District by title II of the ADA is that the “program” of horsehoes be accessible to residents. This is measured by the “program access test” found in section 35.150 of the title II regulation (see 28 CFR Part 35).

For similar multiple sites, no guidance is given as to how many existing horseshoe pits should be accessible. We typically recommend that one horseshoe pit of every three be accessible. There are 17 unlighted horseshoe pits and 16 lighted horseshoe pits. None are accessible. We recommend access to six horseshoe pits, two at South Park and four at Moorman Park.

The Program Access Chart at the end of this section, along with the Quincy Horseshoe Map, illustrates the areas where work is recommended so that every resident of the Park District is close to an accessible horseshoe pit. [[Quincy Horseshoe Map](#)]

66. ***Make the corrections*** cited in the reports so that the horseshoe pits at the sites below ***become*** accessible:

- ***Moorman Park (4 of 16)***
- ***South Park (2 of 9)***

67. ***Leave as is*** the horseshoe pits at the following site:

- ***Berrian Park***
- ***Johnson Park***
- ***Reservoir Park***
- ***Moorman Park (12 of 16)***
- ***South Park (7 of 9)***

68. ***Advertise the accessible horseshoe pits*** in the District website and publications.

River Access

The ***minimum required*** of the District by title II of the ADA is that the "program" of river access be accessible to residents. This is measured by the "program access test" described in section 35.150 of the title II regulation (see 28 CFR Part 35).

The District has 4 sites that provide access to the river: Bob Bangert, Clat Adams, Kesler Park, and Lock and Dam 21. In addition, Moorman Park has fishing piers on a lake. Kesler Park has an accessible ramp to the river; however when we were there it was submerged.

There are issues at each site but the standard is relatively easy to meet. An accessible route is required to the launch. We recommend the District maintain access provided at Kesler and as further development occurs at the other sites, create at least one more river access point.

Picnic Shelters/Picnic Areas

The ***minimum required*** of the District by title II of the ADA is that the "program" of picnic shelters be accessible to residents. This is measured by the "program access test" described in section 35.150 of the title II regulation (see 28 CFR Part 35). Please note that there are 10 picnic areas that are simply tables in grassy areas; due to the high number of accessible shelters, we only recommend that the accessible tables at All America Park be relocated to an accessible surface.

For similar multiple sites, no guidance is given as to how many existing picnic shelters should be accessible. ***Of the 15 sites with picnic shelters, 2 are accessible. Ten others could be made accessible with the addition of accessible tables. We recommend that the remaining 8 be left as is and inaccessible.***

The Program Access Chart at the end of this section, with the Quincy Picnic Shelters Map, illustrates the areas where work is recommended so that every resident of the District is close to an accessible picnic shelter. [[Quincy Picnic Shelter Map](#)] [[Quincy Picnic Areas Map](#)]

69. ***Maintain the accessible*** shelters and add accessible tables at the sites named below:

- ***All America Park (relocate accessible tables to accessible surface)***
- ***Bob Mays Park***
- ***Clat Adams Bicentennial Park***
- ***Gardner Park***
- ***Johnson Park***
- ***Madison Park***
- ***Moorman Park (1 of 3)***
- ***Quinsippi Island (2 of 2)***
- ***Reservoir Park***
- ***South Park (3 of 3)***
- ***Wavering Park (1 of 2)***

70. ***Leave as is*** the picnic areas at the sites below:

- ***Berrian Park***
- ***Bob Bangert Park***
- ***Kesler Park***
- ***Moorman Park (2 of 3)***
- ***Riverview Park***
- ***Washington Park***
- ***Wavering Park (1 of 2)***

71. ***Advertise the accessible picnic shelters*** in the District website and publications.

Public Feedback

An integral part of the self-evaluation of sites and facilities, and the development of a transition plan, is the involvement of the public. A public forum should be scheduled after the District has had some time to digest this report. We would be glad to work with the District on this project at no charge, and we would be glad to return to assist in this process.

Conclusion

The District has a variety of recreation facilities and sites. The skilled staff operates facilities and sites the community wants and enjoys. This report identifies some issues that are typical of a mature recreation infrastructure.

The District has already taken steps towards accessibility and that undoubtedly helped.

The Board of Commissioners should review this report and determine to what extent it will act on our recommendations and the recommendations to be received from staff. Staff should then create a transition plan, make cost projections for the accepted recommended work and phase the work into three phases. It is important that access work occur every year during the transition plan.

While no one can say with certainty how long the District should feel comfortable in stretching these projects, we'd suggest it be not more than a 3 year range after the effective date of the 2010 Standards...that means March 15, 2015. ***Be certain to understand that you could be forced to accelerate your pace.***


Your strategy should definitely address the common issues identified in this report.

The District should be commended for undertaking this task. Although this access audit and the subsequent transition plan are both mandated tasks, many of your neighbors have not completed these steps.

In closing, thanks again to the staff at the Quincy Park District for their cooperation and spirit. All of the team at our firm enjoyed working with them. We acknowledged Ed Seger and his staff for their efforts earlier, and we do so again here.

Call me at Recreation Accessibility Consultants at 224/293-6451 if there are any questions. Thanks again for inviting us to work with the District.

Submitted by



John N. McGovern, J.D., President
Recreation Accessibility Consultants LLC

QPDCONCLUSIONS

Phase III - 2014

Location	Area	Action	Cost
All America Park	IAR	Relocate Concession Furniture	
	IAR	Change Openers (2) (Knob)	\$500.00
	IAR	Add AR from Exit Door - ski club	\$1,000.00
	IAR	Lower 36" sec. to max. 34" ski club concessions	\$1,000.00
	IAR	Relocate items for AR - Auto Museum	
Art Center	IAR	Lower operating mechanism along AR to max 48" aff to highest operating part	\$800.00
	IAR	Remove or relocate storage/items in CFS at fixtures and operable parks	
	IAR	Relocate protruding object along AR or place cane detectable warnings (Gallery)	
	IAR	Correct nosing to max .5" radius	\$1,000.00
	IAR	Tread depth should be uniform and a minimum of 11" deep, leave as is - infeasible	
	IAR	Correct raiser height to consistent 4" - 7"	\$1,000.00
	IAR	Install handrails on both sides, 34" to 38" aff with top and bottom extensions	\$1,000.00
	IAR	Add detectable warning strip on top tread of each stairway	\$500.00
	IAR	Lower operating mechanism along AR to max 48" aff to highest operating part	\$2,000.00
	IAR	Remove base cabinets to provide knee clearance and lower sink to max. 34" aff (ceramics)	\$1,000.00
	IAR	Replace doors hardware with knurled knob n hazard areas (3)	\$600.00
	IAR	Relocate protruding object along AR or place can detectable warnings	
	IAR	Replace doors with doors having 80" overhead clearance	\$8,000.00
	IAR	Correct slope at doorway to max 2% for level CFS - third floor office	\$2,000.00
	IAR	No CFS in closet/storage, leave as is, correction is not feasible	
	IAR	No CFS at stairs, leave as is, correction is not feasible	
	IAR	Relocate storage, furniture and obstacles to 60" CFS at doors	
	IAR	Adjust interior doors to 5 lbs closing force	
	IAR	Adjust door speed to 3", 3 sec. at 70%	
Emerson Park	Park Site	Create AR to basketball court	\$1,000.00
	Park Site	Correct CIL in basketball court	\$1,500.00
	Park Site	Correct gaps in basketball court	
	Park Site	Correct cross slope to max 2% in basketball court	
	Park Site	Relocate 20% of trash containers along AR	
	Park Site	Create AR to soccer field player area	\$1,000.00
	Park Site	Create 36"x 48" pads adjacent to 20% of benches	\$500.00
	Park Site	Replace 20% of picnic tables with accessible tables	\$800.00
	Park Site	Locate accessible tables along AR	
Gardner Park	Park Site	Replace 20% of picnic table with an accessible tables (1)	\$800.00
	Park Site	Relocate accessible tables on AR	

Indian Mounds Park	Park Site	Relocate informational signage to be along AR with 30"x48" CFS for viewing	\$1,000.00
Johnson Park	Park Site	Create AR to horseshoe pit	\$500.00
	Park Site	Create AR to tennis courts	\$500.00
	Park Site	Create AR to basketball courts	\$500.00
	Park Site	Create AR to soccer field	\$500.00
	Park Site	Create AR to four square	\$500.00
	Park Site	Create AR to ball field	\$500.00
	Park Site	Add 20% accessible tables an place on AR (2)	\$1,600.00
Kesler Park	Park Site	Lower 25% of railing to max 32" for viewing	\$500.00
	Park Site	Create AR to flood height markers	\$500.00
	Park Site	Locate 20% of trash containers along AR	
	Park Site	Replace 20% (1) picnic table with accessible along AR	\$800.00
	Park Site	Create curb ramp with max slope 8%, 2% cross with a top as wide as ramp and 36" deep, side	
Lenane Park	Park Site	Add AR to 20% of tables (1)	\$500.00
	Park Site	Replace 20% of tables (1) with accessible table and place on AR	\$800.00
Leon Bailey Park	Park Site	Locate at least 20% of trash containers along AR	
	Park Site	Construct pad 36" x 48" adjacent to 20% of benches located along AR	\$500.00
	Park Site	Lower bench seat to 17" to 19" aff as a smart practice	
Madison Park	Park Site	Relocate 20% of trash containers along AR	
	Park Site	Locate accessible tables along AR	
	Park Site	Replace 20% of picnic tables with accessible tables (2)	\$1,600.00
	Park Site	Construct adjacent to 20% of benches	\$500.00
	Park Site	Replace drinking fountain with compliant hi-lo fountain	\$2,500.00
	Park Site	Create AR to tennis courts	\$500.00
	Park Site	Install 20% of benches with arm rests (best practice)	\$1,000.00
Moorman Park	Park Site	Relocate dog waste along AR	
	Park Site	Create AR to 4 or 16 horse shoe pits	\$500.00
	Park Site	Create AR to play and spectator areas at one of two ball fields	\$500.00
	Park Site	Create AR to tennis courts	\$500.00
	Park Site	Create AR to archery range	\$500.00
	Park Site	Create AR to first tee (smart practice)	\$500.00
	Park Site	Replace 20% of picnic tables with accessible tables (6)and place on AR	\$5,000.00
	Park Site	Replace drinking fountain with hi-lo fountain (Ballfields 2, fishing dock, Large, Mdm)	\$20,000.00
	Park Site	Place accessible trash containers on AR (20%)	\$2,000.00

Reservoir Park	Park Site	Replace 20% of tables with accessible tables and place on AR	\$1,600.00
	Park Site	Add AR to Horseshoe Pit	\$500.00
	Park Site	Add AR to garden	\$500.00
	Park Site	Add AR to practice tennis wall	\$500.00
Riverview Park	Park Site	Create AR to statue	\$500.00
	Park Site	Relocate 20% of trash containers along AR	
	Park Site	Create AR to 20% of grills (1)	\$500.00
	Park Site	Replace 20% of picnic tables with accessible tables (1)	\$800.00
	Park Site	Create 30" x 48" pad at 20% of benches (2)	\$1,000.00
South Park	Park Site	Create 30" x 48" pad at 20% of benches	\$1,000.00
	Park Site	Create AR to 20% of grills	\$1,000.00
	Park Site	Relocate 20% of trash along AR	
	Park Site	Create AR to Gazebo	\$1,000.00
	Park Site	Replace drinking fountain with hi-lo bowl fountain	\$4,000.00
	Park Site	Replace 20% of tables with accessible tables and place on AR	\$3,200.00
	Park Site	Create AR to ball field/ soccer field player and spectator areas	\$1,000.00
	Park Site	Create AR to 20% (2) of the horseshoe pits	\$1,000.00
	Park Site	Relocate 20% of dog bag stations along AR	
Villa Kathrine	IAR	Relocate storage, furniture, other to create adequate 60" maneuvering space around doors	
	IAR	Replace doors with ones that have 80" clearance	\$6,000.00
	IAR	Correct CIL at 3 doors to max. 25 or ramp	\$6,000.00
	Public Spaces	Room closets are to small for access - leave as it - not feasible	
	Public Spaces	Relocate obstacles - tables/chairs - to create 36" AR through public spaces	
	Public Spaces	Raise archway in kitchen to min 80" for overhead clearance	\$2,000.00
	Public Spaces	Remove or relocate storage in CFS at fixtures and operable parts	
	Public Spaces	Lower operating mechanisms in kitchen to max 48" aff to highest operable part	
	Public Spaces	Lower work area and sink height to max 34" aff	\$1,000.00
	Public Spaces	Correct CIL at 4 doors to max .25"	\$8,000.00
Wavering Park	Park Site	Replace water spigot with hi-low compliant drinking fountain	\$4,000.00
	Park Site	Add AR to water spigot	\$500.00
	Park Site	Lower dog waste station to max 48" aff	
	Park Site	Replace 20% of tables near the ball field with accessible tables (2) and place on AR	\$2,500.00

WV Maintenance			
IAR	Relocate storage, furniture, obstacles	to create adequate 60" maneuvering space around doors	
IAR	Replace break room restroom door with one having 32" clear width and 80" min. overhead clearance		\$500.00
IAR	Replace hardware with lever hardware (2)		\$400.00
IAR	Replace hardware to hazard areas with knurled hardware		\$200.00
IAR	Relocate obstacles, storage near doors to create AR		
Public Spaces	Remove lower cabinets to create knee space at sink		\$200.00
Public Spaces	Remove or relocate storage in CFS at fixtures and operable parts		
Public Spaces	Lower operating mechanisms to max 48" aff to highest operable part		\$500.00
Quinsippi Island			
EAR	Add detectable warning where walkways meet veh ways		\$1,000.00
EAR	Create AR tom parking	to all park features	\$2,000.00
EAR	Relocate park signage along AR		
Parking	Create accessible stall with access aisle and signage		\$1,000.00
WV Maintenance			
Doors	Relocate storage, furniture, obstacles	to create adequate 60" maneuvering space around doors	
Doors	Adjust to max. 8.5 lbs opening force		
Doors	Replace hardware to hazard areas with knurled hardware		\$200.00
Doors	Replace hardware with lever hardware (3)		\$600.00
Doors	Replace thresholds with compliant thresholds (2)		\$400.00
Doors	Correct CIL at break room exit to max .25"		\$300.00
Doors	Replace doors with ones that have a minimum 80" overhead clearance (2)		\$2,000.00
Doors	Widen doors to minimum 32" (1)		\$1,000.00
Doors	Widen cement pad at break room exit to 42" deep for adequate maneuvering clearance		\$500.00
Restrooms	Create a compliant single user restroom with grab bars and fixtures in correct locations/heights		\$600.00
Restrooms	Create a compliant transfer shower in each restroom		\$1,000.00
			\$131,300.00

Appendix C: Recreation Programming

1. Recreation Program Analysis
2. Recreation Position Analysis
3. Job Description for “New” Rec/Marking position
4. Emerson Space Analysis
5. Emerson Building Study

Recreation Program Analysis



**MIKE BRUNS
MELINDA MURK
MARK CALLAWAY**

Additions to Program Analysis



- Handball/Raquetball
- Running
- Photography
- Scuba Training
- Soccer: Indoor/Outdoor
- High School Varsity Sports

Deficient Program Areas



- 1. Social Education
- 2. Nature
- 3. Environment
- 4. Judo
- 5. Ages: 5-12
- 6. Ages: 3-5

Possible Future Programs



- Ages 5-12:
 - Nature Education, partnering with schools, use parks
 - Quickstart Tennis League
- Ages 3-5: Programs similar to Tiny Tots Team Sports
 - Fitness emphasis
 - Other Sports
- Judo Program
- Social Education Programs
- Summer Camps: (Aquatics, Nature, Sports, etc.)

Emerson Community Center



- Tenants
- Current use of rooms
- Building space/time available

Fees & Charges Guidelines



- The Park Board reserves the right to annually review and approve fees for all facilities in the District
- The Board delegates to the Executive Director and Directors the authority to establish fees and charges for programs using the following guidelines.

Definitions



- Income: fees, donations, sponsorships, tax dollars
- Direct Costs: may include program leadership, supplies, equipment, field maintenance, contractual expenses, specific promotional costs such as posters and flyers
- Indirect Costs: includes administrative and supervisory salaries, office support, park service staff and supplies, finance and human resources staff, utilities, brochure and general advertising

Program Fee Levels



- Level I: Free Programs – Programs entirely supported by tax dollars, grants, donations, or sponsorships and are offered to the public free of charge
- Level II: Up to 75% of Direct Costs – Programs in which fees recover up to 75% of direct costs
- Level III: Direct Costs Only – Programs in which income (fees, donations, grants) equals direct costs
- Level IV: Direct Costs Plus – Programs in which income covers direct costs plus some but not all indirect costs



- Level V: Self Supporting – Programs in which income covers all direct and indirect costs
- Level VI: Revenue Producing – Programs in which income generated exceeds direct and indirect costs

Non-Resident Fee Guidelines



- Resident Definition: Anyone permanently living within the boundaries of the Quincy Park District or owns property within the district and pays property taxes.
- Residents support the Quincy Park District facilities and programs through property taxes
- All non-residents will pay a user fee to participate in a program
 - Individual Program fees: 25% higher than resident rate
 - Team Program Fees: \$50 higher than resident rate
 - Rate based on the majority of roster participants being resident or non-resident



- Programs held at Quincy Public School District Sites and a resident of the school district would pay resident rate
- Same participant would qualify for financial assistance at QPS sites
- Non-resident: Option to pay the Park District the equivalent property tax as if they were a resident
- Result in non-resident paying resident rates for programs during that year



- Comments/Questions?

PROGRAM SERVICES DEPARTMENT
(Supervisors Responsibility List)

MARK

- | | |
|--|---|
| - Batting Cage | - Adult Basketball |
| - IMP | - Lifeguard Training |
| - WAC | - Youth Basketball |
| - Youth Baseball/Softball | - Tiny Tot Team Sports |
| - Disc Golf | - Archery |
| - Soccer Programs | - Swim Lessons |
| - Youth/Adult Tennis | - Water Aerobics |
| - Adult Softball | - Fishing Rodeo |
| - Co-ed Softball | - ASA (Reclassifications,
Tournaments) |
| - Fishing Clinics | - Water Babies |
| - Concession Operations | - Birthday Splashes |
| - Scheduling of Facilities (Tournaments, etc.) | - Private Pool Parties |
| - Teen Pool Parties | |
| - Tennis Carnival | |

MELINDA

- | | |
|-------------------------|---------------------------|
| - Special Populations | - After School |
| - Summer Music | - Indoor Playground |
| - Social Dance | - Aerobics |
| - Summer Playground | - Zumba |
| - Park Band Concerts | - Dive In Movies |
| - Showmobile | - Storytelling |
| - Outdoor Concerts | - Mall-O-Ween Bash |
| - Adult Tae Kwon Do | - Calls from Santa |
| - Babysitting Clinics | - Easter Egg-Stravaganza |
| - Teen Events | - Mommy/Daddy Date Nights |
| - Adult Dances | - Breakfast with Santa |
| - Senior Programs | - Letters from Santa |
| - Art Classes | - A Visit with Mrs. Claus |
| - Family Fun in the Sun | - Tae Kwon Do For Kicks |

RECREATION/MARKETING

- Marketing of District
- Media Releases
- Advertising
- Brochures
- Website
- Grants
- Surveys
- Newsletters
- Quincy Park Foundation
- Special Events
- Sponsorships
- Videos
- Displays/Shows
- Collect Photos
- Staff Training Programs
- **PROGRAMS???**

CHAPTER 3-JOB DESCRIPTIONS-PROGRAM SERVICES DEPARTMENT

3.35 MARKETING & RECREATION SUPERVISOR

GENERAL STATEMENT OF DUTIES:

To plan, develop, manage and maintain strategic and creative guidance to execute marketing plans, fundraising activities, private sponsorships, special events and assist in program services.

DISTINGUISHING FEATURES OF THE CLASS:

An employee in this classification performs planning, scheduling and organizing of Park District marketing and communications services, special events and programs. This employee ensures that the Park District is well represented through print and electronic communications and that the public is aware of programs, events and facilities of the Park District. Work is performed under the direction of the Director of Program Services.

EXAMPLES OF WORK (Illustrative Only):

As assigned, - Develop and maintain cooperative relationships and effective oral and written communication with internal and external customers. – Coordinates the design, implementation and evaluation of the district's marketing plan. – Manages quality content, design and image of all projects and products, including the district's website, use of district logo, brochures, print media and videos. – Coordinates all writing and editing requests, press releases, award applications and advertisement for programs and facilities. – Determines methods for collecting data to support district initiative through focus groups, surveys and electronic mailings. – Coordinates displays at events. – Coordinates the customer service training program. – Assist in acquiring photos of facilities and programs. – Assist in applying for grants, sponsorships and donations for the District. – Assist in development of new programs and events for the District. Coordinate special events for the District.

REQUIRED KNOWLEDGE, SKILLS AND NECESSARY ABILITIES:

- Thorough knowledge of marketing principles, concepts and applications.
- Expert communicator, both orally and in writing.
- Strong media relations background.
- Ability to project a positive, consistent park district image.
- Ability to participate in the program services management team.
- Knowledge and ability to use computer systems and software including Microsoft Office products, Adobe Acrobat and other design programs.
- Experience in publication design, content development and editing.
- Ability to compile information, prepare reports and correspondence.
- Ability to work independently and as a team.

CHAPTER 3-JOB DESCRIPTIONS-PROGRAM SERVICES DEPARTMENT

- Physical requirements include standing, walking, sitting, reaching, stooping, grasping, talking, hearing and seeing to perform the following necessary abilities: operate assigned office equipment including, but not limited to: computer components, printers, copiers, adding machines and telephones.
- Ability to lift light to moderate objects.
- Ability to drive motorized vehicles.
- Work effectively with the general public, cooperating agencies and Park District employees.

SPECIAL CONSIDERATIONS:

Subject to indoor and outdoor environmental conditions. Must exhibit good problem solving ability and good judgment in keeping with the mission of the Park District. Must be able to organize and coordinate several work projects simultaneously or in succession.

ACCEPTABLE EDUCATION AND EXPERIENCE:

A four year (Bachelor's) degree from an accredited college or university in Marketing and Communication, Recreation Management, or related field. Requires 1 – 2 year's cumulative experience in public marketing and communication field and public recreation programming, with proven supervisory capabilities.

Offices - green
Tenants - blue
Used Space - yellow

[illegible]

Emerson Community Center 1st Floor

Offices - green
Tenants - Blue
Used Space - yellow

Room #	Area	8:00 - 9:00 a.m.	9:00 - 10:00 a.m	10:00 - 11:00 a.m.	11:00 a.m. - 12:00 p.m.	12:00 - 1:00 p.m.	1:00 - 2:00 p.m.	2:00 - 3:00 p.m.	3:00 - 4:00 p.m.	4:00 - 5:00 p.m.	5:00 - 6:00 p.m.	6:00 - 7:00 p.m.	7:00- 8:00 p.m.	8:00 - 9:00 p.m.	9:00 - 10:00 p.m.
M1	Business Office														
M2	Board Room											Monthly Board Mtg.			
M3	Conservatory of Music (Tenant)														
M4	Barbershop - Tenant														
M5	Training Room	All staff trainings and some programming. Some space available for other programming.													
M6	Tae Kwon Do														
M7	Director of Parks														
M8	Activity Center		Sat.					Tues. Wed.	Tues. Wed.	Tues. Thurs.	Mon. Tues. Wed. Thurs.	Mon. - Fri.	Mon. - Fri.	Mon.	

Emerson Community Center 2nd Floor

Offices - green

Tenants - blue

Used Space - yellow

[illegible]

ENGINEERING STUDY:

**EMERSON COMMUNITY CENTER MOISTURE,
HVAC, AND MOLD REMEDIATION**

EXECUTIVE SUMMARY

At the request of the Quincy Park District, Klingner & Associates, P.C. has completed a review of the Emerson Community Center moisture infiltration, HVAC equipment, and mold growth in the basement of the building. The investigation included an inspection of the building envelope to identify the potential locations for moisture infiltration into the building. This investigation identified several issues in need of attention including but not limited to the roof, downspouts and gutters, tuckpointing, and window closures which are allowing moisture to enter the building. Additionally, an investigation into the site conditions was performed and it identified several issues that are exacerbating the problems with the building envelope by preventing stormwater from draining away from the building. The issues associated with the building envelope and site drainage are allowing water to enter the building and are at the base of the humidity/mold growth problems in the building.

The high humidity conditions in the basement contribute to the potential for mold growth and are a result of both the moisture infiltration issues described previously and the general construction methods and age of the building which allow moisture to enter the building during wet seasons. Correcting the building moisture infiltration issues will greatly reduce the moisture infiltration levels into the building and correspondingly the humidity levels but it will still be necessary to install dehumidification equipment to address the baseline moisture infiltration into the building. The current humidity issues in the basement cannot be corrected by dehumidification equipment alone, the moisture infiltration issues described in the first paragraph must be corrected in addition to installing dehumidification equipment.

It was noted during the review of the building that the auditorium and gym have insufficient amounts of fresh air ventilation. Fresh air ventilation is necessary to introduce contaminant-free air into the occupied space to dilute or remove contaminants generated within the space. It is recommended to install an energy recovery ventilator (ERV) to provide fresh air for the gym and auditorium using energy efficient methods. Additionally, the fresh air dampers on the existing air-to-air heat pump system throughout the building were generally closed. These dampers should be open to allow fresh air ventilation and should be controlled by an occupancy sensor to conserve energy. When the air-to-air heat pumps are replaced, the new system should be capable of providing fresh air to the space using energy efficient practices and MERV 8 filters should be used to remove respirable particulate contaminants.

The HVAC equipment for the building was reviewed and most of the equipment is at the end of its expected life. New equipment will improve system reliability and reduce operating costs. Four replacement systems were considered and either replacing the current equipment with new 18 SEER air-to-air heat pumps or with a variable refrigerant volume (VRV) system is recommended.

The total cost to perform all of the work identified in this report is estimated at \$459,550 if 18 SEER heat pumps are installed and \$540,900 if a VRV system is installed. Realizing that budgets are not unlimited and it may be unfeasible to perform all of this work in one year, we recommend that work on the building begin with the moisture infiltration issues. Once these issues have been addressed, dehumidification equipment should be installed in the lower level of the building. The replacement of the current heat pump system and the installation of an ERV for the gym and auditorium should be the last work to be completed.

1.0 BUILDING MOISTURE REDUCTION

The mold growth and musty smell in the lower level is due to excessive moisture. Some of the moisture may be infiltrating through the building foundation; this will be addressed under the humidity control section. However, most of the moisture appears to be entering the lower level through the exterior facade and roof of the building. The attached illustrations show these problem areas. If these issues are not corrected the moisture will return and thus the mold will return. This is the primary problem related to the mold growth in the lower level. In addition there are exterior surface drainage issues around the building perimeter that are contributing to potential moisture infiltration to the lower level of the building. Cost estimates to correct the moisture infiltration issues are shown on the following page.

Opinion of
Project/Construction Costs

Date October 5, 2010 Estimate by DCD AND JJN
Eng Proj # 10-0254 Checked by _____

Client	Project
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QUINCY PARK DISTRICT

EMERSON COMMUNITY BUILDING

NO	ITEM DESCRIPTION	QUANTITY	UNIT	UNIT PRICE	TOTAL COST
1	SIDEWALK REMOVAL	3,903	SQ. FT.	\$ 3.50	\$ 13,660.50
2	PAVEMENT REMOVAL	1,047	SQ.YDS.	\$ 8.50	\$ 8,899.50
3	SITE GRADING	1	L SUM	\$ 5,000.00	\$ 5,000.00
4	STORM SEWER	450	FOOT	\$ 20.00	\$ 9,000.00
5	AREA DRAINS	6	EACH	\$ 100.00	\$ 600.00
6	JONT SEALANT AROUND BUILDING	750	FOOT	\$ 2.00	\$ 1,500.00
7	PCC SIDEWALK	4,000	SQ. FT.	\$ 7.00	\$ 28,000.00
8	NEW STEPS NORTH SIDE OF BUILDING	1	L SUM	\$ 5,000.00	\$ 5,000.00
9	REPLACE TOP STEP SOUTH SIDE OF BUILDING	1	L SUM	\$ 1,000.00	\$ 1,000.00
10	TUCKPOINTING AND SPOT BRICK AND MORTAR REPAIR	5,500	SQ. FT.	\$6.45	\$ 35,475.00
11	REPLACING PLYWOOD VENT COVERS	16	EACH	\$90.00	\$ 1,440.00
12	PAINTING AND SEALING WINDOW LINTELS	195	FT	\$8.00	\$ 1,560.00
13	REPLACE PLYWOOD COVERED WOOD FRAME WINDOWS	5	EACH	\$1,200.00	\$ 6,000.00
14	PAINT WOOD WINDOW FRAMES AND CAULK PERIMETER	38	EACH	\$60.00	\$ 2,280.00
15	FILL MISCELLANEOUS CRACKS WITH SEALANT	1	L SUM	\$1,500.00	\$ 1,500.00
16	GUTTER REMOVAL AND REPLACEMENT	310	FT	\$55.00	\$ 17,050.00
17	FASCIA REPAIR	170	FT	\$5.00	\$ 850.00
18	DOWNSPOUT REPLACEMENT	80	FT	\$8.00	\$ 640.00
19	REPLACE OR REPAIR WALL LOUVERS	1	L SUM	\$2,000.00	\$ 2,000.00
20	INVESTIGATION AND REPAIR OF DORMERS ON 1900 BUILDING	1	L SUM	\$1,000.00	\$ 1,000.00
21	REPAIR FIRE ESCAPE CONNECTIONS	1	L SUM	\$1,000.00	\$ 1,000.00
22	REPLACE WINDOW CLOSURE WITH PERMANENT CLOSURE	975	SQ. FT.	\$20.00	\$ 19,500.00
23	REPLACE FLAT ROOF ON 1927 SCHOOL, GYM, AND BOILER ROOM	8,900	SQ. FT.	\$6.50	\$ 57,850.00
24	REGLETS AND COUNTERFLASHING FOR NEW ROOF	600	FT	\$12.00	\$ 7,200.00
25	STRUCTURAL INSPECTION OF CHIMNEY AND WEST PARAPET WALL	1	L SUM	\$1,500.00	\$ 1,500.00
26	REPAIR TO PARAPET WALL	150	SQ. FT.	\$33.00	\$ 4,950.00
27	PAINT AND WEATHERSTRIP WOOD DOORS	3	EACH	\$150.00	\$ 450.00
28	CLEAN FLOOR DRAIN AND REPLACE COVER	1	EACH	\$100.00	\$ 100.00
29	REPAIR/REPLACE FLASHING AT THE FLAT/SHINGLED ROOF JOINT	45	FT	\$5.00	\$ 225.00
30	REPLACE RUBBER BOOT ON PLUMBING VENT	1	EACH	\$50.00	\$ 50.00
				SUBTOTAL	\$ 235,280.00
				CONTINGENCY	\$ 35,292.00
				ENGINEERING	\$ 23,528.00
				TOTAL	\$ 294,100.00
	ALTERNATE TO STORM SEWER				
1	MILL PARKING LOT	1,346	SQ. YDS.	\$ 4.00	\$ 5,384.00
2	ASPHALT OVERLAY	1,346	SQ. YDS.	\$ 15.00	\$ 20,190.00
				SUBTOTAL	\$ 25,574.00
				CONTINGENCY	\$ 3,836.10
				ENGINEERING	\$ 2,557.40
				TOTAL	\$ 57,541.50

2.0 HUMIDITY CONTROL

Building humidity should be maintained between 30-60%RH. Humidity levels below 30%RH may cause dry skin and static electricity. Humidity levels above 60%RH cause the space to feel "sticky" and provide an environment favorable to mold growth.

High humidity levels are a concern in the lower level of the QPD Emerson Building. Most of the additional moisture is due to rain water infiltrating into the basement. This problem is addressed under the building moisture reduction section. However, due to the age and construction of the building, moisture may still enter the lower level during wet seasons. To remove this additional moisture, dehumidification is needed.

Dehumidification is the removal of water vapor from the air. To remove water from air, the air must be cooled to its dew point, this is typically done using a refrigeration cycle. The refrigeration cycle of the basement heat pump units provide little dehumidification because the cooling load is very small and often the units are turned off. To properly dehumidify the basement area, dehumidification equipment should be added.

Dehumidification equipment may be added to the existing heat pump units or installed as an independent unit. We recommend adding a ducted dehumidifier to each of the existing basement heat pump air conditioners. To provide dehumidification in the corridor, storage room, and gymnasium we recommend independent units. Portable dehumidifiers may be permanently hung from the ceiling in the lower level storage room and corridor. The gymnasium requires larger dehumidification equipment. We recommend waiting to perform the final design of the system until after water infiltration issue are corrected.

TABLE 1: DEHUMIDIFIERS				
Area	Type	Make/Model	Cost Estimate	Yearly Operating Cost
Room L2	Ductable Dehumidifier	Aprilaire 1750A	\$1,800.00	\$151.00
Room L3	Ductable Dehumidifier	Aprilaire 1750A	\$1,800.00	\$151.00
Room L4	Ductable Dehumidifier	Aprilaire 1750A	\$1,800.00	\$151.00
Room L5	Ductable Dehumidifier	Aprilaire 1750A	\$1,800.00	\$151.00
Lower Level Storage	Portable Dehumidifier	Aprilaire 1710A	\$1,300.00	\$126.00
Lower Level Corridor	Portable Dehumidifier	Aprilaire 1710A	\$1,300.00	\$126.00
Gymnasium	Commercial Dehumidifier	Seresco NE	\$11,500.00	\$544.00

It is important to address the energy consumption of dehumidification equipment. This equipment is typically expensive to operate and should only be operated as necessary maintain a reasonable relative humidity in the space.

3.0 INDOOR AIR QUALITY AND VENTILATION

Good indoor air quality is important for occupant comfort and wellness. Good indoor air quality is achieved through air filtration and ventilation. The purpose of ventilation is to introduce contaminant-free air into an occupied space at a rate and manner sufficient to dilute or remove contaminants generated within the space. The existing air-to-air heat pump systems are set up to provide this fresh air. However, the fresh air damper is closed on many of the units. This saves energy but lowers the indoor air quality. To provide ventilation and save energy it is ideal to provide fresh air only when the space is occupied. This can be achieved with an actuated damper

on the fresh air duct and a carbon monoxide or occupancy sensor to operate the damper.

There are two areas with inadequate ventilation; the auditorium and the gymnasium. A large quantity of ventilation is required in these spaces since the occupant load for both spaces can be very high. An excellent way to provide this fresh air is with an energy recovery ventilator (ERV). ERVs use an enthalpy wheel to transfer energy between the outdoor and exhaust airstreams resulting in significantly reduced heating and cooling loads due to ventilation. These units can be controlled by carbon monoxide or occupancy sensors to further reduce energy consumption.

We recommend the use of pleated air filters with a MERV rating above 8. Pleated filters are ideal because the increased filter area equals increased filter life. A MERV 8 filter can be effective in removing significant portions of respirable particulate contaminants, improving occupant wellness.

4.0 EXISTING HVAC

See Table 3: Emerson Building HVAC Equipment and Table 4: Cabinet Heaters and Unit Heaters.

As part of the final design of the replacement HVAC, the existing roof ventilators for the 1927 building and auditorium should be investigated to determine if a positive method exists to shut off air flow through the ventilators during the heating season.

5.0 REPLACEMENT HVAC

Most of the HVAC equipment in the Emerson building is 17 years old, installed in 1993. The heat pumps in the Music Room (M3) and the Board Room (M2) are the exception as they were installed in 2010 and 2008 respectively. A summary table of the equipment located in the building is included at the end of this report. The split systems have a typical equipment life of 15-20 years. New equipment is significantly more energy-efficient than the existing equipment. We recommend replacing this equipment within the next three years. We have evaluated the following replacement options: Air-to-Air Heat Pumps, Variable Refrigerant Volume (VRV) System, Water Source Heat Pumps, and Geothermal Heat Pumps. These systems have been selected as options because the indoor units can be easily retrofitted with the new equipment. This will minimize changes to ductwork and provide the best zoning.

TABLE 2: HVAC REPLACEMENT OPTIONS		
System Type	Cost Estimate	Yearly Savings*
Existing Heat Pump - 10 SEER	\$0.00	\$0.00
Heat Pump - 15 SEER	\$144,150.00	\$1,700.00
Heat Pump - 18 SEER	\$160,150.00	\$2,200.00
Variable Refrigerant Volume (VRV)	\$225,500.00	\$4,400.00
Water Source Heat Pump	\$317,400.00	\$3,500.00
Geothermal Heat Pump	\$387,900.00	\$4,500.00

* Saving are compared to the existing HVAC system

5.1 Air-to-Air Heat Pumps

Most of the existing HVAC system is air-to-air heat pumps. These systems consist of a heat pump (outdoor) and a fan coil (indoors). The existing system has an efficiency rating of 10 SEER and is equipped with auxiliary electric heat. New air-to-air heat pump efficiencies range from 13-20 SEER. The heating performance of the new equipment allows new systems to operate in sub-zero temperatures. However, auxiliary heat is still needed during the extremely cold winter days (below 15°F). Since R-22 refrigerant equipment is no longer manufactured we recommend

replacement of the heat pump, fan coil, and refrigerant piping. We recommend a mid to high (15-18) SEER equipment rating.

5.2 Variable Refrigerant Volume (VRV)

A VRV system consists of multiple fan coil units (indoors) and a single outdoor unit. The outdoor unit operates like an air-to-air heat pump with two main exceptions: 1.) A variable speed compressor modulates to meet the cooling or heating demand 2.) Auxiliary heat is not necessary due to an advanced defrost cycle. With a 20 SEER rating and advanced defrost cycle the system is highly efficient year round. Two systems will be required for the Emerson building since the largest VRV outdoor unit is 20 tons. This will reduce the quantity of outdoor units from 18 to 2. Additional energy savings may be achieved by using this system to heat/cool the corridors and lower level restrooms.

5.3 Water Source Heat Pumps

A Water Source Heat Pump system utilizes a water loop and water-to-air heat pump units to provide heating and cooling to the space. The heat is added to the loop with a boiler and rejected with a cooling tower. Although the system is more efficient than air-to-air heat pumps the installation cost is considerably higher.

5.4 Geothermal Heat Pumps

A Geothermal Heat Pump system utilizes a water loop and water-to-air heat pump units like the water source system. Heat is added and rejected from the loop via the Earth's ground temperature. This system is very energy efficient. However, the installation cost is the highest of the options.

TABLE 3: EMERSON BUILDING HVAC EQUIPMENT																
		Outdoor Equipment						Indoor Equipment								
Tag	Room	Type	Size (Tons)	Make	Model	Year	Remaining Life (years)	Type	Size (Tons)	Make	Model	Heat	Size (KW)	Heat Package	Year	Remaining Life (years)
HP-L2	L2 (#1)	Heat Pump	1.5	Carrier	38YKB018310	1993	0-3	Fan Coil	1.5	Carrier	FA4ANF018	Electric	7.5	KFAEH0401N10	1993	0-3
HP-L3	L3 (#17)	Heat Pump	1.5	Carrier	38YKB018310	1993	0-3	Fan Coil	1.5	Carrier	FA4ANF018	Electric	7.5	KFAEH0401N10	1993	0-3
HP-L4	L4 (#2)	Heat Pump	1.5	Carrier	38YKB018310	1993	0-3	Fan Coil	1.5	Carrier	FA4ANF018	Electric	7.5	KFAEH0401N10	1993	0-3
HP-L5	L5 (#3)	Heat Pump	1.5	Carrier	38YKB018310	1993	0-3	Fan Coil	1.5	Carrier	FA4ANF018	Electric	7.5	KFAEH0401N10	1993	0-3
HP-M1	M1 (#4)	Heat Pump	3	Carrier	38YKB036310	1993	0-3	Fan Coil	3	Carrier	FA4ANF036	Electric	11.3	KFAEH0501F15	1993	0-3
HP-M2	M2 (#5)	Heat Pump	2.5	Carrier	25HBS330A300	2008	14-19	Fan Coil	2.5	Carrier	FA4ANF030	Electric	6	KFAEH0301N08	1993	0-3
HP-M3	M3 (#6)	Heat Pump	2.5	Carrier	25HBC330A300	2010	15-20	Fan Coil	2.5	Carrier	FB4CNF030T00ABAA	Electric	7.5	KFCEH0901N10	2010	15-20
HP-M4	M4 (#7)	Heat Pump	3	Carrier	38YKB036310	1993	0-3	Fan Coil	3	Carrier	FA4ANF036	Electric	11.3	KFAEH0501F15	1993	0-3
HP-M5	M5 (#8)	Heat Pump	2.5	Carrier	38YKB030310	1993	0-3	Fan Coil	2.5	Carrier	FA4ANF030	Electric	7.5	KFAEH0401N10	1993	0-3
HP-M6	M6 (#9)	Heat Pump	3	Carrier	38YKB036310	1993	0-3	Fan Coil	3	Carrier	FA4ANF036	Electric	11.3	KFAEH0501F15	1993	0-3
PTAC-M7	M7	N/A						PTAC	0.7	Carrier	52SQA3093	Electric	3		1993	0-3
CU-M8(1)	M8	Condenser	5	Carrier	38CK060320	1993	0-3	Furnace	5	Carrier	58SXC100-LG	Gas			1993	0-3
CU-M8(2)	M8	Condenser	5	Carrier	38CK060320	1993	0-3	Furnace	5	Carrier	58SXC100-LG	Gas			1993	0-3
PTAC-U1	U1	N/A						PTAC	0.6	Carrier	52CQA307301AA	Electric	3		2004	10-15
HP-U2	U2 (#10)	Heat Pump	1.5	Carrier	38YKB018310	1993	0-3	Fan Coil	1.5	Carrier	FA4ANF018	Electric	6	KFAEH0301N08	1993	0-3
HP-U3	U3 (#11)	Heat Pump	2	Carrier	38YKB024310	1993	0-3	Fan Coil	2	Carrier	FA4CNF024	Electric	None		2008	15-20
HP-U4	U4 (#12)	Heat Pump	2	Carrier	38YKB024310	1993	0-3	Fan Coil	2	Carrier	FA4ANF024	Electric	15	KFAEH0601F20	1993	0-3
HP-U5	U5 (#13)	Heat Pump	2	Carrier	38YKB024310	1993	0-3	Fan Coil	2	Carrier	FA4ANF024	Electric	11.3	KFAEH0501F15	1993	0-3
PTAC-U6	U6	N/A						PTAC	0.9	Carrier	52CQB515331AA	Electric	4.2		2004	10-15
HP-U7	U7 (#15)	Heat Pump	2	Carrier	38YKB024310	1993	0-3	Fan Coil	2	Carrier	FA4ANF024	Electric	15	KFAEH0601F20	1993	0-3
HP-U8	U8 (#16)	Heat Pump	2.5	Carrier	38YKB030310	1993	0-3	Fan Coil	2.5	Carrier	FA4ANF030	Electric	15	KFAEH0601F20	1993	0-3

Table 4: Cabinet Heaters and Unit Heaters					
Location	Description	KW	MBH	Year	Remaining Life (years)
Gymnasium	Gas Unit Heater	-	125	1993	0-5
Boiler Room	Gas Unit Heater	-	30	1993	0-5
Lower Level Boys Restroom	Electric Unit Heater	3	-	1993	5-10
Lower Level Girls Restroom	Electric Unit Heater	7.5	-	1993	5-10
Lower Level Storage	Electric Unit Heater	7.5	-	1993	5-10
Lower Level Router Room	Electric Unit Heater	3	-	1993	5-10
Entrance - Main	Electric Cabinet Heater	5	-	1993	5-10
Entrance - North	Electric Cabinet Heater	5	-	1993	5-10
Upper Level Corridor	Electric Cabinet Heater	5	-	1993	5-10

Appendix D: Parks and Natural Areas

1. Park Audit
2. Natural Area Study
3. Park Equity Map

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum Yr 1-5</u>	<u>2017-2021</u>	Tot. Est. <u>Cost</u>	Total \$ Park Improvements
All America Park	\$0	\$0	\$0	\$19,500	\$0	\$19,500	\$121,000	\$140,500	\$190,300
Berrian Park	\$23,000	\$3,500	\$18,000	\$4,500	\$0	\$49,000	\$0	\$49,000	\$277,500
Bob Bangert Park	\$0	\$2,000	\$0	\$4,500	\$0	\$6,500	\$0	\$6,500	\$398,100
Bob Mays Park	\$45,000	\$0	\$3,500	\$0	\$0	\$48,500	\$0	\$48,500	\$202,500
Boehl Memorial Park	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,423,200
Boots Bush Park	\$0	\$0	\$0	\$8,500	\$27,500	\$36,000	\$235,000	\$271,000	\$355,500
Clat Adams Park	\$115,000	\$0	\$0	\$0	\$45,000	\$160,000	\$0	\$160,000	\$1,767,300
Edgewater Park	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$178,500
Emerson Park	\$0	\$3,500	\$0	\$0	\$0	\$3,500	\$12,000	\$15,500	\$66,800
Gardner Park	\$4,500	\$0	\$6,000	\$0	\$0	\$10,500	\$87,500	\$98,000	\$607,600
Indian Mounds Park	\$0	\$0	\$30,000	\$0	\$0	\$30,000	\$0	\$30,000	\$1,091,600
Johnson Park	\$0	\$0	\$3,500	\$3,000	\$0	\$6,500	\$0	\$6,500	\$247,500
Kesler Park	\$0	\$140,000	\$91,500	\$15,000	\$33,000	\$279,500	\$0	\$279,500	\$465,100
Lenane Park	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$19,500
Leon Bailey Park	\$29,800	\$0	\$0	\$0	\$0	\$29,800	\$0	\$29,800	\$31,600
Madison Park	\$19,000	\$0	\$0	\$0	\$0	\$19,000	\$76,000	\$95,000	\$374,600
Moorman Park	\$113,500	\$17,500	\$0	\$95,000	\$9,800	\$235,800	\$500,000	\$735,800	\$1,416,800
Parker Heights Park	\$8,000	\$0	\$0	\$0	\$15,000	\$23,000	\$0	\$23,000	\$278,600
Quinsippi Island	\$0	\$3,500	\$10,000	\$13,500	\$0	\$27,000	\$950,000	\$977,000	\$4,948,300
Reservoir Park	\$3,500	\$0	\$4,500	\$0	\$15,000	\$23,000	\$30,000	\$53,000	\$730,000
Riverview Park	\$0	\$15,000	\$10,800	\$60,000	\$0	\$85,800	\$193,000	\$278,800	\$1,226,100
South Park	\$23,000	\$75,000	\$70,000	\$0	\$85,000	\$253,000	\$82,200	\$335,200	\$1,305,800
Sunset Park	\$0	\$0	\$0	\$20,000	\$0	\$20,000	\$0	\$20,000	\$203,600
Villa Kathrine Park	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$110,000
Washington Park	\$5,000	\$0	\$0	\$0	\$0	\$5,000	\$0	\$5,000	\$1,885,500
Wavering Park	\$0	\$114,500	\$26,000	\$10,500	\$0	\$151,000	\$235,000	\$386,000	\$532,000
Westview Park	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$9,800
Women's City Club	\$0	\$0	\$12,000	\$0	\$0	\$12,000	\$0	\$12,000	\$111,500
Summary	\$389,300	\$374,500	\$285,800	\$254,000	\$230,300	\$1,533,900	\$2,521,700	\$4,055,600	\$20,455,200

General Information

PARK CATEGORY KEY:
Mini Park
Deceptive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

<u>PARKING/PATHS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	27,000 sq. ft. /3000 sq yds. Tar and Chip							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
Type:	5,500 sq. ft. Tar and Chip							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
<u>SIDEWALKS</u>											
Type:	270 ft / 5 ft Concrete							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	Security Light - Rental							\$0			\$0
Age:								\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Ski club show viewing area							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,000							\$0			\$0
Type:	Foot Bridge to RR 10 ft. Wood							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water	Repl. Water Line/Shelter/Auto Museum				\$15,000		\$15,000			\$15,000
Age:	20							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

<u>WATER/SANITARY</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Drinking Fountain	Replace with ADA compliant Fountain				\$4,500		\$4,500			\$4,500
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0

Park Audit

General Information

Park Name:	Berrian Park
Location:	1200 N. 13th Street
Approximate Acreage:	12
General Condition:	2
Park Category:	Neighborhood
Seasonal Staff:	None Dedicated
Year Established:	1925
Year(s) of Major Improvements:	None
Predominant Use:	Playground/Picnic Area/Ball/Soccer Field
Estimated Replacement \$:	\$277,500
Wheelchair Accessible:	No
	-

PARK CATEGORY KEY:

- Mini Park
- Decretive/Historical
- Sports Complex
- Park Trail/Greenway
- Natural Resource Area
- Neighborhood Park
- Community Park
- Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

		2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
	Berrian Park	\$23,000	\$3,500	\$18,000	\$4,500	\$0	\$49,000	\$0		\$49,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	3 Signs (Chestnut, 12 & Cherry, 12th St.)							\$0			\$0
Age:	14							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0

PARKING/PATHS											
Type:	11,000 sq. ft. A2							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$7,500							\$0			\$0

SIDEWALKS											
Type:	600 x 5 ft Concrete							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0

ELECTRICAL/LIGHTS											
Type:	Basketball Court Lighting							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$60,000							\$0			\$0

<u>WATER/SANITARY</u>		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	City	Repair/Replacement Water Line	\$15,000					\$15,000			\$15,000
Age:	20	Add drain tile to low area near RR	\$8,000					\$8,000			\$8,000
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
Type:	Drinking Fountain (2)	Replace Shelter w ADA Compliant				\$4,500		\$4,500			\$4,500
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5 to 12	Safety Surface replacement		\$3,500				\$3,500			\$3,500
Age:	13							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Baseball/Soccer (in outfield)							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0
Type:	Tennis Courts (2)	Resurface Courts			\$18,000			\$18,000			\$18,000
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$75,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Basketball Court (Lighted)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$40,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	750 x 22 (16,500 sq. ft Tar and Chip)							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$11,000							\$0			\$0

Park Audit

General Information

Park Name:	Bob Bangert Park
Location:	2209 Bonansinga Drive
Approximate Acreage:	26
General Condition:	2
Park Category:	Natural Resource Area
Seasonal Staff:	None Dedicated
Year Established:	1970
Year(s) of Major Improvements:	None
Predominant Use:	Boat Access/Picnic
Estimated Replacement \$:	\$398,100
Wheelchair Accessible:	Yes

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Bob Bangert Park	\$0	\$2,000	\$0	\$4,500	\$0	\$6,500	\$0		\$6,500

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Signs (2)	Repaint Signs		\$2,000				\$2,000			\$2,000
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$3,600							\$0			\$0

PARKING/PATHS											
Type:	46,000 sq ft. Gravel (Parking)							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0

-											
Type:	3,000 sq ft. Asphalt (Parking)							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0

ROADS/RETAINING											
Type:	2900 x 22 Asphalt (7,080 sq. yds)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$250,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	6 Rental Security Lights							\$0			\$0
Age:	30							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water							\$0			\$0
Age:	30							\$0			\$0
General Condition:	22							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:								\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
Type:	Drinking Fountain	Replace with ADA fountain				\$4,500		\$4,500			\$4,500
Age:	30							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Soccer field - South End							\$0			\$0
Age:	40							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Boat Launch							\$0			\$0
Age:	60							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$80,000							\$0			\$0
<u>OTHER</u>											
Type:								\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:								\$0			\$0

Park Audit

General Information

Park Name:

Bob Mays Park

Location:

2533 N. 18th Street

Approximate Acreage:

53

General Condition:

2

Park Category:

Community Park

Seasonal Staff:

None Dedicated

Year Established:

1997

Year(s) of Major Improvements:

2008

Predominant Use:

Picnic/Playground

Estimated Replacement \$:

\$202,500

Wheelchair Accessible:

Yes

PARK CATEGORY KEY:

Mini Park

Decretive/Historical

Sports Complex

Park Trail/Greenway

Natural Resource Area

Neighborhood Park

Community Park

Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition:

Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition:

Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

		2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
	Bob Mays Park	\$45,000	\$0	\$3,500	\$0	\$0	\$48,500	\$0		\$48,500

LANDSCAPING	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Parking Lot, Play Area, Alley of Trees							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0

SIGNS											
Type:	Entrance (2), Dedication, Prairie							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	5,000							\$0			\$0

PARKING											
Type:	19,000 sq ft Asphalt	Add Additional Parkaing	\$45,000					\$45,000			\$45,000
Age:	3							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0

PATHS/SIDEWALK											
Type:	Trail 4,000 ft Gravel., 250 ft. Concrete.							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	LED Lights Parking/Playground							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water Service							\$0			\$0
Age:	3							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$3,500							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5-12 and 2-5	Replace Wood Fiber Safety Surface			\$3,500			\$3,500			\$3,500
Age:	3							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$90,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Soccer 2 Portable Goals							\$0			\$0
Age:	6							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$4,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Prairie Grass Area							\$0			\$0
Age:	4							\$0			\$0
General Condition:	4							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0

Park Audit		
General Information		
Park Name:	Boehl Memorial Park	
Location:	North 18th Street	
Approximate Acreage:	17	
General Condition:	1	Mini Park
Park Category:	Park Trail/Greenway	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	2009	Park Trail/Greenway
Year(s) of Major Improvements:	2009	Natural Resource Area
Predominant Use:	Greenway/Trails	Neighborhood Park
Estimated Replacement \$:	\$1,423,200	Community Park
Wheelchair Accessible:	Yes	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Boehl Memorial Park	\$0	\$0	\$0	\$0	\$0	\$0	\$0		\$0

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Signs (2)							\$0			\$0
Age:	2							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$2,000							\$0			\$0

Type:	Dedication Plaque							\$0			\$0
Age:	3							\$0			\$0
General Condition	1							\$0			\$0
Estimated Replacement \$	\$1,200							\$0			\$0

PATHS											
Type:	Trail Asphalt 4,200 ft							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$1,400,000							\$0			\$0

PATHS/SIDEWALK											
Type:	12th St. Trail By-pass 600 ft Concrete							\$0			\$0
Age:	3							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	Item in Need of Maintenance/									Estimated
		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	12th Street Security Light							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$2,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Trail Kiosk w Bike Rack (2)							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0

Park Audit

General Information

Park Name: Boots Bush Park
Location: 4234 Maine Street
Approximate Acreage: 14
General Condition: 2
Park Category: Sports Complex
Seasonal Staff: None Dedicated
Year Established: 1970
Year(s) of Major Improvements: 2009
Predominant Use: Sports (Soccer/Football/Baseball)
Estimated Replacement \$: \$355,500
Wheelchair Accessible: Yes

PARK CATEGORY KEY:

- Mini Park
- Decretive/Historical
- Sports Complex
- Park Trail/Greenway
- Natural Resource Area
- Neighborhood Park
- Community Park
- Special Use Area

Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Boots Bush Park	\$0	\$0	\$0	\$8,500	\$27,500	\$36,000	\$235,000		\$271,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (1)	Remove or Repair Brick Planter				\$8,500		\$8,500			\$8,500
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$8,500							\$0			\$0

PARKING/PATHS			2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Parking 30,600 sq ft. Tar & Chip	Resurface Parking					\$23,000	\$23,000			\$23,000
Age:	12							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$23,000							\$0			\$0

Type:	Sidewalk 70' x 5'							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$1,000							\$0			\$0

ELECTRIC/LIGHTS			2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	None (Field Lights with Fields)							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

<u>WATER/SANITARY</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	City Water							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	Drinking Fountains (2)	Replace Ballfield Fountain					\$4,500	\$4,500			\$4,500
Age:	1 and 20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	None							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Soccer (2)							\$0			\$0
Age:	2							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$50,000							\$0			\$0
Type:	Baseball Field (Lighted)	Lighting Replacement						\$0	\$200,000	2017	\$200,000
Age:	30	Fence Replacement						\$0	\$35,000	2017	\$35,000
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$150,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:								\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Irrigation 2 fields							\$0			\$0
Age:	2							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$70,000							\$0			\$0

<u>OTHER</u>	Item in Need of Maintenance/									Estimated	
	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	Fence Chain Link							\$0			\$0
Age:	3 South 300 ft/20 North 700 ft							\$0			\$0
General Condition	2							\$0			\$0
Estimated Replacement \$	\$35,000							\$0			\$0

Park Audit		
General Information		
Park Name:	Clat Adams Park	
Location:	201 North Front Stet	
Approximate Acreage:	4	
General Condition:	2	
Park Category:	Decretive/Historical	
Seasonal Staff:	None Dedicated	
Year Established:	1992	
Year(s) of Major Improvements:	2008	
Predominant Use:	Scenic View	
Estimated Replacement \$:	\$1,767,300	
Wheelchair Accessible:	Yes	

PARK CATEGORY KEY:

- Mini Park
- Decretive/Historical
- Sports Complex
- Park Trail/Greenway
- Natural Resource Area
- Neighborhood Park
- Community Park
- Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Clat Adams Park	\$115,000	\$0	\$0	\$0	\$45,000	\$160,000	\$0	\$0	\$160,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (2)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$3,600							\$0			\$0
Type:	Historic Signs (2) Looking for Lincoln							\$0			\$0
Age:	2							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Park Landscaping							\$0			\$0
Age:	3							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$125,000							\$0			\$0
Type:	Mormon Crossing Marker							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Naval Reserve Center Marker							\$0			\$0
Age:	8							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0
<u>PARKING/PATHS</u>											
Type:	Parking 11,500 sq ft. Asphalt	Resurface Parking	\$40,000					\$40,000			\$40,000
Age:	18							\$0			\$0
General Condition:	Poor							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0
Type:	Brick Paver Sidewalks 850 x 15							\$0			\$0
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$60,000							\$0			\$0
Type:	Concrete Sidewalks 1,600 x 5	Repair/Replace 400' (N. Seawall)					\$45,000	\$45,000			\$45,000
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	Road 1,000 x 22 22,000 sq ft - 815 sq yds	Resurface Road	\$75,000					\$75,000			\$75,000
Age:	18							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$75,000							\$0			\$0
Type:	900 ft Sheet Piling							\$0			\$0
Age:	40							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$850,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	6 Decorative Area Lights (Sternberg)							\$0			\$0
Age:	18							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Electrical Panel (2)							\$0			\$0
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Fountain							\$0			\$0
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$300,000							\$0			\$0
Type:	Irrigation							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$100,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain							\$0			\$0
Age:	6							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>OTHER</u>											
Type:	Benches (6)							\$0			\$0
Age:	18							\$0			\$0
General Condition	1							\$0			\$0
Estimated Replacement \$	\$7,200							\$0			\$0
Type:	Flag Poles (6)							\$0			\$0
Age:	18							\$0			\$0
General Condition	2							\$0			\$0
Estimated Replacement \$	\$6,000							\$0			\$0

OTHER	General Information	Item in Need of Maintenance/									Estimated
		Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Cost
Type:	GRR Kiosk							\$0			\$0
Age:	2							\$0			\$0
General Condition	1							\$0			\$0
Estimated Replacement \$	\$25,000							\$0			\$0
Type:	1600' x 4' Chain Link Fence							\$0			\$0
Age:	20							\$0			\$0
General Condition	2							\$0			\$0
Estimated Replacement \$	\$40,000							\$0			\$0
Type:	Bike Rack							\$0			\$0
Age:	6							\$0			\$0
General Condition	Average							\$0			\$0
Estimated Replacement \$	\$1,000							\$0			\$0

Park Audit		
General Information		
Park Name:	Edgewater Park	
Location:	210 South Front Street	
Approximate Acreage:	1.6	
General Condition:	2	Mini Park
Park Category:	Decretive/Historical	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1909	Park Trail/Greenway
Year(s) of Major Improvements:	2004	Natural Resource Area
Predominant Use:	Scenic View	Neighborhood Park
Estimated Replacement \$:	\$178,500	Community Park
Wheelchair Accessible:	Yes	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Edgewater Park	\$0	\$0	\$0	\$0	\$0	\$0	\$0		\$0

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (2)							\$0			\$0
Age:	7							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$3,600							\$0			\$0

Type:	Dedication Plaque							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$1,000							\$0			\$0

Type:	Park Landscaping							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0

PARKING/PATHS											
Type:	Parking 2,600 sq ft. Concrete							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

<u>PARKING/PATHS</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Sidewalk Brick stamped concrete 800' x 5'							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	2 Decorative Lights							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$12,000							\$0			\$0
Type:	Electrical Panel							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Irrigation							\$0			\$0
Age:	8							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0

<u>ROADS/RETAINING</u>	<u>General Information</u>	Item in Need of Maintenance/									Estimated
		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	375 x 22 8,250 sq ft - 815 sq yds Concrete							\$0			\$0
Age:	8							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0
<u>OTHER</u>											
Type:	Park Benches (2)							\$0			\$0
Age:	8							\$0			\$0
General Condition	1							\$0			\$0
Estimated Replacement \$	\$2,400							\$0			\$0
Type:	Decorative Aluminum Fence (4 ft) 350 ft.							\$0			\$0
Age:	8							\$0			\$0
General Condition	1							\$0			\$0
Estimated Replacement \$	\$15,000							\$0			\$0
Type:	Bike Rack							\$0			\$0
Age:	6							\$0			\$0
General Condition	1							\$0			\$0
Estimated Replacement \$	\$2,000							\$0			\$0

Park Audit

General Information

Park Name:	Emerson Park	
Location:	13th and Washington Street	
Approximate Acreage:	2	
General Condition:	2	Mini Park
Park Category:	Neighborhood	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1978	Park Trail/Greenway
Year(s) of Major Improvements:	1998	Natural Resource Area
Predominant Use:	Picnic/Playground	Neighborhood Park
Estimated Replacement \$:	\$66,800	Community Park
Wheelchair Accessible:	No	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Emerson Park	\$0	\$3,500	\$0	\$0	\$0	\$3,500	\$12,000		\$15,500

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Signs (Emerson Community Center)							\$0			\$0
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$1,800							\$0			\$0

PATHS/SIDEWALKS											
Type:	300 ft. Sidewalk							\$0			\$0
Age:	50							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0

ELECTRICAL/LIGHTS											
Type:	1 Acorn Rental Security Light							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

PLAYGROUNDS											
Type:	5 to 12	Safety Surface Replacement		\$3,500				\$3,500			\$3,500
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0

<u>PARKING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	8,000 sq ft asphalt							\$0			\$0
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	2,500 sq. ft. 1/2 Basketball Court	Resurface						\$0	\$12,000	2017	\$12,000
Age:	40							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	City Alley							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:								\$0			\$0

Park Audit

General Information

Park Name:	Gardner Park
Location:	1831 N. 3rd
Approximate Acreage:	32
General Condition:	2
Park Category:	Neighborhood
Seasonal Staff:	None Dedicated
Year Established:	1916
Year(s) of Major Improvements:	None
Predominant Use:	Picnic/Walking/Hiking
Estimated Replacement \$:	\$607,600
Wheelchair Accessible:	-

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Gardner Park	\$4,500	\$0	\$6,000	\$0	\$0	\$10,500	\$87,500		\$98,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Entrance Signs (1)							\$0			\$0
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$3,600							\$0			\$0

PARKING/PATHS											
Type:	Parking 6,000 sq ft Tar & Chip	Resurface						\$0	\$4,000	2020	\$4,000
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,000							\$0			\$0

Type:	Sidewalk 300 ft concrete							\$0			\$0
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0

ELECTRICAL/LIGHTS											
Type:	Security Light (Rental)							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

<u>SPECIAL FEATURES</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Granite Entrance -Chestnut St							\$0			\$0
Age:	80							\$0			\$0
General Condition:	4							\$0			\$0
Estimated Replacement \$:	\$120,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City water							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain	Replace with ADA Compliant	\$4,500					\$4,500			\$4,500
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$500							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5 to 12	Replace Safety Surface (Wood Fiber)						\$0	\$3,500	2017	\$3,500
Age:	1							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Basketball Court 1/4 Court							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	5200 ft. x 22 ft Tar & Chip	Resurface						\$0	\$80,000	2020	\$80,000
Age:	10							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$75,000							\$0			\$0
Type:	Stone Bridge	Repair cap stones			\$6,000			\$6,000			\$6,000
Age:	70							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$350,000							\$0			\$0

Park Audit

General Information

Park Name:	Indian Mounds Park
Location:	1400 S. 5th Street
Approximate Acreage:	37
General Condition:	2
Park Category:	Natural Resource Area
Seasonal Staff:	None Dedicated
Year Established:	1909
Year(s) of Major Improvements:	2002
Predominant Use:	Natural Resource Area
Estimated Replacement \$:	\$1,091,600
Wheelchair Accessible:	No Facilities

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Indian Mounds Park	\$0	\$0	\$30,000	\$0	\$0	\$30,000	\$0		\$30,000

LANDSCAPING/SIGNS

<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type: Park Sign (2)							\$0			\$0
Age: 15							\$0			\$0
General Condition: 2							\$0			\$0
Estimated Replacement \$: \$3,600							\$0			\$0

Type: Park Landscaping							\$0			\$0
Age: 8							\$0			\$0
General Condition: 2							\$0			\$0
Estimated Replacement \$: \$10,000							\$0			\$0

PARKING/PATHS

Type: 3,200' x 8' Tar and Chip (Path Road Lane)							\$0			\$0
Age: 10							\$0			\$0
General Condition: 2							\$0			\$0
Estimated Replacement \$: \$0							\$0			\$0

Type: Sidewalk 750' x 6'							\$0			\$0
Age: 8							\$0			\$0
General Condition: Average							\$0			\$0
Estimated Replacement \$: \$10,500							\$0			\$0

<u>PARKING/PATHS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Asphalt Parking 30,000 sq ft							\$0			\$0
Age:	15							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$75,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	Security Lights (Statue)							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$2,500							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Walking Time Line (historic Information)							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$16,000							\$0			\$0
Type:	Native American Statue							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$350,000							\$0			\$0
Type:	Blackhawk War Memorial							\$0			\$0
Age:	80							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$100,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water Service							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	None							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

<u>DIAMONDS/FIELDS</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	None							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	3,400' x 22 Tar and Chip							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$45,000							\$0			\$0
Type:	3,500' x 24 Asphalt							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$130,000							\$0			\$0
Type:	5,500' limestone retaining wall	Repair/Replacement 200'			\$30,000			\$30,000			\$30,000
Age:	70							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$335,000							\$0			\$0
<u>OTHER</u>											
Type:	Trail Map/Kiosk							\$0			\$0
Age:	8							\$0			\$0
General Condition	2							\$0			\$0
Estimated Replacement \$	\$4,000							\$0			\$0

Park Audit

General Information

Park Name:	Johnson Park	
Location:	1901 Harrison	
Approximate Acreage:	5	
General Condition:	2	Mini Park
Park Category:	Neighborhood	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1947	Park Trail/Greenway
Year(s) of Major Improvements:		Natural Resource Area
Predominant Use:	Tennis/Picnic/Playground	Neighborhood Park
Estimated Replacement \$:	\$247,500	Community Park
Wheelchair Accessible:	Yes	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Johnson Park	\$0	\$0	\$3,500	\$3,000	\$0	\$6,500	\$0		\$6,500

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (1)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$2,500							\$0			\$0

Type:	Concrete Sidewalk 1200 ft.							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0

Type:	Security Light - Rental							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

Type:	800' Chain Link Fence							\$0			\$0
Age:	30							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

<u>WATER</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	City							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountains (2)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$9,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5 to 12	Replace Safety Surface (Wood Fiber)			\$3,500			\$3,500			\$3,500
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$45,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Baseball							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0
Type:	Soccer Field	Install Backstop Fence (North)				\$3,000		\$3,000			\$3,000
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0
Type:	Tennis Court							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$40,000							\$0			\$0
Type:	Basket Ball Court (Full)							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$40,000							\$0			\$0

<u>DIAMONDS/FIELDS</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated</u> <u>Cost</u>
Type:	Basket Ball Court (Quarter)							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0

Park Audit

General Information

Park Name:	Kesler Park	
Location:	801 Bonansinga Drive	
Approximate Acreage:	8	
General Condition:	3	Mini Park
Park Category:	Community Park	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1985	Park Trail/Greenway
Year(s) of Major Improvements:	1996	Natural Resource Area
Predominant Use:	Picnic/Boat Access	Neighborhood Park
Estimated Replacement \$:	\$465,100	Community Park
Wheelchair Accessible:	No	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Kesler Park	\$0	\$140,000	\$91,500	\$15,000	\$33,000	\$279,500	\$0		\$279,500

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (2)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$3,600							\$0			\$0

PARKING/PATHS											
Type:	Parking 92,000 sq ft Asphalt	N Parking Lot 66,000 sq ft		\$140,000				\$140,000			\$140,000
Age:	20	S Parking Lot 24,000 sq ft			\$60,000			\$60,000			\$60,000
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$240,000							\$0			\$0

Type:	Sidewalk 450' x 5'	Playground Sidewalk					\$3,000	\$3,000			\$3,000
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$16,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	3 Decorative Lights (Sternberg)							\$0			\$0
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$12,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Boat Ramps (2 single - 1 Triple)							\$0			\$0
Age:	18							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$50,000							\$0			\$0
Type:	Docks and gangways (5)	Replace Single Dock (North)			\$15,000			\$15,000			\$15,000
Age:	2 - 2 yrs, 3 - 20 years	Replace RR Courtesy Dock				\$15,000		\$15,000			\$15,000
General Condition:	3	Replace Fishing Dock					\$30,000	\$30,000			\$30,000
Estimated Replacement \$:	\$60,000							\$0			\$0
Type:	River Overlook Deck	Repair/Renovate			\$12,000			\$12,000			\$12,000
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0
Type:	Art Mural 2							\$0			\$0
Age:	30							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0
Type:	Dedication Plaque							\$0			\$0
Age:	30							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

<u>WATER/SANITARY</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Drinking Fountain	Replace w/ADA Compliant Fountain			\$4,500			\$4,500			\$4,500
Age:	20							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5 to 12							\$0			\$0
Age:	7							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$45,000							\$0			\$0

Park Audit

General Information

Park Name:	Lenane Park
Location:	2600 Bonansinga Drive
Approximate Acreage:	6
General Condition:	1
Park Category:	Natural Resource Area
Seasonal Staff:	None Dedicated
Year Established:	1957
Year(s) of Major Improvements:	0
Predominant Use:	Picnic
Estimated Replacement \$:	\$19,500
Wheelchair Accessible:	Yes

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Lenane Park	\$0	\$0	\$0	\$0		\$0	\$0		\$0

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign 1							\$0			\$0
Age:	2							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$500							\$0			\$0

ROADS/RETAINING											
Type:	420 x 22 ft Asphalt Road							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0

PARKING/PATHS											
Type:	2,000 sq ft Asphalt Parking							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$4,000							\$0			\$0

Park Audit
General Information

Park Name:	Leon Bailey Park	
Location:	637 Elm	
Approximate Acreage:	0.5	
General Condition:	Good	PARK CATEGORY KEY:
Park Category:	Mini Park	Mini Park
Seasonal Staff:	None Dedicated	Decretive/Historical
Year Established:	1960	Sports Complex
Year(s) of Major Improvements:	1990	Park Trail/Greenway
Predominant Use:	Playground	Natural Resource Area
Estimated Replacement \$:	\$31,600	Neighborhood Park
Wheelchair Accessible:	No	Community Park
	-	Special Use Area

Condition
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3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Leon Bailey Park	\$29,800	\$0	\$0	\$0	\$0	\$29,800	\$0		\$29,800

<u>LANDSCAPING/SIGNS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	1 Sign							\$0			\$0
Age:	12							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$1,800							\$0			\$0

<u>PLAYGROUNDS</u>											
Type:	5 to 12	Replace Playground	\$25,000					\$25,000			\$25,000
Age:	30							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

<u>OTHER</u>											
Type:	Benches (4)	Replace Benches	\$4,800					\$4,800			\$4,800
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,800							\$0			\$0

Park Audit

General Information

Park Name: Madison Park
Location: 2400 Maine Street
Approximate Acreage: 8
General Condition: 2
Park Category: Neighborhood
Seasonal Staff: None Dedicated
Year Established: 1880
Year(s) of Major Improvements: 1975, 1995, 2001
Predominant Use: Picnic/Playground
Estimated Replacement \$: \$374,600
Wheelchair Accessible: No

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
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4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked, displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

		2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
	Madison Park	\$19,000	\$0	\$0	\$0		\$19,000	\$76,000		\$95,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	2 Signs (24th & Maine (Lrg)/24th St. (Sm))							\$0			\$0
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0

PATHS/SIDEWALKS

Type:	Brick Sidewalk Maine to 24th 600' X 6' ft							\$0			\$0
Age:	50							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$40,000							\$0			\$0

Type:	Concrete Sidewalk 1200' X 5' ft							\$0			\$0
Age:	5							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0

ELECTRICAL/LIGHTS

Type:	3 Electrical pedestals (N of Courts)							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

<u>SPECIAL FEATURES</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	Estimated <u>Cost</u>
Type:	Musselmen Memorial							\$0			\$0
Age:	35							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0
<u>WATER</u>											
Type:	City							\$0			\$0
Age:	2							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$3,500							\$0			\$0
<u>SANITARY</u>											
Type:	City							\$0			\$0
Age:	30							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5-12 and 2-5							\$0			\$0
Age:	10 and 15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$70,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	3 tennis courts	Resurface 2 Courts	\$ 14,000					\$14,000			\$14,000
Age:	30 - Surface 15	Repair Tennis Fence	\$ 5,000					\$5,000			\$5,000
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$110,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	Asphalt Drive 14000 sq ft/520 sq yds	Resurface Road						\$0	\$52,000	2021	\$52,000
Age:	1994 16 years							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$52,000							\$0			\$0

		Item in Need of Maintenance/									Estimated
<u>PARKING</u>	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	Asphalt - 6,500 sq ft/240 sq yd	Resurface Parking						\$0	\$24,000	2021	\$24,000
Age:	1994 16 years							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$24,000							\$0			\$0
<u>OTHER</u>											
Type:	Park Benches (4)							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,600							\$0			\$0
Type:	Bike Rack							\$0			\$0
Age:	1							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$1,000							\$0			\$0

Park Audit

General Information

Park Name:	Moorman Park
Location:	1608 Moorman Park Road
Approximate Acreage:	80
General Condition:	2
Park Category:	Community Park
Seasonal Staff:	2
Year Established:	1985
Year(s) of Major Improvements:	1996
Predominant Use:	Picnic/Trails/Mini Golf/Softball
Estimated Replacement \$:	\$1,416,800
Wheelchair Accessible:	Yes

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Moorman Park	\$113,500	\$17,500	\$0	\$95,000	\$9,800	\$235,800	\$500,000		\$735,800

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (1)							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0

PARKING/PATHS											
Type:	60,000 sq ft. Parking Asphalt	Restripe Shelter/Fishing Lots		\$5,000				\$5,000			\$5,000
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$80,000							\$0			\$0

Type:	35,000 sq ft. Parking Tar & Chip (Ballfield)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0

PARKING/PATHS											
Type:	4,000 ft gravel walking path							\$0			\$0
Age:	18							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$12,000							\$0			\$0

<u>ROADS/RETAINING</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	6000' x 24' Asphalt Road	Resurface 1500' (Dam to Large Shelter	\$105,000					\$105,000			\$105,000
Age:	20	Resurface 1300' (Large Shelter to Dam)				\$95,000		\$95,000			\$95,000
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$240,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	Security Lights (5)							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Moorman Lake							\$0			\$0
Age:	30							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$400,000							\$0			\$0
Type:	Lake Fountain							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
Type:	Fishing Docks (2)	Replace Railing		\$8,000				\$8,000			\$8,000
Age:	30							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$60,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountains 6							\$0			\$0
Age:	20	Replace 2 at Ballfields	\$8,500					\$8,500			\$8,500
General Condition:	Average	Replace 1 at Horseshoe courts		\$4,500				\$4,500			\$4,500
Estimated Replacement \$:	\$27,000							\$0			\$0

PLAYGROUNDS	General Information	Item in Need of Maintenance/									Estimated	
		Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Cost	
Type:	5 to 12	Replace Playground						\$0			\$0	
Age:	30							\$0			\$0	
General Condition:	4							\$0			\$0	
Estimated Replacement \$:	\$65,000							\$0			\$0	
<u>DIAMONDS/FIELDS</u>												
Type:	Ball Field Upper Moorman (Lighted)	Fence Replacement						\$0	\$35,000	2020	\$35,000	
Age:	25	Lighting Upgrade						\$0	\$200,000	2020	\$200,000	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$140,000							\$0			\$0	
-												
Type:	Ball Field Moorman Main (Lighted)	Lighting Upgrade						\$0	\$200,000	2019	\$200,000	
Age:	25	Fence Replacement						\$0	\$35,000	2019	\$35,000	
General Condition:	2							\$0			\$0	
Estimated Replacement \$:	\$140,000							\$0			\$0	
Type:	Tennis Courts (4) Lighted	Resurface Courts (4)						\$0	\$30,000	2019	\$30,000	
Age:	25							\$0			\$0	
General Condition:	1							\$0			\$0	
Estimated Replacement \$:	\$180,000							\$0			\$0	
Type:	Archery Range							\$0			\$0	
Age:	25							\$0			\$0	
General Condition:	1							\$0			\$0	
Estimated Replacement \$:	\$15,000							\$0			\$0	
Type:	Disc Golf (18 Holes)							\$0			\$0	
Age:	12							\$0			\$0	
General Condition:	1							\$0			\$0	
Estimated Replacement \$:	\$15,000							\$0			\$0	
<u>DIAMONDS/FIELDS</u>												
Type:	Horseshoe Courts	Repair/Replacement Fence					\$5,000	\$5,000			\$5,000	
Age:	30							\$0			\$0	
General Condition:	1							\$0			\$0	
Estimated Replacement \$:	\$6,000							\$0			\$0	

<u>OTHER</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	Estimated <u>Cost</u>
Type:	Benches (4 at N. side Lake)	Replace Benches					\$4,800	\$4,800			\$4,800
Age:	20							\$0			\$0
General Condition	2							\$0			\$0
Estimated Replacement \$	\$4,800							\$0			\$0

Park Audit		
General Information		
Park Name:	Parker Heights Park	
Location:	2251 N. 5th Street	
Approximate Acreage.:	38	
General Condition:	2	Mini Park
Park Category:	Natural Resource Area	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1916	Park Trail/Greenway
Year(s) of Major Improvements:	None	Natural Resource Area
Predominant Use:	Picnic/Walking/Hiking	Neighborhood Park
Estimated Replacement \$:	\$278,600	Community Park
Wheelchair Accessible:		Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
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5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

											Estimated
											Cost
Parker Heights Park			2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	
			\$8,000	\$0	\$0	\$0	\$15,000	\$23,000	\$0	\$0	\$23,000
Item in Need of Maintenance/											Estimated
LANDSCAPING/SIGNS	General Information	Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Cost
Type:	2 Entrance Signs (Bonansanga/5th St.)							\$0			\$0
Age:	1							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$3,600.00							\$0			\$0
PARKING/PATHS											
Type:								\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
ROADS/RETAINING											
Type:	4100 ft. x 24 ft tar and chip							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$55,000.00							\$0			\$0
ROADS/RETAINING											
Type:	2,200 ft stone retaining wall	Slope Stabilization	\$8,000					\$8,000			\$8,000
Age:	70	Rock Wall Repair 100'					\$15,000	\$15,000			\$15,000
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$220,000.00							\$0			\$0

Park Audit

General Information

Park Name:	Quinsippi Island	
Location:	1010 Quinsippi Island Road	
Approximate Acreage:	135	
General Condition:	2	PARK CATEGORY KEY:
Park Category:	Community Park	Mini Park
Seasonal Staff:	None Dedicated	Decretive/Historical
Year Established:	1960	Sports Complex
Year(s) of Major Improvements:	1975	Park Trail/Greenway
Predominant Use:	Picnic/Playground	Natural Resource Area
Estimated Replacement \$:	\$4,948,300	Neighborhood Park
Wheelchair Accessible:	-	Community Park
		Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Quinsippi Island	\$0	\$3,500	\$10,000	\$13,500	\$0	\$27,000	\$950,000	\$0	\$977,000

<u>LANDSCAPING/SIGNS</u>	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Park Sign							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$1,800							\$0			\$0

PARKING/PATHS											
Type:	Parking 12,000 sq ft Tar and Chip							\$0			\$0
Age:	8							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0

Type:	Parking 75,000 sq ft gravel							\$0			\$0
Age:	18							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0

<u>ROADS/RETAINING</u>											
Type:	4,500 x 22 Asphalt - Road	Repair 100' x 24' E end of Bridge			\$10,000			\$10,000			\$10,000
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$160,000							\$0			\$0

<u>ROADS/RETAINING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	1,600 x 22 Tar and Chip - Road							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0
Type:	1,000 x 22 Gravel - Road							\$0			\$0
Age:	Jan-00							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0
Type:	Bridge 560 ft	Bridge Repairs						\$0	\$950,000	2020	\$950,000
Age:	140							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$4,600,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	Security Light - Ameren Rental							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Flag Pole							\$0			\$0
Age:	30							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0
Type:	Dedication Plaque Potawatomi							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
Type:	Light House							\$0			\$0
Age:	30							\$0			\$0
General Condition:	\$1							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0

WATER/SANITARY		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	City Water Service	Add Curb Stop Valves (3)				\$9,000		\$9,000			\$9,000
Age:	20							\$0			\$0
General Condition:	\$1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain	Replace with ADA compliant Fountain				\$4,500		\$4,500			\$4,500
Age:	20							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
PLAYGROUNDS											
Type:	5 to 12	Replace Safety Surface		\$3,500				\$3,500			\$3,500
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$45,000							\$0			\$0
DIAMONDS/FIELDS											
Type:	None							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

Park Audit

General Information

Park Name:	Reservoir Park
Location:	2249 Chestnut
Approximate Acreage	9.5
General Condition:	2
Park Category:	Community Park
Seasonal Staff:	None Dedicated
Year Established:	1936
Year(s) of Major Improvements:	1936, 2002, 2008
Predominant Use:	Tennis/Picnic/Playground
Estimated Replacement \$:	\$730,000
Wheelchair Accessible:	

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Reservoir Park	\$3,500	\$0	\$4,500	\$0	\$15,000	\$23,000	\$30,000	\$0	\$53,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	4 Signs (24th and Maine/24th St.)							\$0			\$0
Age:	12, 4 Greeman							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

Type:	Landscaping							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$8,500							\$0			\$0

PATHS/SIDEWALKS

Type:	Parking 11,000 sq ft concrete							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0

PATHS/SIDEWALKS

Type:	Concrete SW 1,950' x 5' LF/9,750 sq. ft.							\$0			\$0
Age:	8							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	3 Decorative Security Lights							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
Type:	Electrical Panels Tennis Courts (south)							\$0			\$0
Age:	8							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
Type:	Electrical Panels Shelter (North)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Chain Link Fence 250							\$0			\$0
Age:	10							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
Type:	Greeman Dedication Plaque							\$0			\$0
Age:	4							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$2,000							\$0			\$0
<u>WATER</u>											
Type:	City Water							\$0			\$0
Age:	30							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>PATHS/SIDEWALKS</u>											
Type:	Drinking Fountain (3)	Replace S. Drinking Fountain			\$4,500			\$4,500			\$4,500
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$13,500							\$0			\$0

<u>SANITARY</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	City Sewer							\$0			\$0
Age:	30							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5-12 and 2-5	Safety Surface Replacement	\$3,500					\$3,500			\$3,500
Age:	2003 and 1996							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$70,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	9 tennis courts/Lighted	Resurface 4 Court						\$0	\$30,000	2017	\$30,000
Age:	3 ct 2008, 4 ct 1970, 2 ct 1996	Resurface 2 Court					\$15,000	\$15,000			\$15,000
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$400,000							\$0			\$0
Type:	Tennis Practice Wall/Court							\$0			\$0
Age:	10							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0
Type:	Horse Shoe Courts							\$0			\$0
Age:	1998							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	Asphalt Drive 250 ft x 20							\$0			\$0
Age:	2002							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

		Item in Need of Maintenance/								Estimated	
<u>PARKING</u>	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	Concrete - 11,800 sq ft/440 sq yds							\$0			\$0
Age:	2001 North, 2003 South							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$45,000							\$0			\$0
<u>OTHER</u>											
Type:	Trash/Dumpster Enclosure							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$3,500							\$0			\$0

Park Audit

General Information

Park Name:	Riverview Park	
Location:	1001 N. 2nd Street	
Approximate Acreage:	24	
General Condition:	2	Mini Park
Park Category:	Neighborhood Park	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1895	Park Trail/Greenway
Year(s) of Major Improvements:	1996	Natural Resource Area
Predominant Use:	Picnic/Playground	Neighborhood Park
Estimated Replacement \$:	\$1,226,100	Community Park
Wheelchair Accessible:	-	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Riverview Park	\$0	\$15,000	\$10,800	\$60,000	\$0	\$85,800	\$193,000	\$0	\$278,800

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (1)							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$1,800							\$0			\$0

PARKING/PATHS											
Type:	5,600 sq ft Asphalt (Parking)	Resurface						\$0	\$18,000	2019	\$18,000
Age:	20							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$18,000							\$0			\$0

Type:	750 ft x 6' Brick (Sidewalk)	Replace 450' with Concrete on Bluff		\$15,000				\$15,000			\$15,000
Age:	80							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$40,000							\$0			\$0

PARKING/PATHS											
Type:	450' x 5' Concrete (Sidewalk)							\$0			\$0
Age:	80							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$7,000							\$0			\$0

<u>ROADS/RETAINING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	2500 ft x 22 Asphalt (Road)	Resurface 1,500 (main park)						\$0	\$90,000	2019	\$90,000
Age:	20	Resurface N/S Drives 1,400'						\$0	\$85,000	2020	\$85,000
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$140,000							\$0			\$0
Type:	Retaining Wall at Overlook							\$0			\$0
Age:	80							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$240,000							\$0			\$0
Type:	1,600 ft. Retaining Wall Road							\$0			\$0
Age:	80							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$160,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	Security Lights (5) - Rental							\$0			\$0
Age:	18							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
Type:	Statue Light (2)							\$0			\$0
Age:	25							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$4,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	General Clark Statue							\$0			\$0
Age:	90							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$500,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

<u>WATER/SANITARY</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Drinking Fountain							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5 to 12	Replace System				\$60,000		\$60,000			\$60,000
Age:	20							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$60,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Basketball Court							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0
<u>OTHER</u>											
Type:	Park Benches (9)	Replace Benches			\$10,800			\$10,800			\$10,800
Age:	50							\$0			\$0
General Condition	2							\$0			\$0
Estimated Replacement \$	\$10,800							\$0			\$0

Park Audit

General Information

Park Name:	South Park	
Location:	1500 S. 12th	
Approximate Acreage:	105	
General Condition:	Average	Mini Park
Park Category:	Community Park	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1895	Park Trail/Greenway
Year(s) of Major Improvements:	1919, 1998	Natural Resource Area
Predominant Use:	Picnic/Walking	Neighborhood Park
Estimated Replacement \$:	\$1,305,800	Community Park
Wheelchair Accessible:	-	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
South Park	\$23,000	\$75,000	\$70,000	\$0	\$85,000	\$253,000	\$82,200	\$0	\$335,200

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (3)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$5,400							\$0			\$0

PARKING/PATHS											
Type:	Parking 12,000 sq ft Asphalt							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$40,000							\$0			\$0

Type:	675 ft x 8 Multi-purpose trail							\$0			\$0
Age:	3							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$17,000							\$0			\$0

PARKING/PATHS											
Type:	2,500' x 5' Sidewalk	Repair 200' near Pond	\$5,000					\$5,000			\$5,000
Age:	15							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>									<u>Estimated</u>	
			<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>	
Type:	Walking Bridge 20' Wooding N. Pond	Repair/Replacement					\$10,000	\$10,000			\$10,000	
Age:	25							\$0			\$0	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$10,000							\$0			\$0	
<u>ELECTRICAL/LIGHTS</u>												
Type:	6 Security Lights Rental							\$0			\$0	
Age:	20							\$0			\$0	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$0							\$0			\$0	
Type:	Electrical Panel and Pedestal							\$0			\$0	
Age:	20							\$0			\$0	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$15,000							\$0			\$0	
<u>SPECIAL FEATURES</u>												
Type:	Ponds with Dams (2)							\$0			\$0	
Age:	30							\$0			\$0	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$150,000							\$0			\$0	
<u>WATER/SANITARY</u>												
Type:	City Water	Replace/Add ADA Drinking Fountains (3)	\$13,000					\$13,000			\$13,000	
Age:	5							\$0			\$0	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$10,000							\$0			\$0	
Type:	City Sewer and Septic	Engineering Sanitary Replacement	\$5,000					\$5,000			\$5,000	
Age:	10 and 80	Replace Sanitary Large Shelter		\$75,000				\$75,000			\$75,000	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$20,000							\$0			\$0	
<u>PLAYGROUNDS</u>												
Type:	2 to 5 and 5 to 12	Replace 5-12 System			\$70,000			\$70,000			\$70,000	
Age:	6 and 18							\$0			\$0	
General Condition:	Good and Poor							\$0			\$0	
Estimated Replacement \$:	\$90,000							\$0			\$0	

<u>DIAMONDS/FIELDS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Baseball Field							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0
Type:	Tennis Courts (4) Lighted							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$180,000							\$0			\$0
Type:	1/4 Court Basketball (North)							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0
Type:	Horseshoe Courts							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	8200' x 24' Asphalt	Repair 1000' section					\$75,000	\$75,000			\$75,000
Age:	20	Repair 1000' section						\$0	\$75,000	2017	\$75,000
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$480,000							\$0			\$0
Type:	1,400 ft Stone Retaining Wall							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$210,000							\$0			\$0
<u>OTHER</u>											
Type:	Park Bench (6 Pond area/ 1 Upper)	Replace Benches at Ponds						\$0	\$7,200	2017	\$7,200
Age:	20 Ponds / 2 Upper							\$0			\$0
General Condition:	Poor / Good							\$0			\$0
Estimated Replacement \$	\$8,400							\$0			\$0

Park Audit

General Information

Park Name:

Sunset Park

Location:

200 Cedar Street

Approximate Acreage:

18

General Condition:

1

Park Category:

Natural Resource Area

Seasonal Staff:

None Dedicated

Year Established:

1918

Year(s) of Major Improvements:

Predominant Use:

Picnic/Scenic View

Estimated Replacement \$:

\$203,600

Wheelchair Accessible:

-

PARK CATEGORY KEY:
Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

Wheelchair Accessible:		Special Use Area								Estimated	
			<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
		Sunset Park	\$0	\$0	\$0	\$20,000	\$0	\$20,000	\$0	\$0	\$20,000
		Item in Need of Maintenance/								Estimated	
<u>LANDSCAPING/SIGNS</u>	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	Park Sign (2)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$3,600							\$0			\$0
<u>PARKING/PATHS</u>											
Type:								\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	3,500' x 22' Tar and Chip							\$0			\$0
Age:	9							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$50,000							\$0			\$0
Type:	1,500 Lime Stone Retaining Wall	Repair Wall Section 200'				\$20,000		\$20,000			\$20,000
Age:	70							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$150,000							\$0			\$0

Park Audit

General Information

Park Name:	Villa Kathrine	
Location:	532 Gardner Expressway	
Approximate Acreage:	4	
General Condition:	2	Mini Park
Park Category:	Decretive/Historical	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1975	Park Trail/Greenway
Year(s) of Major Improvements:	1996	Natural Resource Area
Predominant Use:	Scenic Overlook/Visitor Center	Neighborhood Park
Estimated Replacement \$:	\$110,000	Community Park
Wheelchair Accessible:	-	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Villa Kathrine Park	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (1)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$3,500							\$0			\$0

PARKING/PATHS											
Type:	Parking 15,000 sq ft Asphalt							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0

Type:	Sidewalk 600' x 5'							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0

ELECTRICAL/LIGHTS											
Type:	4 Decorative Light Poles							\$0			\$0
Age:	18							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0

<u>SPECIAL FEATURES</u>	<u>General Information</u>	Item in Need of Maintenance/									Estimated
		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	Great River Road Kiosk							\$0			\$0
Age:	18							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$16,000							\$0			\$0
Type:	Great River Road Sign							\$0			\$0
Age:	8							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$3,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water/Sewer							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	110' x 24', 110' x 15' Asphalt							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0

Park Audit

General Information

Park Name:	Washington Park	
Location:	101 N. 5th Street	
Approximate Acreage:	8	
General Condition:	2	Mini Park
Park Category:	Decretive/Historical	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1835	Park Trail/Greenway
Year(s) of Major Improvements:	1921, 2006, 2008, 2010	Natural Resource Area
Predominant Use:	Decretive/Historical	Neighborhood Park
Estimated Replacement \$:	\$1,885,500	Community Park
Wheelchair Accessible:		Special Use Area

PARK CATEGORY KEY:

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Washington Park	\$5,000	\$0	\$0	\$0	\$0	\$5,000	\$0	\$0	\$5,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign							\$0			\$0
Age:	15							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0

Type:	Park Landscaping							\$0			\$0
Age:	8							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

PARKING/PATHS											
Type:	Sidewalk 3200' x 8'	Repair 100' (2 sections 40' NE & 60' SW)	\$5,000					\$5,000			\$5,000
Age:	50							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$65,000							\$0			\$0

ELECTRICAL/LIGHTS											
Type:	7 Decorative Area Lights							\$0			\$0
Age:	70							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$32,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Park Electrical Service							\$0			\$0
Age:	2							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$180,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Lincoln Plaza & Sculpture							\$0			\$0
Age:	3 / 75							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$850,000							\$0			\$0
Type:	John Wood Statue							\$0			\$0
Age:	80							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$120,000							\$0			\$0
Type:	GAR Monument							\$0			\$0
Age:	80							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$80,000							\$0			\$0
Type:	Lincoln Debate Boulder							\$0			\$0
Age:	80							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$120,000							\$0			\$0
Type:	Flag Pole							\$0			\$0
Age:	50							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$50,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water							\$0			\$0
Age:	5							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

<u>WATER/SANITARY</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Park Interactive Fountain							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$300,000							\$0			\$0
Type:	Drinking Fountain							\$0			\$0
Age:	6							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>OTHER</u>											
Type:	Park Benches (17)							\$0			\$0
Age:	2							\$0			\$0
General Condition	Good							\$0			\$0
Estimated Replacement \$	\$19,000							\$0			\$0

Park Audit

General Information

Park Name:	Wavering Park	
Location:	3600 Wavering Park Road	
Approximate Acreage:	47	
General Condition:	1	Mini Park
Park Category:	Community	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1985	Park Trail/Greenway
Year(s) of Major Improvements:	1986	Natural Resource Area
Predominant Use:	Community Park	Neighborhood Park
Estimated Replacement \$:	\$532,000	Community Park
Wheelchair Accessible:	-	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Wavering Park	\$0	\$114,500	\$26,000	\$10,500	\$0	\$151,000	\$235,000	\$0	\$386,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (2) Pool Sign (1)	Repair Pool Sign Stone				\$7,000		\$7,000			\$7,000
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

PARKING/PATHS											
Type:	75,000 sq. ft. Asphalt 31,000 Tar & Chip	Stripping Waver Pool/Ballfield/39th			\$12,000			\$12,000			\$12,000
Age:	15	Resurface Tar/Chip Shelter Lot		\$25,000				\$25,000			\$25,000
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$90,000							\$0			\$0

Type:	Sidewalk 2000'x 5'	Repair 200' at Bridge to Shelter Parking			\$2,000			\$2,000			\$2,000
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0

ELECTRICAL/LIGHTS											
Type:	Security Light 6 (Rental)							\$0			\$0
Age:								\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

<u>SPECIAL FEATURES</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Wavering Memorial Area	Repair Stone Monument			\$12,000			\$12,000			\$12,000
Age:	30							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain (3)							\$0			\$0
Age:	20	Replace Fountain Ballfield ADA		\$4,500				\$4,500			\$4,500
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$1,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5 to 12	Replace Safety Surface (Woodchip)				\$3,500		\$3,500			\$3,500
Age:	12							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$65,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Softball	Lighting Replacement						\$0	\$200,000	2021	\$200,000
Age:	30	Fence Replacement						\$0	\$35,000	2021	\$35,000
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$140,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	3,000' x22 Asphalt 330' x 22 A2	Repair Bridge Abutment		\$15,000				\$15,000			\$15,000
Age:	20	Repair Road at Bridge		\$40,000				\$40,000			\$40,000
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$85,000							\$0			\$0
<u>OTHER</u>											
Type:	Walking Bridge	Remove Bridge		\$30,000				\$30,000			\$30,000
Age:	30							\$0			\$0
General Condition	5							\$0			\$0
Estimated Replacement \$	\$110,000							\$0			\$0

Park Audit

General Information

Park Name:	Westview Park	
Location:	3126 Harrison	
Approximate Acreage:	6	
General Condition:	2	Mini Park
Park Category:	Neighborhood Park	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1965	Park Trail/Greenway
Year(s) of Major Improvements:		Natural Resource Area
Predominant Use:	Neighborhood Park	Neighborhood Park
Estimated Replacement \$:	\$9,800	Community Park
Wheelchair Accessible:	-	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Westview Park	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (1)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$1,800							\$0			\$0

DIAMONDS/FIELDS											
Type:	Soccer							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0

ROADS/RETAINING											
Type:	Access Road (Gravel) 650' x 12'							\$0			\$0
Age:	40							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$2,000							\$0			\$0

Park Audit

General Information

Park Name: Women's City Club Park
Location: 1550 Maine Street
Approximate Acreage: 4
General Condition: Average
Park Category: Decretive/Historical
Seasonal Staff: None Dedicated
Year Established: 1947
Year(s) of Major Improvements:
Predominant Use: Special Use Facility/Neighborhood Park
Estimated Replacement \$: \$111,500
Wheelchair Accessible: -

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Women's City Club	\$0	\$0	\$12,000	\$0	\$0	\$12,000	\$0		\$12,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	None							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

PARKING/PATHS											
Type:	1,400 sq. ft. parking							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$2,500							\$0			\$0

Type:	350' x 8' Brick	Repair/Replace			\$12,000			\$12,000			\$12,000
Age:	100							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0

Type:	300' x 5' Brick							\$0			\$0
Age:	30							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

		Item in Need of Maintenance/					Estimated				
<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	2 Area Lights/ 2 Rental Security Lights							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$9,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Fountain Basin							\$0			\$0
Age:	100							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	None							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	800' x 22' Asphalt							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$45,000							\$0			\$0
<u>OTHER</u>											
Type:								\$0			\$0
Age:								\$0			\$0
General Condition								\$0			\$0
Estimated Replacement \$	\$0							\$0			\$0

NATURAL AREAS MASTER PLAN

Quincy Park District, Quincy, Illinois

Recommendations for Natural Area Enhancement and Establishment of Sustainable Park Landscapes



Above: Restored Oak Savanna, Ball Horticulture, West Chicago IL

Prepared for:

Quincy Park District
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Prepared by:



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January 20, 2011

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EXECUTIVE SUMMARY:

I. Project Description

Pizzo & Associates, Ltd. (Pizzo) has been contracted to prepare a Natural Areas Master Plan for ecological restoration of natural areas throughout the Quincy Park District (QPD). The goal of this plan is to identify existing natural areas throughout each site that can be restored to high quality ecosystems and to identify landscape areas throughout the sites that can be converted from un-sustainable, high-maintenance and chemical intensive landscape treatments to sustainable, low-maintenance landscapes while maintaining or enhancing usability and appropriate aesthetics. The Natural Areas Master Plan begins to address many of these.

II. Introduction

To achieve low-maintenance landscapes with low chemical and water requirements, we must implement landscapes that are more in tune with what Mother Nature intended for the site. This approach includes restoring natural areas throughout the parks that would have occurred on-site prior to European settlement. In traditional landscape areas, plants known to have occurred in Adams County prior to European settlement will replace traditional non-native plant stock. Historical documents show that the QPD would have consisted mainly of timber bottomland ecosystems with hill prairies on the West-facing bluffs along with wetlands, prairies, and open Oak savanna areas above the bluffs east of the Mississippi River.

III. Existing Site Conditions Summary

Analysis of aerial photographs and several site surveys show that most remnant ecosystems have been severely degraded or eliminated from each site. We believe that many of the old-growth Oaks, Walnut, Maple, and Sycamore found growing throughout each park are remnant along with a few species of woodland perennials. All of the remnant areas mentioned above are in a degraded state and would benefit immensely from restoration and long-term management. For the most part each park landscape is comprised of degraded woodland with portions of turf-type grasses and traditional landscape plantings.

IV. Enhancement and Expansion of Natural Areas

To understand the process of natural areas restoration, it is helpful to first understand the benefits that natural areas offer. Some of these benefits include cost savings, erosion control, goose control, improved water quality & ground water re-charge, efficient carbon sequestrations, and a timeless aesthetic with biodiversity.

There are four basic components to Ecosystem Restoration: site preparation, installation, erosion control and stewardship. There is no more important a task in Natural Areas restoration than stewardship. Stewardship is to Natural Areas what Landscape Maintenance is to traditional landscape. Without stewardship a natural areas restoration will fail and with *inadequate* stewardship a natural areas restoration will fail. Because of its importance we highly recommend that stewardship be conducted by a professional ecological restoration firm, particularly during the 3-5 year establishment period after restoration efforts. Alternately QPD staff may be trained and equipped to conduct appropriate stewardship, however during this training period a professional firm should be employed to oversee the stewardship and assist with training. Volunteers can and should be involved in the stewardship process; however we do not recommend a stewardship program that depends upon volunteer efforts. Volunteer

involvement in regards to stewardship should be considered an educational or community strengthening exercise that supplements a permanent and structured stewardship program.

The stewardship program must be aggressive, dynamic, and site-driven. Stewardship actions typically consist of mowing, selective herbicide applications, seed collection & supplemental seeding/planting, prescribed fire, and monitoring.

V. Quincy Park District Ecosystems

There are four broad plant community types that can be created/restored throughout the QPD site: floodplain woodland, prairie, savanna, and wetland. Floodplain Woodlands will include tree & brush clearing, the establishment of native floodplain flora, and tree replacement planning. Prairie systems include restoration or re-construction of prairie areas, turf-to-prairie conversions, and native plant landscapes. Savanna systems will include establishment of native prairie under the existing Oak Savannas on site and tree replacement planning. Wetlands may include the re-construction of wetland/marshes and retrofitting detention basins into functioning wetlands.

VI. Features to Diversify, Expand, and Enhance Usability

Implementing the following elements in conjunction with natural areas will help diversify, expand and enhance usability of the QPD landscape: Create a network of nature trails (mowed paths) through the prairie areas and designated savannas, install additional seating/bench areas within the natural areas and adjacent to established paths, install observation piers in sites with a defining bluff to provide the public with designated & safe observation areas of the Mississippi, expand and improve wildlife habitat to increase the opportunity for bird/nature watching & educational programs as well as provide a more diverse landscape for public enjoyment, improve water quality by reducing nutrient loading and reducing sedimentation, make and install “Seedballs” to enhance and diversify the natural areas, install interpretive signage in several locations throughout the parks that provide concise information including, but not limited to the history, natural features, ecology, and natural areas restoration and creation projects throughout QPD, and “Eco-Art” which are projects like stenciling outlines of local birds, reptiles, insects, and mammals on pathways (an “Eco-Mural”), nature-related sculpture, wood and rock carvings, and temporary structures reflecting the time of year (ephemeral artwork).

VII. Implementation and Prioritization of the Natural Areas Master Plan

The Following is a summarized list prioritized by Pizzo & Associates, Ltd. of five logical first phases under the Quincy Park District Natural Areas Master Plan. The areas outlined below have been chosen based on the feasibility of cost, visual impact, ecological impact and integration within the community. These chosen areas will provide the public with an introduction to diverse native landscapes with a swift turn. Upon the completion of each phase unnecessary maintenance and in house labor expenses will be significantly reduced and in some cases eliminated; Taking underutilized areas and turning them into diverse ecosystems that welcome songbirds and butterflies.

Bob Mays Prairie (\$14,000-\$32,000)

Site Description: The 4.3 acre prairie is dominated by weedy annual grasses such as Foxtail Millet (*Setaria italica*) and non-native cool season grasses with a small number of native herbaceous plants such as Little Bluestem (*Andropogon scoparius*) and Rattlesnake Master (*Eryngium yuccifolium*). The park pathway runs along the prairie providing the public with access to the prairie restoration. As one of the

smaller and more publicly used sites within the QPD Natural Areas Master Plan, Bob Mays Prairie could become the catalyst for future prairie expansion and public acceptance. Although the current prairie is degraded, the application of herbicide and re-seeding is fairly easy with the proper guidance. Once the site is properly established stewardship costs typically decline to one or two mowing/herbicide applications per year and prescribed fire every two-three years.

Prioritization Criteria:

- **Feasibility of Cost:** This will be a low cost project based on the small size of the site and simple process involved for restoration.
- **Visual Impact:** The established prairie will provide a distinct palette of colors and textures unavailable prior to restoration, highly visible by adjacent homes and park pathway users.
- **Ecological Impact:** The diverse vegetation creates habitat for an array of wildlife including native butterflies and songbirds.
- **Community Integration:** The public will have up close access and interpretation to the prairie as the park pathway runs along the 4 acre site. Seating and interpretive signage should be considered once the prairie is restored.

Implementation: The site should be herbicided to eliminate invasive/weedy species. After all target species have been eliminated, install native seed with a Truax No-Till Drill. Once the seed has germinated the site will have to be kept mown the first year to inhibit annual/biennial weed species from spreading and to allow sufficient light to the native seedlings. Long term stewardship will involve spot mowing, spot herbicide, and prescribed fire. Installation and stewardship tasks including mass mowing and mass non-specific herbicide applications can be conducted by Park District staff. Installation and stewardship tasks requiring specialized technical expertise and/or plant identification skills should be conducted by a professional ecological contractor and/or by Park District staff under the supervision of that ecological contractor until Park District staff becomes adequately trained.

- *Implementation Option 2:* The Park District manages restoration and stewardship with oversight from a professional ecological restoration contractor.
- *Implementation Option 1:* Contract with a professional ecological contractor for restoration and allocate stewardship to the Park District with periodic oversight from the restoration contractor.
- *Implementation Option 3:* Contract with a professional ecological contractor for installation and stewardship.
 - *Supplemental A:* For options one and two supplement park District stewardship with a professional ecological restoration crew 2-3 times per year.
 - *Supplemental B:* Utilize volunteers, to supplement the stewardship program, including hand pulling of weeds, seed collection/distribution, and vegetation monitoring.

Parker Woodland Area 1 (\$42,000-\$115,000)

Site Description: Pre-settlement Parker Woodland consisted of woodland vegetation along the cliff face and creek bottomland with prairie on the cliff bluffs and in eastern portions of the park. The prairie would have been dry with drifts of Oak Savanna confirmed by existing Black Oak (*Quercus velutina*), Red Oak

(*Quercus rubra*), and Shingle Oak (*Quercus imbricaria*) scattered along the open planes of the site. The current cliff face and creek bottomland of Area 1 that runs through the lower portion of the park has become infested with invasive/weedy woody vegetation. Area 1 is 10 acres with 8.46 acres of woodland and 1.54 acres of possible savanna conversion. The basic conversion of turf to native savanna involves herbicide and seeding while basic woodland restoration involves brush and tree clearing, herbicide, and seeding. Enhancing one of Quincy's greatest natural features, specifically the bluff/creek corridor in Parker Woodland, will enhance public use.

Prioritization Criteria:

- **Feasibility of Cost:** This will be a low to moderate cost project based on the simple process involved for restoration that can be phased as budget allows. Once the restored areas are established costs associated with maintenance will lower overtime.
- **Visual Impact:** A native savanna would provide additional color and texture not previously seen on site. The thinned woodland provides picturesque views and glimpses of natural limestone protrusions and views of the flowing stream from Parker Heights Park road.
- **Ecological Impact:** The thinned woodland would provide a greater dimension of light to penetrate the ground floor allowing native woodland spring flowers and savanna plants to diversify the woodland ecosystem. The diverse native woodland vegetation attracts nesting birds of prey, insects, and songbirds.
- **Community Integration:** Enhancing Parker Woodland can enhance public and tourist use by providing educational signage and interpretation to the savanna and a greater visual of the bluff-creek corridor.

Implementation: The wooded areas should first be cleared of all invasive/ weedy brush and tree species then herbicided to eliminate additional undesirable growth. Hand cutting is the simplest form of removal and can be done at any time with chains saws, hand saws, and loppers. Mechanical removal is not recommended in this area. All turf and other non-desirable vegetative growth should be herbicided. After all target species have been eliminated, hand seed the woodland with a woodland seed mix to provide an established herbaceous layer to prevent erosion and re-growth of target invasive/ weedy species. Once the installation is complete, the woodland floor will have to be kept mown the first year to allow sufficient light to the native seedlings. Long term stewardship will involve spot herbicide and prescribed fire. Installation and stewardship tasks including mass non-specific herbicide applications and mass clearing can be conducted by Park District staff with optional assistance by volunteer groups. A professional ecological contractor should oversee installation and stewardship areas involving specialized technical expertise and/or plant identification. To lower costs, Park District staff may perform the specialized tasks with the supervision of the specified ecological contractor.

- *Implementation Option 1:* Contract with a professional ecological contractor for restoration and allocate stewardship to the Park District with periodic oversight from the restoration contractor.
- *Implementation Option 2:* The Park District manages restoration and stewardship with oversight from a professional ecological restoration contractor.
- *Implementation Option 3:* Contract with a professional ecological contractor for restoration and stewardship.

- *Supplemental A:* For options one and two supplement park District stewardship with a professional ecological restoration crew 2-3 times per year.
- *Supplemental B:* Utilize volunteers, to supplement the installation program, including hand seeding and brush and tree clearing using hand tools. To supplement the stewardship program volunteers may partake in hand pulling of weeds, seed collection/distribution, and vegetation monitoring.

Gardner/Sunset/Riverview: Overlooks, Prairie, and Formal Landscapes

Site Description: The three parks are consistent with the characteristics of the Mississippi Border Division, identified by the jagged ravines and limestone bluffs with remnant tree populations such as Black Oak (*Quercus velutina*), Red Oak (*Quercus rubra*), Sugar Maple (*Acer Saccharum*), Sycamore (*Platanus occidentalis*), and Slippery Elm (*Ulmus rubra*). Although a small amount of native canopy trees are present, the sites have become highly degraded by invasive species establishment and prior erosion control methods. Throughout the park sites, expanses of high maintenance turf and formal landscapes are located in under-utilized areas. The overlooks are marred by invasive/weedy species whose growth has become so tall its blocking scenic river views from the public. Three separate phases consisting of the park overlooks, turf to prairie conversion, and formal landscapes comply with the desired feasibility of cost, visual impact, ecological impact, and communal integration results.

Overlooks (\$27,000-\$40,000)

Site Description: The three designated overlooks in Gardner/Sunset/Riverview are the focal point of the parks, allowing people to view the beauty of Quincy's river valley. Invasive and exotic species along with native sumac and grape vine have become overgrown along the bluff edges and downward slope, creating a wild carpet of unsightly vegetation. As one of the highest trafficked areas within Gardner/Sunset/Riverview, clearing the overgrown vegetation below the overlooks will showcase to the public the beginning of improvements to the three combined parks. Basic clearing of all invasive/ weedy species while thinning the sumac will provide a crisp look while providing vibrant red fall color. The sides of the view-shed should be cleared of all brush and seeded with a native prairie mix to provide additional texture and color. Once the site is properly established stewardship costs typically decline to one or two herbicide applications per year and prescribed fire every two-three years.

Prioritization Criteria:

- **Feasibility of Cost:** This will be a moderate cost project based on the small size of the site(s); portions of the restoration can be conducted by Park District staff and/or volunteers to minimize cost.
- **Visual Impact:** Immediate impact will strengthen scenic views by basic invasive/ weedy tree and brush clearing and programmed restoration.
- **Ecological Impact:** Restored prairie will prevent erosion and sediment loss from heavy rainfall while providing habitat for native songbirds and butterflies in a popular public area.

Implementation: The first recommendation to implement this phase is to clear the entire site of invasive/weedy brush. Mechanical clearing is unnecessary, as a majority of the site is understory trees

and brush, making hand clearing fairly easy. Herbicide should be applied to stumps of cut trees and brush and any invasive/weedy re-sprouts. The native sumac should remain. After all target species are eliminated install native seed by hand and immediately hydromulch to prevent erosion and sediment loss during seedling establishment. Once installation is complete long term stewardship will involve spot herbicide and prescribed fire. Installation and stewardship tasks including mass non-specific herbicide applications and mass brush and tree clearing can be conducted by Park District staff. The Park District may want to supplement particular installation and stewardship with oversight from a professional ecological contractor, particularly with species identification before brush and tree clearing. Additional site enhancement involving live plug material could be grown and installed by local groups or institutions.

- *Implementation Option 1:* Contract with a professional ecological contractor for restoration. Allocate stewardship to the Park District with periodic oversight from the restoration contractor involving spot herbicide application and prescribed fire.
- *Implementation Option 2:* The Park District manages restoration and stewardship with oversight from a professional ecological restoration contractor.
- *Implementation Option 3:* Contract with a professional ecological contractor for restoration and stewardship.
 - *Supplemental A:* For options one and two supplement park District stewardship with a professional ecological restoration crew 2-3 times per year.
 - *Supplemental B:* Utilize volunteers, to supplement the stewardship program, including brush and tree clearing, hand pulling of weeds, seed collection/distribution, and vegetation monitoring.

Turf to Prairie (\$80,000-\$142,000)

Site Description: Besides small areas of turf around programmed park areas, the remaining large expanses of turf are underutilized and expensive to maintain. Steeper slopes covered in turf are showing signs of erosion. Converting existing turf into native prairie would reduce erosion and maintenance input. Because native plants require little sustenance once established, irrigation, mowing, fertilizer, and herbicide application will be significantly reduced, and in many cases eliminated overtime. Converting turf to native prairie entails the application of herbicide to existing turf and re-seeding with native seed. Once the site is properly established stewardship costs typically decline to one or two mowing/herbicide applications per year and prescribed fire every two-three years.

Prioritization Criteria:

- **Feasibility of Cost:** This will be a low to moderate cost project based on the overall number of turf to prairie conversions that can be phased along with the simple process involved for restoration. Once the restored areas are established costs associated with maintenance should lower overtime.
- **Visual Impact:** Established prairie will create undulating viewsheds, enhancing public experience while concealing utility and waste disposal units.

- **Ecological Impact:** Converting turf to prairie will control erosion and sediment loss along with restoring native plant diversity within large portions of the park. Because native plants evolved in this region they are genetically encoded to survive drought, fire, and extreme cold.
- **Community Integration:** Interpretive signage should be considered once the prairie is restored.

Implementation: Turf to prairie areas should be herbicided to eliminate existing turf areas. Once all turf is browned out, install native seed with a Truax No-Till Drill, or by hand seeding where tractor access is limited. Erosion control blanket should be applied in any steep areas, especially where existing erosion has been repaired. Once installation is complete the sites will have to be kept mown the first year to inhibit annual/biennial weed species from spreading and to allow sufficient light to the native seedlings. Long term stewardship will involve spot mowing, spot herbicide, and prescribed fire. Installation and stewardship tasks including mass mowing and mass non-specific herbicide applications can be conducted by Park District. Staff may be advised by a professional ecological contractor for more technical herbicide applications, seeding, and stewardship tasks.

- *Implementation Option 2:* The Park District manages restoration and stewardship with oversight from a professional ecological restoration contractor.
- *Implementation Option 1:* Contract with a professional ecological contractor for restoration and allocate stewardship to the Park District with periodic oversight from the restoration contractor.
- *Implementation Option 3:* Contract with a professional ecological contractor for restoration and stewardship.
 - *Supplemental A:* For options one and two supplement park District stewardship with a professional ecological restoration crew 2-3 times per year.
 - *Supplemental B:* Utilize volunteers, to supplement the stewardship program, including hand pulling of weeds, seed collection/distribution, and vegetation monitoring.

Formal to Natural (\$17,000-\$27,000)

Site Description: Existing ornamental trees, shrubs, and planting beds consist mainly of non-native species that require additional irrigation, fertilizer, and consistent pruning that require high maintenance inputs. By removing the existing high maintenance non-native landscape plants and installing native prairie plants in these specified beds will add a variety of color to the formal landscape without the additional labor costs to maintain plant health. Scattered trees and shrubs not planted in designated formal areas such as building space, seating areas, and park entrances should be eliminated and restored to prairie. Once the new native formal landscapes are established maintenance and labor costs typically decline to one or two hand pulling or herbicide applications per year and mulching every two-three years. With appropriate plant selection and placement pruning may be eliminated.

Prioritization Criteria:

- **Feasibility of Cost:** This will be a low to moderate cost project based on the small areas where formal plantings are beneficial. The more the Park District staff and/or volunteer programs are utilized the cost typically declines.

- **Visual Impact:** The formal landscape program will encompass a unified dimension of form and space using a specified palette of native plants. The defined planting beds and colors will provide a formal look with the environmental and cost benefits of native plants.

Implementation: Eliminate all existing non-native ornamental vegetation. Removal should consist of cutting, and/or hand pulling to make sure the entire root ball of larger species is killed or removed. Areas designated for native formal landscaping should be tilled, planted, and mulched with three inches of shredded hard wood mulch. Installation and stewardship tasks including non-native ornamental plant removal, planting, mulching, and mass non-specific herbicide applications can be conducted by Park District staff. Installation and stewardship tasks requiring specialized technical expertise and/or plant identification skills should be overseen by a professional ecological contractor until Park District staff becomes adequately trained. The Park District may supplement installation and stewardship activities with volunteer programs.

- *Implementation Option 1:* The Park District manages restoration and stewardship.
- *Implementation Option 2:* Contract with a professional ecological contractor for restoration and allocate stewardship to the Park District with periodic oversight from the restoration contractor.
 - *Supplemental A:* For options one and two supplement park District stewardship with a professional ecological restoration crew 2-3 times per year.
 - *Supplemental B:* Utilize volunteers, to supplement the installation and stewardship program, including planting, mulching, watering, hand pulling of weeds and minimal pruning maintenance.

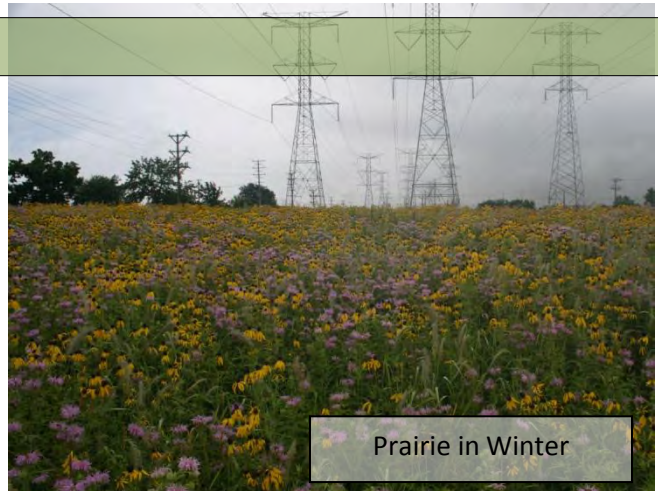
EXECUTIVE SUMMARY

Example Photos

EXAMPLE: Restored Prairie System



Prairie in Winter

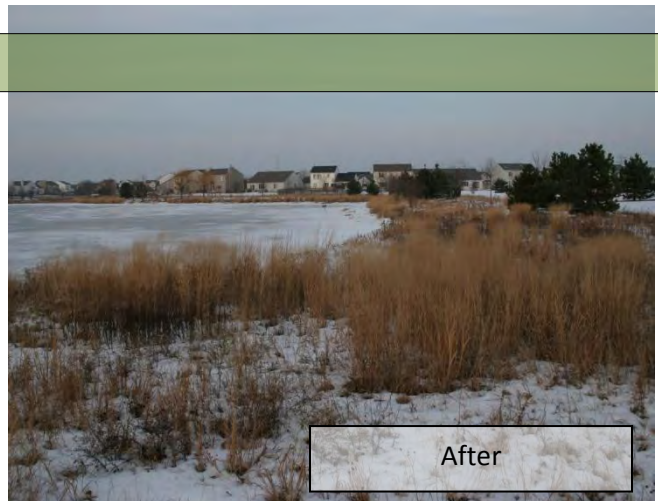


EXAMPLE: Turf-to-Prairie Restoration

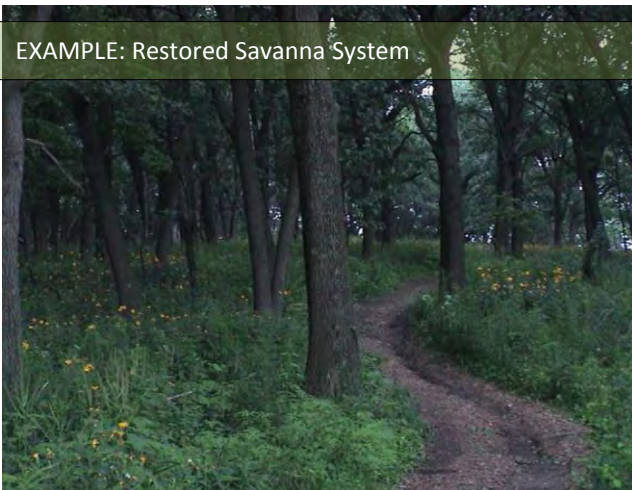
Before



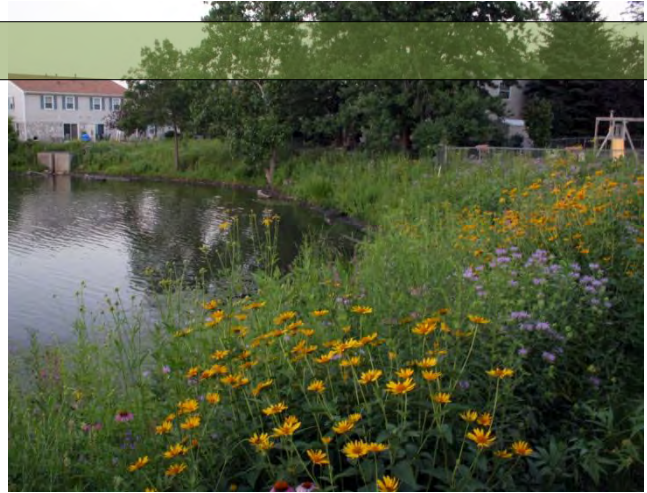
After



EXAMPLE: Restored Savanna System



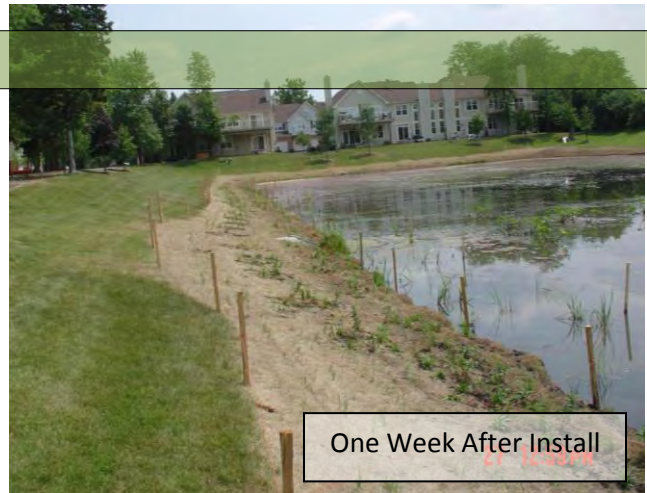
EXAMPLE: Restored Wetland System



EXAMPLE: Restoration Process



Installation



One Week After Install



2nd Year



3rd Year

EXAMPLE: Formal Native Landscape



Grass Monoculture



During Installation



2-years after Installation

END OF EXECUTIVE SUMMARY

I. Introduction

Illinois Natural History: During the Illinoian Glaciation Stage designated 300,000-130,000 years ago, the massive ice sheet known as the Laurentide covered 85 percent of Illinois. At its maximum extent during this stage, this ice sheet reached its southernmost extent in North American near what is today

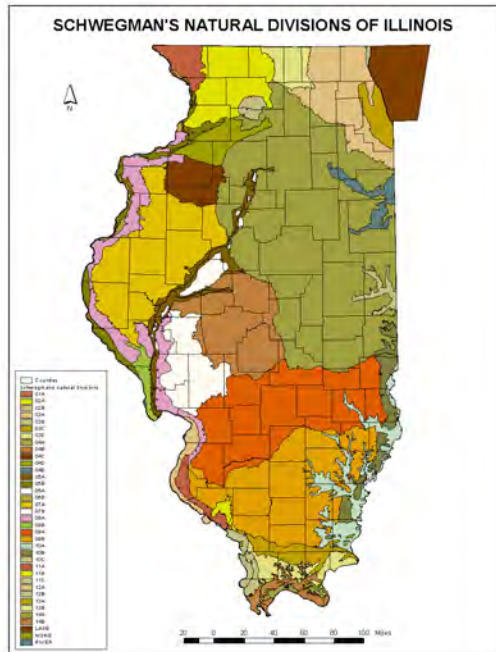


Figure 1. Section 5b: Upper Mississippi River Bottomlands, Section 8a: Middle Mississippi Border Division (Illinois Department of Natural Resources)

Carbondale, IL. As the ice retreated to the north and east, flowing water and sediment that was released from the melting ice created the diverse landscape of limestone bluffs, plains, ravines, wetlands, and moraines (hills of outwash sediment) that now characterizes the Middle Mississippi Border Division (Figure 1), in which the Quincy Park District (QPD) is partially located (Department of Natural Resources). Along the edge of the Mississippi River lies the Upper Mississippi River Bottomlands Division comprised of glaciated bottomland that historically was the wide Mississippi River bed before channelization. Much of the division was originally forested but prairie and marsh also occurred. The bottomlands are characterized by broad floodplains and gravel terraces formed by glacial floodwaters covered with alluvial deposits more commonly known as loess. This range of topography, hydrology, and microclimate, combined with periodic natural events such as frequent floods and wildfire resulted in the evolution of a rich diversity of flora and fauna that comprised Western Illinois' ecosystems.

According to Mohlenbrock in Guide to the Vascular Flora of Illinois, 90% of the pre-settlement vegetation in the Upper Mississippi Border Division was woodland with hill prairies on the West-facing bluffs. These forests were dominated by mesic and dry forests with Black Oak and White Oak dominating the dry slopes and Sugar Maple, Red Oak, Hackberry, Slippery Elm, and Black Walnut forming the mesic composite. Floodplain forests along the creeks contain Silver Maple, Hickories, Cottonwood, and Sycamore. The forested glens of this division serve as a major nighttime roosting place for wintering bald eagles. It is also the only area in Illinois where the dark sided salamander and western worm snake thrive. Creek floodplain vegetation varies slightly from the Upper Mississippi Bottomlands Division where Silver Maple, American Elm, and Green Ash are the dominant tree canopy species, with frequent occurrences of Pin Oak, Pecan, Bur Oak, Sycamore, Honey Locust, and Black Walnut. Mesic and wet prairie occurred in the broad bottomlands with a similar species composition as the Grand Prairie Division, located further east. Generally classified into dry, mesic, wet, and sand, the prairie was an ecosystem of tall grasses, such as big and little bluestem, hardy forbs, and a few fire-tolerant shrubs. Wildfire frequented the prairie, recycling mineral and organic matter, stimulating plant growth, and keeping woody vegetation at bay. Pockets of low areas and natural drainage ways harbored rich and bio-productive marshes. These wetlands not only provided important resources and habitat for Illinois wildlife, but they also served to filter water, store floodwater from rain events, and recharge groundwater. Numerous plant species thrived in the saturated or inundated soils of wetlands, including a variety of

sedges, rushes, and grasses. In years with favorable plant growth and weather conditions, wildfire also burned in wetlands, playing a similar role in the wetlands as it did in the upland prairies.

Prairie fires along the upland bluffs and bottomlands would have suppressed woody growth to form Oak-Hickory savannas, a prominent ecosystem throughout Illinois. At the time of European settlement, oak savannas in the Midwest amounted to about 50,000,000 acres (20 million hectares) in a mostly continuous band stretching along the eastern edge of the Great Plains from Texas into southern Canada (see Figure 2). There were also small areas of oak savanna east into Indiana, Michigan, and Ohio. The savanna was characterized by widely-spaced, large, open-grown Bur or White Oak and Hickory trees and had a rich understory of grasses and wildflowers and occasional colonies of shrubs. The upper limit between savanna and forest is generally considered to be a tree canopy with 50% coverage. Therefore, if more than one-half of the ground area is in the sun at noon in midsummer, the vegetation is classed as a savanna. If the canopy has greater than 50% tree canopy coverage, the vegetation is called a woodland or forest. The lower canopy coverage, between savanna and prairie, is generally considered to be 10% tree coverage, although these upper and lower limits are only approximate. Like the prairies, savannas were also frequented by fires that swept through the understory, sustaining their open, park-like appearance. Often in the savanna understory, small saplings of oaks or hickories, called grubs, could be found. These grubs were top-killed regularly by fire, but re-sprouted and maintained a low profile in the savanna. However, with the anthropogenic suppression of fire post-settlement, these small trees grew rapidly and converted prior savannas to dense forests or woodlands (Packard and Mutel; Savanna Oak Foundation).

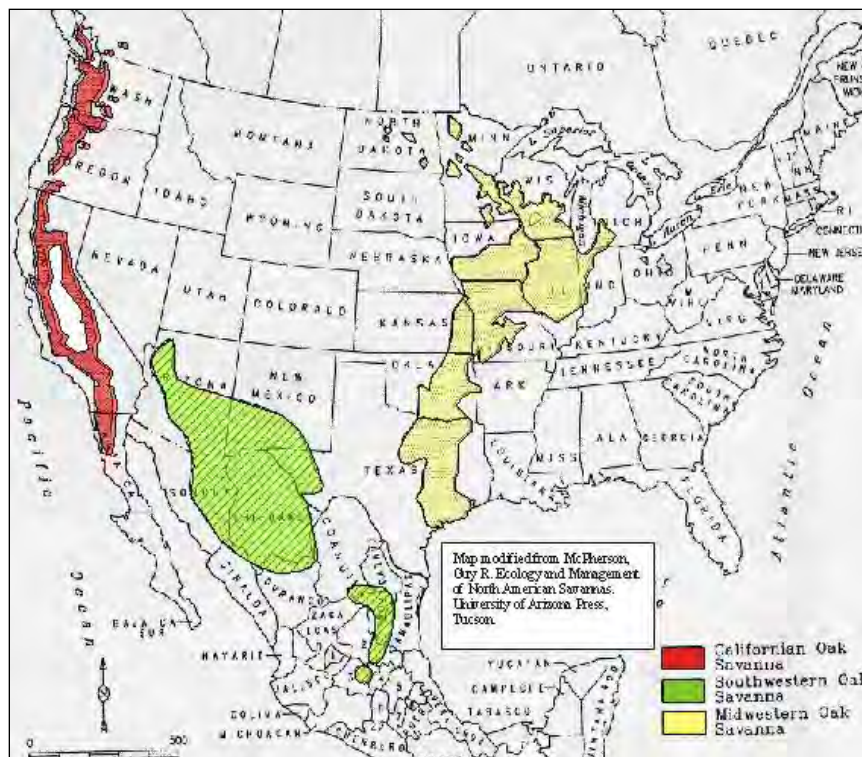


Figure 2 Map showing the extent of the three original Savanna ecosystems; California Oak Savanna, Southwestern Oak Savanna, and Midwestern Oak Savanna (Savanna Oak Foundation).

Because of their openness, savannas have strong human appeal, and early settlers frequently commented on their attractiveness.

Unfortunately, oak savannas were among the earliest areas in the Midwest to be settled. In the main prairie states, where large open prairies were very suitable for agriculture, the settler could avoid the intense summer heat by building among a savanna grove at the edge of a prairie, where large oaks provided cooling

shade. Although the trees may not have been cut

down, their roots were damaged by nearby digging, rolling over, and walking upon, as well as cutting down branches that offended. The herbaceous layer of the savanna would be quickly eliminated by trampling or mowing to keep down tall “weeds”. Within a few years after a savanna area was settled, its specific character would be unalterably ruined. In addition, many high quality savannas in the Midwest were heavily grazed, which did not destroy the large oaks but did destroy the herbaceous vegetation. Much of the savanna ecosystem was destroyed during the settlement period in the latter half of the 19th century. At most, Midwestern savannas today amount to only about 30,000 acres, most of which is degraded. Most remaining individual savannas are small, usually less than 100 acres. The rarity of oak savannas has led to them being listed as *“globally imperiled”* (Savanna Oak Foundation).

The importance of oak savanna restoration has been recognized by the Natural Resources Conservation Service (U.S. Department of Agriculture) through its Wildlife Habitat Incentives Program, and special “points” are given for evaluating WHIP proposals for private landowners that involve significant savanna habitat. The state of Wisconsin has promoted oak savanna restoration by private landowners through its Landowner Incentive Program. The oak savanna has also been singled out for concern by state agencies of most of the Midwestern states that have significant restorable savannas. Several plant species and some birds that are threatened or endangered are found preferentially in oak savanna habitats. Among the plants are giant yellow hyssop, purple milkweed, cream gentian, upland boneset, wild hyacinth, and yellow pimpernel. The red-headed woodpecker, a now relatively uncommon bird, also prefers the savanna habitat (Savanna Oak Foundation).

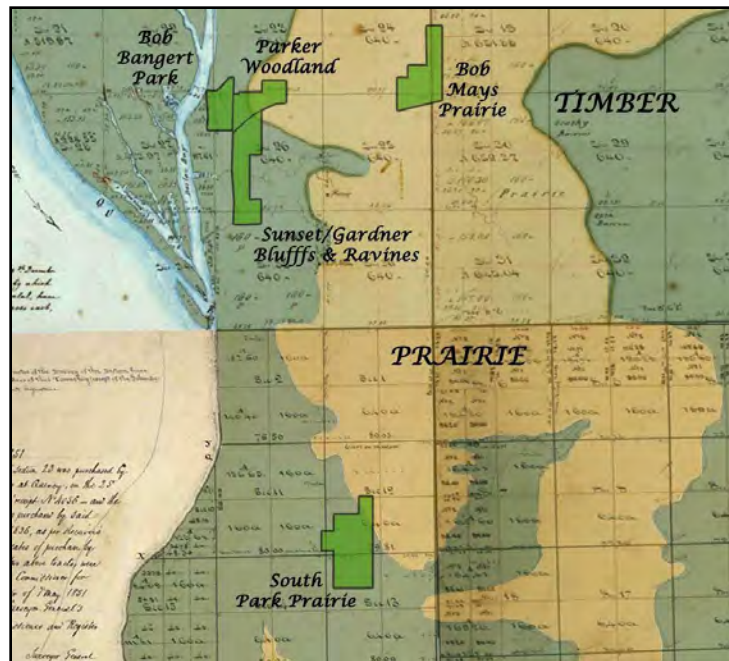


Figure 3. Federal Township Plats of Illinois are records from when the first surveyors came through Illinois. Each park is shown in green, notice that the floodplains are mainly timber while the higher more level plane is prairie.

Quincy Area Historic Vegetation: By referencing the historic “Federal Township Plats of Illinois (1809-

1891)” we gain a better understanding of what the vegetation characteristics of our sites likely would have been at the time that the first surveyors moved through Quincy Township (Figure 3). Stands of timber, streams, marshy areas, cultivated fields, and towns are typically recorded on these maps. Any area not delineated in this manner is considered to be prairie. Presettlement conditions of the Quincy Park District sites were mainly forested, with wet prairies and marshes along the bottomlands left behind from frequent floods. A linear line of prairie set above the river bluff would have been limited by the steep slopes and ridges of deep loess. The prairies would have been dominated by Little Bluestem and Side-Oats Grama, with Purple Prairie Clover and Flowering Spurge among the most frequent forbs. Prairie fires would have

been intentionally set by Native Americans or unintentionally by settler's camp fires that would burn out once the fire reached the wet soils of the river. These frequent, hot fires would have suppressed woody plant growth, establishing a complex prairie ecosystem on the edge of the current QPD location. We also know that while more dense timber stands were recorded by the surveyors, there would have been additional open savanna ecosystems along the edges of these timber stands as evidenced by the remnant old-growth Oaks found throughout the QPD sites.

II. Existing Site(s) Conditions Summary

Analysis of aerial photographs and several site surveys show that most remnant ecosystems have been severely degraded or eliminated from each site. General descriptions of these areas and recommendations for ecosystem restoration follow.

Bob Bangert Park: From historical aeriels and site surveys we can conclude that the park was once a bottomland wetland susceptible to frequent flooding with bottomland woodland along the edge of the river. A small grove of remnant oaks identifies what may have been an Oak Savanna that transitioned the wetland into woodland. The current site conditions consist of recurrent flooding and perpetual soggy turf fields.

Bob Mays Prairie: The prairie is dominated by weedy annual grasses such as Foxtail Millet (*Setaria italica*) and non-native cool season grasses with a small number of native herbaceous plants such as Little Bluestem (*Andropogon scoparius*) and Rattlesnake Master (*Eryngium yuccifolium*). The lack of diversity between grasses and perennials may result from the suppression of controlled burns and the depth and girth of prairie grass root systems that tend to dominate the landscape if not mixed with an equal number of native herbaceous flowering plants. Historically portions of this site would have been wet to mesic prairie within the existing riparian creek corridor, established due to fluctuating water levels and flooding. The remaining areas of the park are currently turf.

Sunset/Gardner Bluffs & Ravines: These two parks are consistent with the characteristics of the Mississippi Border Division, identified by the jagged ravines and limestone bluffs with remnant tree populations such as Black Oak (*Quercus velutina*), Red Oak (*Quercus rubra*), Sugar Maple (*Acer Saccharum*), Sycamore (*Platanus occidentalis*), and Slippery Elm (*Ulmus rubra*). Although a small amount of native canopy trees are present, the sites have become highly degraded by invasive species establishment and garbage dumping. Invasive woody species such as Japanese Honeysuckle (*Lonicera spp*), Riverbank Grape (*Vitis riparia*), and Japanese Hops (*Humulus japonicas*) dominate the woodland understory eliminating any light penetration to the ground floor. Tree of Heaven (*Ailanthus altissima*) and Goldenrain Tree (*Koelreuteria paniculata*), both species native to Asia, may soon become a major problem if not eradicated from the park. Black Locust (*Robinia pseudoacacia*) has become established throughout the sites, displaying its invasive nature. Due to fire suppression, Sugar Maple populations have increased, which has contributed to the decline of the herbaceous ground layer. Throughout the two park sites, expanses of turf and formal landscapes are located in under-utilized areas.

Parker Woodland: From aerial photographs and remnant species observed during our site survey, we can identify that Parker Woodland consisted of woodland vegetation along the cliff face and creek bottomland with prairie on the cliff bluffs and in eastern portions of the park. The prairie would have been dry with

drifts of Oak Savanna confirmed by existing Black Oak (*Quercus velutina*), Red Oak (*Quercus rubra*), and Shingle Oak (*Quercus imbricaria*) scattered along the open planes of the site. The existing native woodland species on site are similar to Sunset/Gardner Park, with the exception of Silver Maple (*Acer saccharinum*), Eastern Cottonwood (*Populus deltoids*), and Slippery Elm (*Ulmus rubra*) dominating the creek bottomland. Parker Woodland is currently just as degraded as Sunset/Gardner with the same amount of invasive woody understory species and a lack of conservative native prairie species; however the density of high quality native woody species is greater within the Parker Woodland. Turf lawn currently covers the understory of Oak trees with random formal landscaping scattered throughout the planes.

South Park Prairie: According to Federal Township Plats, South Park Prairie consisted mainly of prairie and woodland. Fluctuating water levels from the existing creek provide wet to mesic prairie and bottomland woodland populations along the creek corridor. The present state of the woodland is slightly degraded by non-native woody understory species with a turf monoculture in the open areas and remnant Oak Savanna areas.

III. Enhancement and Expansion of Natural Areas

A. *Benefits of Natural Areas:*

Natural Areas, when restored or created correctly, offer solutions to many of the common issues that confront many park districts. Following are some of the many benefits that natural areas provide:

1. **Cost Savings:** Lawn and traditional landscape maintenance typically cost owners between \$3,500 and \$5,000 per acre, per year. However, once established, natural areas stewardship typically costs owners between \$1,000 and \$2,000 per acre, per year...and may even cost less with volunteer assistance.
2. **Erosion Control:** Native plants have extensive root systems that penetrate deep into our soils, some reach in excess of 15 feet deep (in comparison, turf-type grasses average 6-8" root depth). These extensive root systems not only lock soil in its place, but 25-30% of these root systems die each year adding organic matter to the soil profile, in effect building new, rich organic black soil. This root regeneration process also leaves behind root channels that act as natural aeration for the plants themselves, but this also increases porosity of the soil that promotes percolation of stormwater rather than allowing it to run-off as overland flow. Native plants installed around bodies of water are species that have evolved in wet soil conditions over thousands of years and will thrive in that shoreline environment. Turf-type grasses, however, perform extremely poorly in wet soil conditions and often die leaving exposed soil that is easily eroded by wave and ice action.
3. **Water Quality:** The increased water percolation, as mentioned earlier, allows water to be filtered and cooled by plant and soil complexes prior to seeping into our rivers, lakes, and streams from underground. By cutting back storm sewer pipes and directing their flow into a constructed wetland, rain garden, and/or bioswale drainage facility; sediments, nutrients, and other pollutants would be significantly reduced in potency, or removed completely from the water prior to entering the Mississippi.

4. **Carbon Sequestration:** Natural areas take carbon dioxide, a “greenhouse gas”, out of the air and sequester it as carbon based plant material. A forested area can sequester 167 total tons of carbon per acre, whereas a prairie can sequester 150 total tons per acre. Although the amount of overall carbon sequestered by a forested area is higher, only approximately 46% (or 77 tons) of that carbon is sequestered underground. The remaining 54% of the carbon is sequestered in the form of trunk and branches above ground. When a tree dies, bacteria decompose its above ground biomass, re-releasing the above-ground sequestered carbon back into the atmosphere as carbon dioxide. In comparison, approximately 98% (or 147 tons) of the carbon sequestered by prairie systems is stored below ground due to their expansive, deep root systems. This makes prairie systems much more effective and efficient as a carbon sequestration tool. By adding natural areas to landscape, particularly prairie ecosystems, QPD will make dramatic improvements in carbon sequestration and reduce its carbon footprint.
5. **Aesthetics:** Natural areas provide a timeless aesthetic that will never go out of style. Native wildflowers bloom in different colors throughout the year...the white flowers of Penstemon (*Penstemon digitalis*) and the yellow of Golden Alexanders (*Zizia aurea*) in the spring, the bright yellow of sunflower and vivid purples of Liatris (*Liatris speciosa*) through the summer, and the large massing of purple, white and pink Asters (*Aster speciosa*) against the bright yellow of Goldenrod (*Solidago speciosa*) come fall. Winter displays the golden strength of Indian Grass with the wispy stalks of Little Bluestem glowing in purple-bronze against the snow.
6. **Biodiversity & Wildlife Habitat:** Establishing native plants will attract our native insects, such as the Monarch butterfly and the Mosquito-eating Dragonfly. Soft bodied insects, such as caterpillars, provide a palatable food source for the young of our native songbirds. Adult songbirds feast on a variety of hard-bodied insects and native seeds, while utilizing native grasses and wildflower stems for nest building. Large bodied waterfowl, such as the Great Egret or the Blue Heron, may stop for a rest in the constructed wetlands during migration...they may even decide to nest if appropriate habitat is provided.
7. **Goose Control:** Although Canada Geese are not currently a problem at QPD, they may become a problem as other local areas begin to implement goose deterrence programs. The Canada Goose has become a nuisance animal in recent years as they congregate in large numbers, are often obnoxious, can be aggressive toward children and adults, cause erosion by browsing turf grass down to bare soil, and leave unsightly amounts of fecal matter behind to pollute our water bodies. The Canada Goose is a highly instinctual animal, it goes from egg to breeding adult in one year's time and thus does not have much opportunity for learned behavior making them act mostly on instinct and evolutionary response. The Canada Goose is an extraordinarily large bird requiring 20-30 feet in order to get airborne. They instinctively know that a coyote can crouch to about 6" tall and will avoid landscapes where predators may be lurking. In years past we have typically landscaped our park open spaces into prime Canada Goose habitat by installing large expanses of mown lawn, installing rock or turf lined ponds, and by pruning up our trees to eye level...these are landscapes where Geese feel safe since they can easily see predators and other threats approaching, have ample room for take-off, and have easy, un-obstructed access to water. The establishment of native plant species,

even shorter statured species 2-3' in height, quickly deter the large congregations of Canada Geese that are so prevalent in our landscape today.

B. *Ecosystem Restoration and Stewardship:*

There are four basic components to Ecosystem Restoration: site preparation, installation, erosion control and stewardship (See Appendix B for a detailed Ecosystem Restoration Primer). There is no more important a task in Natural Areas restoration than stewardship. Stewardship is to Natural Areas what Landscape Maintenance is to traditional landscape. Without stewardship a natural areas restoration will fail and with *inadequate* stewardship a natural areas restoration will fail. Because of its importance we highly recommend that stewardship be conducted by a professional ecological restoration firm, particularly during the 3-5 year establishment period after restoration efforts. Alternately QPD maintenance staff may be trained and equipped to conduct appropriate stewardship, however during this training period a professional firm should be employed to oversee the stewardship and assist with training. Volunteers can and should be involved in the stewardship process; however we do not recommend a stewardship program that depends upon volunteer efforts. Volunteer involvement in regards to stewardship should be considered an educational or community strengthening exercise that supplements a permanent and structured stewardship program.

The stewardship program must be aggressive, dynamic, and site-driven. Stewardship actions typically consist of mowing, selective herbicide applications, seed collection & supplemental seeding/planting, prescribed fire, and monitoring (See Appendix C for a detailed Ecosystem Stewardship Primer).

C. *Quincy Park District Ecosystems:*

There are four broad plant community types that can be created/restored throughout the QPD sites: prairie, savanna, woodland/floodplain woodlands, and wetland. Below are recommendations for the restoration and stewardship of each type of plant community:

1. Prairie:

i. *Prairie Restoration/Reconstruction:*

- a. In areas of existing turf grass or other vegetation that is to be converted into prairie, apply a non-selective herbicide to the existing turf grass. Allow two weeks for the herbicide to take effect before seeding.
- b. Utilize a Truax native seed drill to install a carefully selected native plant seed mix to create new prairie areas. Plant species should be selected specifically for the site and should be suited to the aesthetic goals of each site. See Appendix F for a list of plant material that Pizzo & Associates, Ltd. recommends for installation in prairie areas.

- c. If the area to be seeded does not allow for operation of a Truax seed drill because of size, obstructions, and/or steepness of slope, the areas should be tilled to a depth of 3-4 inches. Tilling is not the preferred method of installation because it disturbs the soil and exposes the site to excessive weed growth; however in some cases this is the only viable method of seed installation. If soil is disturbed, stabilization with temporary erosion control blanket may be necessary.



Figure 4. Example of a Turf-to-Prairie Project – ComEd Easement at Ball Horticulture Company, West Chicago, IL.

ii. *Prairie Stewardship:*

- a. In areas that have been seeded, plants will need to be maintained at a height of 6”-8” through mowing to reduce competition from weed species. Mowing should be conducted periodically during the growing season for the first two years and can be done mechanically in most areas. Sensitive areas with wetter soils (such as the transition zone between prairie and wetland) will need to be mown by hand at the same time intervals.
- b. Prairie restorations should be monitored carefully for invasive species. When invasive species are encountered, they should be carefully sprayed with herbicide, cut back, or pulled by hand, depending on the species type. Anytime invasive species are removed, native seed and/or plugs should be planted in their place.
- c. When a newly planted prairie has become established (typically after the 2nd-3rd growing season), a prescribed fire program can generally begin. Prescribed fire was a frequent part of pre-settlement prairie ecosystems and served to maintain the integrity of the prairie by stimulating plant growth, preventing brush encroachment, and recycling nutrients. In a prairie restoration, fire will perform these ancient functions, as well as help to manage many invasive species.

2. Savanna:

i. *Savanna Restoration/Reconstruction:*

- a. Woody scrub: Cut and apply a systemic herbicide to the stumps of non-native and invasive shrubs less than 6” in diameter (i.e. Honeysuckle, Buckthorn). Cutting should be done by hand and take place in the fall or winter when the ground is dry and/or frozen to minimize impact on the soil structure.

- b. **Mature Trees:** Selectively thin mature trees to allow light to penetrate the canopy and promote growth of the herbaceous layer. Thinning and removing of trees should also be done during the dormant season to minimize impact on soils and surrounding vegetation. Cut material can be chipped and used for trails if preferred; otherwise it should be removed from each site and disposed of in an appropriate manner.
- c. **Invasive species:** Selectively apply herbicide to invasive species such as Thistles and Brome to control their population and reduce competition with native species.
- d. **Prescribed Fire:** After initial clearing has been completed conduct a prescribed fire within designated site savannas to deter invasive species, open the understory, and kill undesirable shrubs. Prescribed fire should be conducted after clearing has occurred to allow for proper drying and accumulation of fuels.
- e. **Plant Species List:** Inventory the site after the initial prescribed fire and clearing, noting any new species that recover now that light is reaching the ground plain. Species lists are attached in Appendix F that contain recommendations for the savanna areas on each site. Following a prescribed fire, refine the attached seeding lists to enhance plant diversity and density using this data. Supplemental seeding should ideally be done by hand after a burn. Supplemental planting of ephemeral plants can be conducted over a multi-year period to enhance the quality of the savanna understory. Some ephemerals are not available by seed and/or do not grow well from seed, such as Shooting Star, and will have to be added by installing live plants/plugs. Plant inventories can be continued indefinitely if staff/volunteers are available to conduct them regularly. While continued inventories are not necessary for ecosystem health once established and a good comprehensive stewardship program is in place, inventory data can be included in educational materials for classes, as well as provide data for future management and enhancement efforts if required.
- f. **Tree Replacement:** Begin a tree replacement planting program to ensure the next generation of native trees is in place as older trees decline. Tree plantings should focus on restoring the open Oak Savannas that occurred prior to European settlement. See Appendix F for a list of recommended woody species.



Figure 5. Example of a Restored Savanna – John Humphrey Woods, Orland Park, IL.

ii. Savanna Stewardship:

- a. Conduct careful monitoring and herbicide treatment/hand-pulling of invasive species such as Queen Ann's lace, Canada thistle, non-native Brome, Garlic Mustard, and Wild Parsnip should be carried out monthly. In areas of high diversity, herbicide should always be applied carefully with a backpack sprayer or by hand-wicking to prevent overspray. When effective, hand-pull undesirable plants by hand ensuring removal of the root system and all reproductive parts. Anytime invasive species are removed, native seed and/or plugs should be planted in their place.
- b. Conduct cutting and herbicide treatments of re-sprouts from Buckthorn, Honeysuckle, and other invasive woody plants that have re-sprouted from the initial clearing.
- c. Conduct periodic mowing (usually monthly) of newly-seeded areas to 6"-8" for the first two growing seasons. This will give the native seedlings a competitive advantage for sunlight, water, and nutrients as well as eliminate many of the annual/biennial weed species by not allowing them to set seed for reproduction.
- d. Continue the application of prescribed fire to manage weeds and stimulate native plant growth after newly seeded vegetation has become established. *Note: newly seeded areas should be allowed to establish for 2-3 growing seasons prior to prescribed fire application.*

3. Woodlands/Floodplain Woodlands:

i. Floodplain Woodlands Restoration:

- a. Woody scrub: Cut and apply a systemic herbicide to the stumps of non-native and invasive shrubs less than 6" in diameter (i.e. Honeysuckle, Buckthorn). Cutting should be done by hand and take place in the fall or winter when the ground is dry and/or frozen to minimize impact on the soil structure.
- b. Mature Trees: Selectively thin selected mature trees to allow light to penetrate the canopy and promote the growth of the herbaceous layer. Thinning and removing of trees should also be done during the dormant season to minimize impact on soils and surrounding vegetation.
- c. Invasive species: Selectively apply herbicide to invasive species such as Thistles and Brome to control their population and reduce competition with native species.



Figure 6. Example of a Floodplain Woodland – Madison Club, Burr Ridge, IL.

- d. Prescribed Fire: After initial clearing has been completed conduct a prescribed fire to deter invasive species, open the understory, and kill undesirable shrubs. Prescribed fire should be conducted after clearing has occurred to allow for proper drying and accumulation of fuels.
- e. Plant Species List: Inventory the site after the initial prescribed fire and clearing, noting any new species that recover now that light is reaching the ground plain. Species lists are attached in Appendix F that contain recommendations for the drier floodplain woodland areas as well as the floodplain woodland areas that will receive higher moisture levels. Following a prescribed fire, refine the attached seeding lists to enhance plant diversity and density using this data. Supplemental seeding should ideally be done by hand after a burn. Supplemental planting of ephemeral plants can be conducted over a multi-year period to enhance the quality of the savanna understory. Some ephemerals are not available by seed and/or do not grow well from seed, such as Shooting Star, and will have to be added by installing live plants/plugs. Plant inventories can be continued indefinitely if volunteers are available to conduct them regularly. While continued inventories are not necessary for ecosystem health once established and a good comprehensive stewardship program is in place, inventory data can be included in educational materials for classes, as well as provide data for future management and enhancement efforts if required.
- f. Tree Replacement: Begin a tree replacement planting program to ensure the next generation of native trees is in place as older trees decline. Tree plantings should focus on restoring the Oak Savannas and high-quality climax woody floodplain species that were prevalent prior to European settlement. See Appendix F for a list of recommended woody species. This is the perfect opportunity for soliciting memorial trees or other tree donations/gifts.

ii. Woodland/Floodplain Woodlands Stewardship:

- a. Conduct careful monitoring and herbicide treatment/hand-pulling of invasive species such as Queen Ann's lace, Canada thistle, non-native Brome, Garlic Mustard, and Wild Parsnip should be carried out monthly.
- b. Conduct cutting and herbicide treating re-sprouts from Buckthorn, Honeysuckle, and other invasive woody plants that have re-sprouted from the initial clearing.
- c. Conduct periodic mowing (usually monthly) of newly-seeded areas to 6"-8" for the first two growing seasons. This will give the native seedlings a competitive advantage for light.
- d. Floodplain areas should be continually monitored and treated for invasive plant populations. In areas of high diversity, herbicide should always be applied carefully

with a backpack sprayer or by hand-wicking to prevent overspray. When effective, hand-pull undesirable plants by hand ensuring removal of the root system and all reproductive parts.

- e. Manage Cattail and Reed Canary Grass (RCG) populations through careful monitoring for their presence. Brush-cut and apply herbicide to control any populations. Both the native and non-native species of cattails are aggressive competitors for nutrients & space and should not be allowed to set seed or become dominant in restored wetlands. RCG should be managed consistently and never be allowed to reproduce onsite. If necessary, areas with a strong RCG population should be managed aggressively until the RCG has been controlled. Anytime invasive species are removed, native seed and/or plugs should be planted in their place.
- f. Continue the application of prescribed fire to manage weeds and stimulate native plant growth after newly seeded vegetation has become established. *Note: newly seeded areas should be allowed to establish for 2-3 growing seasons prior to prescribed fire application.*

4. **Wetlands:**

i. **Wetland Restoration/Reconstruction:**

- a. Newly constructed wetlands should be designed with long, gracefully sloping shorelines with grades of 5:1 or better. Appropriate slopes will make plant growth possible, and contribute to the sustainability of a proper shoreline profile. A qualified engineer should be consulted concerning the grading and stabilization of wetland shorelines. Permits may be necessary for any proposed grading work along the creek, within the floodplain, and/or within or in close proximity to existing wetlands/detention basins.
- b. Install wetland/shoreline appropriate seed and live plants within existing, constructed, and/or re-graded wetland/ shoreline areas. See Appendix F for recommended species lists. Any areas with bare soil should be seeded with native seed & cover crop, blanketed with an appropriate erosion control mat, and planted with native plugs. Installing plugs in these areas will promote the establishment of vegetation under fluctuating water levels, and will increase the rate at which wetland/ shorelines are re-vegetated.



Figure 7. Example of a Restored Wetland – Danada Woods HOA, Naperville, IL.

- c. Harvested tree trunks and/or brush may be installed in the wetland/emergent zone of restored wetlands. Woody material will help to prevent erosion by breaking up wave action, will improve safety by hindering access to steeper shoreline areas (if necessary), and will provide fish and wildlife habitat.

ii. Wetland Stewardship: Wetlands should be stewarded carefully with particular care taken in the selection and timing of herbicide application to minimize impact on both aquatic wildlife and human recreation.

- a. Wetland/shoreline areas should be continually monitored and treated for invasive plant populations. In areas of high diversity, herbicide should always be applied carefully with a backpack sprayer or by hand-wicking to prevent overspray. When effective, hand-pull undesirable plants by hand ensuring removal of the root system and all reproductive parts.
- b. Manage Cattail and Reed Canary Grass (RCG) populations through careful monitoring for their presence. Brush-cut and apply herbicide to control any populations. Both the native and non-native species of cattails are aggressive competitors for nutrients & space and should not be allowed to set seed or become dominant in restored wetlands. RCG should be managed consistently and never be allowed to reproduce onsite. If necessary, areas with a strong RCG population should be managed aggressively until the RCG has been controlled. Anytime invasive species are removed, native seed and/or plugs should be planted in their place.
- c. In newly re-graded areas, stewardship crews should monitor for erosion while native plants are becoming established. If rills, gullies, or other erosional features appear, the land surface should be repaired by hand, and blanket/seed reapplied if necessary.
- d. Prescribed fire will be conducted in conjunction with the prescribed fire for adjacent prairie and Floodplain Woodland areas.

5. Native Landscapes: In order to create ornamental landscapes that are beautiful, lower-maintenance, and true to the native and sustainable aspirations of the QPD, all landscape plantings should have the following characteristics-

i. Formal Landscapes:

- a. Light requirements should be considered, particularly when planting taller species. Taller species requiring full to part sun may “flop” if not receiving adequate sunlight.
- b. Expected height of planted native species should be considered carefully. Taller plants can be strategically



Figure 8. Example of a Formalized Native Landscape – The Stahr Residence, Ottawa, IL.

placed in landscape areas as accents or backgrounds if desired, but in general, plants selected should retain a low-profile (3' and below). Tall plants can give the planting a “weedy” appearance and provide visual obstructions for vehicular traffic.

- c. Native Landscape plantings should contain species that have a range of bloom times, creating a landscape that will provide colorful blooms from spring through fall.
- d. Species selected for native landscaping should establish well and quickly, but should not be aggressive. Avoiding aggressive species will cut maintenance costs and help to maintain diversity of the planting long-term.



Figure 9. Example of a Grass Monoculture, shown here are the native grasses Prairie Dropseed (*Sporobolus heterolepis*, front) and Indian Grass (*Sorghastrum nutans*, back).

- e. Formal Landscape Areas need to be maintained at a high level, just as traditional landscaping. Flowering species must be dead-headed or cut back after flowering to improve aesthetics, beds must be weeded consistently to maintain a “cared for” appearance, planting beds should be re-mulched as needed to maintain a landscape aesthetic and suppress weeds. ***Native plants DO NOT require supplemental water or fertilizers.*** If water and fertilizers are given to native plants they will grow wildly, flop over and look weedy.

ii. *Natural Landscapes:*

- a. Plant species should be installed in large drifts (groups of a single species). This method of installation will create a landscape that appears to have more structure, and will be perceived as “planned.” Over time, the plantings will diversify if allowed, but can be kept as drifts if maintained at a “landscape” level.
- b. Parking lot islands should be planted with a monoculture of native grasses. Side-Oats Grama and Little Bluestem can be installed by seed within these areas. Once established, these areas could be diversified with a selection of native wildflower plugs. If a more formal appearance is required we recommend the installation of Prairie Dropseed by live native plug. Low-growing shrubs may also be an option, such as Gro-Low Sumac.



Figure 10. Example of a Natural Landscape. Less formal, yet maintains large swaths of color – Private Residence, Berrien County, MI

iii. *Miscellaneous Aesthetic Issues:*

- a. Turf or low grasses are an important component of the formal landscape throughout each site. Space with lower vegetation is needed for recreational opportunities such as picnicking, games, and gatherings, however, these spaces can be managed in an environmentally friendly way. Low growing grasses such as Buffalo Grass (Figure 11) and Side-Oats Grama Grass can be planted as a lawn alternative in well-drained areas. Buffalo grass is a deep-rooted, low-maintenance native turf-type grass that typically grows to a maximum of 8 inches tall. Planting Buffalo Grass within Right-of-Way areas will allow greater visibility at intersections increasing visitors' sense of safety. Buffalo grass can be considered a sustainable and more cost-effective alternative to traditional turf grass requiring significantly less mowing, little-to-no fertilizer, and no watering once established. It is a very fine textured grass similar in aesthetic to turf-type fescues. Buffalo Grass is a warm season grass that excels during the hottest parts of the summer; however it does take a bit longer to green-up in the spring when compared to conventional lawn.



Figure 11. Example of a Buffalo Grass Lawn. Buffalo Grass is a warm-season native turf-type grass that grows to a maximum height of 6-8" and only requires mowing 4-8 times per year. Shown above is a 1.5 acre Buffalo Grass lawn at the Pizzo Residence, Clare, IL.

- b. In areas where traditional Fescues and Bluegrasses are preferred, management can be adapted to have a lower impact on wetlands and the overall environment. For example, phosphorus-free fertilizers should be used at a lower rate to limit chemical runoff into these areas. Excess phosphorus loads in a water body can significantly aid algae growth. Where possible, a native buffer should be provided between lawn areas and water bodies to capture and filter runoff.
- c. Flowering plants are typically broadleaf species, therefore if flowering plants are planted in close proximity to lawn areas, care must be taken when applying "weed and feed" fertilizers to the lawn. Weed and feed fertilizers contain a broadleaf herbicide that will kill the flowering plants within

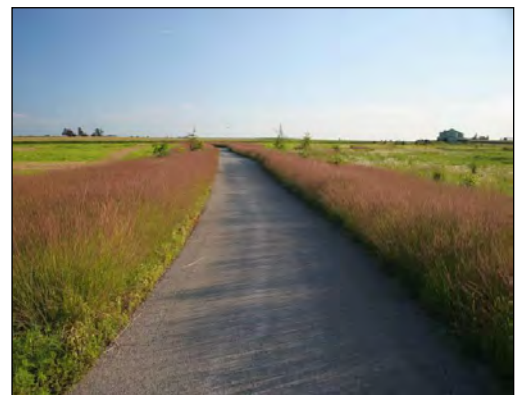


Figure 12. Example of a Side-Oats Buffer. Side Oats is a warm-season native grass that grows to a height of approximately 24" and can be maintained with a broadleaf herbicide. Shown above is a Side Oats buffer along the driveway at the Pizzo Residence, Clare, IL.

Native Landscaping beds if overspray occurs. One way to reduce this risk is to utilize native grasses and/or sedges as an “edge” planting that will buffer the flowering plants from overspray occurrences.

- d. General prairie areas can include species that reach heights of 5 or 6 feet. Some species, such as aster or some goldenrods, tend to become “leggy” at their base...and while their flowers at the top are beautiful, their stems can look unappealing. Some native species also tend to flop, particularly after flowering. If the prairie areas are planted next to a mown lawn area or other low, flat surface such as a sidewalk or parking lot, it can tend to appear weedy or unkempt. We recommend installing a transition planting of low-growing native grasses, such as Little Bluestem, Side-Oats Grama, or Prairie Dropseed between any low, flat ground surface and general prairie areas (Figure 12). This native grass monoculture can be easily maintained with a broadleaf herbicide and grows to a height that will effectively screen the sometimes unattractive lower stems of the general prairie areas. This application acts as a nice, clean edge to the prairie giving it a kept appearance.



Figure 13. Example of a Nicely constructed stone council ring. Council rings can be complex like the one shown here, or they can be as simple as a series of logs organized in a circle. Crow Island Woods, Winnetka, IL.

IV. *Features to Diversify, Expand, and Enhance Usability*

- A. Install a *council ring*. The council ring design originated in the early 1900’s by landscape architect Jens Jensen, a designer and conservationist who worked closely with Frank Lloyd Wright and the Prairie School of design. A Danish immigrant who developed many of Chicago’s parks, gardens, and estates, Jensen’s designs feature local building materials and native plants, working in harmony with nature and the site. “Here there is no social caste,” he once said of the council ring. “All are on the same level, looking each other in the face. A ring speaks of strength and friendship, and is one of the great symbols of mankind.” Council rings are usually constructed at a woodland edge with a view to a meadow or lake. Drawing from both Nordic and Native American traditions, council rings serve as a meeting place for conversation, song, dance, storytelling, poetry, and campfires, linking humanity and nature. A council ring at QPD can be utilized as an outdoor classroom for park district classes and public social events.
- B. Create a *network of nature trails* (mowed paths) through restored natural areas. These paths will join the main paved path/gravel trail and provide a place for users to experience the prairie at a closer level. Also, these paths will increase the walkable space available throughout each site and encourage public activity.

- C. *Install additional seating/bench areas* within the natural areas and adjacent to established paths. Benches serve as a place for path users to rest and promote the enjoyment of viewing wildlife and the QPD's native plant communities. Benches and/or seating areas can also be installed in conjunction with observation piers (mentioned below) to improve the public observation experience.
- D. *Install observation piers/overhangs* within designated wetland/bluff/ravine areas to provide the public with designated, safe observation areas. Piers will prevent competition for space between wetland users and path users, and make it easier and safer to conduct educational activities. Observation piers can be a simple installation of large flat Limestone slabs, wooden boardwalk, or deck structure. Boardwalk observation access could be floating, such as those manufactured by EZ-Dock, to allow adjustment to fluctuating water levels. An advantage to the dock style system is that they can be designed as ADA accessible.
- E. *Expand and improve wildlife habitat* to increase the opportunity for bird/nature watching and educational programs as well as provide a more diverse landscape for public enjoyment. This will be achieved through the natural areas reconstruction projects described above, including the addition of dead woody plant material to the shoreline/water column of the wetland(s). Additionally, the installation of nesting boxes may entice native songbirds to take residence on parks. This would add another volunteer opportunity as nesting boxes must be monitored and maintained to be effective.
- F. *Improve water quality* by reducing nutrient loading and reducing sedimentation. Reduce nutrient loading by identifying direct nutrient inputs, such as storm sewer inlets, and redirecting those inputs through open and vegetated drainage systems such as bioswales, rain gardens, and constructed wetlands prior to entering streams, rivers, or detention basins. Redirecting inputs will also aid in reducing sedimentation, however other treatments should be considered such as eliminating erosion through native vegetation establishment.
- G. *Make and install "Seedballs"* to enhance and diversify the natural areas. Seedballs are an adaptation of a Japanese natural farming method that have been used successfully as a supplemental seeding method on shorelines and in wetlands. This is an ideal opportunity to involve volunteer groups, particularly children's groups. Seedballs are a mixture of native seed, compost, and powdered red clay. The dry components are mixed together and water is added to create a mud-like mixture. The wet mixture is rolled into $\frac{3}{4}$ " to 1" diameter balls and laid on a tarp to dry over night. Collect the Seedballs in 5-gallon buckets and organize the group to meet on-site and distribute the Seedballs by throwing them into the wetland and along the shorelines. It is inexpensive, effective, messy fun!



Figure 14. Example of a interpretive sign. Chicago Flower and Garden Show, Chicago, IL.

- H. *Install interpretive signage* in several locations throughout each site that provide concise information including, but not limited to, the history, natural features, ecology, and natural areas restoration and creation projects throughout QPD. Interpretive signage may also address the development and growth of the prairie areas, as well as the necessity for stewardship practices such as mowing, herbicide application, and prescribed fire.
- I. *Eco-art*: Enormous opportunity exists to tie environmental education to the parkland experience through artwork. Projects like stenciling outlines of local birds, reptiles, insects, and mammals on pathways (an “Eco-Mural”), nature-related sculpture, wood and rock carvings, and temporary structures reflecting the time of year (ephemeral artwork) all help bring in a wider array of visitors and increase the knowledge and appreciation of the natural environment.

V. Implementation and Prioritization of the Natural Areas Master Plan

Implementation of the Natural Areas Master Plan phases should be prioritized as they relate to feasibility of cost, visual impact, ecological impact and integration within the QPD community. Following is a summarized list of plan programs with associated probable costs that has been prioritized by Pizzo based on the above determining factors:

- | | | |
|----|----------------------------------|--------------------------|
| 1. | Sunset/Gardner/Riverview: | (\$750,000– \$1,125,000) |
| 2. | Bob Mays Prairie: | (\$14,000- \$32,000) |
| 3. | Bob Bangert Park: | (\$161,000- \$710,500) |
| 4. | Parker Woodland: | (\$260,000– \$462,000) |
| 5. | South Park Prairie: | (\$32,900- \$100,000) |

Stewardship

Actual stewardship costs will be determined by the number and overall size of project sites being stewarded at one time. Following is a summarized list of associated probable costs for stewardship for varying project site sizes recommended by Pizzo.

- | | | |
|----|--|----------------------------------|
| 1. | Stewardship 0-1 Acres (Without Prescribed Fire): | \$5,000 per year |
| 2. | Stewardship 2-5 Acres (Without Prescribed Fire): | \$7,500 per year |
| 3. | Stewardship 6-10 Acres (Without Prescribed Fire): | \$12,000 per year |
| 4. | Stewardship 10+ Acres: | Add \$1,000 per Acre |
| 5. | Prescribed Fire base price: | \$4,000 -\$10,000 per occurrence |
- Price per year for the establishment period of year 3 to 5. Stewardship costs will typically decrease over time.

The Natural Areas Restoration opinion of probable costs provided here is based on all work being contracted by a professional ecological restoration firm. The probable costs are based on current economic factors (2010) and do not include any estimated increases regarding labor, fuel, and/or material costs. Because these plans are so preliminary a cost range has been provided for each phase. The low end of the pricing reflects minimal actions to implement the proposed activities and does not include items that will most likely add to the success and desired aesthetic of the restoration areas, i.e. the lower cost may include a less diverse seed mix, would not include planting live plants, and may exclude erosion control materials. The high end of the costing reflects the inclusion of items that will

add to the success and desired aesthetic of the restoration areas including highly diverse seed mixes, many live plants, and erosion control materials throughout. The final plan for each of these phases will likely be somewhere in the middle and may also be influenced by QPD staff and volunteer inputs.

○ Sunset/ Gardner/ Riverview: \$750,000- \$1,125,000

First priority throughout these parks should be to begin converting large open turf grass areas to prairie/savanna. By doing so, the District will reduce maintenance efforts/costs and allow those efforts to be transferred to the restoration of the more heavily wooded ravines and bluffs. The ravines and bluffs are, for the most part, severely degraded and will take quite a bit of effort to restore. The most pressing issue within the ravines is the erosion taking place on the slopes and within the valleys. Restoration of the prairie, woodland, and savanna areas includes a prescribed burn, brush and tree clearing, herbicide application, seeding, minor site grading, and mobilization. Higher priced opinion includes the installation of live plugs, higher density seed mix, hydromulching, and erosion blanket. The highest end of this cost includes formal landscaping comprised of native trees, shrubs, and live plugs along with mulch and goose exclosure proposed along park buildings and walkways.



○ Bob Mays Prairie: \$14,000- \$32,000

The current prairie restoration attempt has failed, however this should be a fairly easy and straight forward re-seeding, similar to turf-to-prairie restoration as described earlier in this document.

Restoration of the prairie includes, herbicide application, seeding, site preparation, and mobilization. Higher priced opinion includes the installation of live plugs and a higher density seed mix.

Alternate Prairie: \$300,00-\$475,000: Alternate prairie and woodland restoration for the remainder of Bob Mays Prairie is outlined in blue. Restoration includes brush and tree clearing, herbicide application, seeding, site preparation, and mobilization. Higher priced opinion includes the installation of live plugs and a higher density seed mix.



○ Bob Bangert Park: \$161,000– \$710,500

This site offers ample opportunities for ecological restoration and for the expansion of Park District services. In our opinion, it also has the greatest chance out of all the QPD sites of receiving funding for implementation through federal, state and/or non-profit grant programs. There are opportunities to restore wetland, prairie, and savanna/woodland areas at this site, which makes it an ideal location for a nature center, either formal or informal. A formal nature center may include an education building and programmed event, where an informal nature center may consist of a council ring, trails/boardwalk, and interpretive signage. Restoration of the wetland, wooded floodplain, and dry prairie areas includes brush and tree clearing, herbicide application, seeding, site preparation, and mobilization. Higher priced opinion includes the installation of live plugs and goose enclosure. The highest end of this cost includes the construction of an Agri Drain Inline Water Level Control Structure to control on-site water fluctuation.



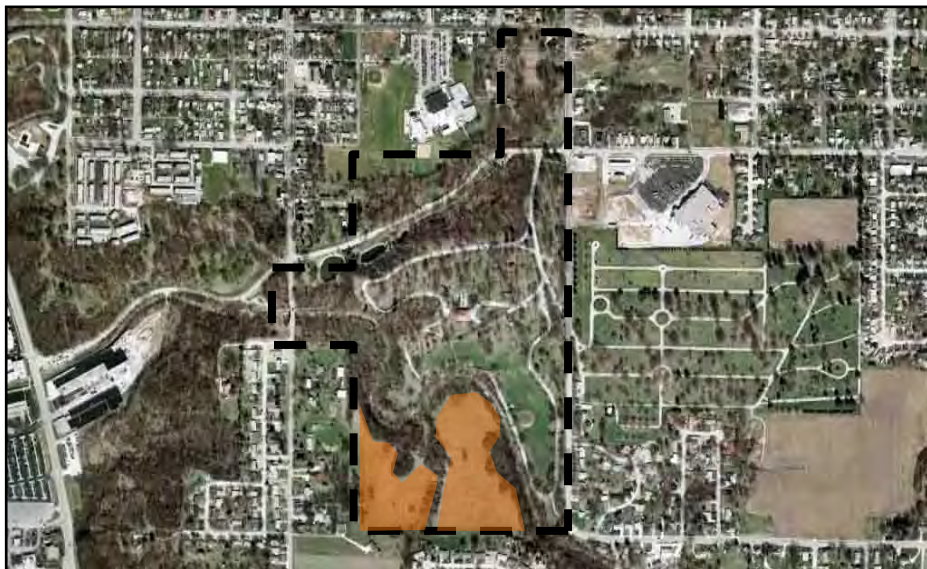
○ *Parker Woodland: \$260,000- \$462,000*

This site is the most ecologically diverse and is the healthiest of all the QPD natural areas. Great opportunities exist along the main park drive to open up awe inspiring views of the stream and its associated limestone bluffs (1+3), this should be the first priority of restoration. Restoration of the woodland and savanna areas includes brush and tree clearing, herbicide application, seeding, site preparation, and mobilization. Higher priced opinion includes the installation of live plugs and a higher density of seed mix.



○ *South Park Prairie: \$32,900- \$100,000*

This site is currently turf-type grasses and should be a fairly easy and straight forward turf-to-prairie restoration as described earlier in this document. Restoration of the prairie includes herbicide application, seeding, site preparation, and mobilization. Higher priced opinion includes the installation of live plugs and a higher density seed mix.



APPENDIX A

Glossary of Selected Terms as Utilized in this Report

Aesthetics: pleasing in appearance or pleasing to the senses.

Bio-Diversity: species richness, biota in terms of taxonomic and genetic diversity, the variety of life forms present and the community structure thereby created, and ecological roles performed.

Cool Season Species: cool season species start their growth early in the spring and continue growth for as long as rains and cool temperatures prevail. They go dormant during hot, dry months of summer and start growth again in the cool months of fall if moisture is adequate. Most cool season species turn brown during extremely hot and dry conditions. Most native cool season species can withstand this dormancy, but many introduced species may die under these conditions. Cool-season grass foliage grows between 40° and 90°F with maximum growth occurring at 60 to 70°F. Roots grow at temperatures between 33 and 77°F.

Invasive Species: an undesirable species of plant, often non-native, that competes with desirable, native plants for light, space, and nutrients. An invasive species, left untreated, will destroy the integrity of an ecosystem and will often become the only plant growing in a particular landscape.

Monitoring: the collection of information over time, generally on a sample basis by measuring change in an indicator or variable, to determine the effects of resource management treatments in the long term.

Native Plant: 1) an indigenous species that is normally found as part of a particular ecosystem. 2) a species that was present in a defined area prior to European settlement.

Natural Area: a physical and biological area in nearly natural condition that exemplifies an ecological community and its associated vegetation and other biotic, soil, geologic and aquatic features. A natural area is maintained in a natural condition by allowing physical and biological processes to operate, usually without direct human intervention. However today's urban and frequently visited natural areas require stewardship actions to control invasive species, maintain biodiversity, and maintain desirable aesthetics.

Natural Disturbance: disturbance regimes that shape a natural community's structure and composition, including windstorm, ice storms, tornadoes, drought, fire, flood, elk/bison grazing, herbivory, insect and disease outbreaks. Management practices are often undertaken to emulate or mimic to some degree natural disturbances.

Plant Community: a group of plants that need a particular set of environmental conditions (i.e. light, soil type, moisture) in order to thrive.

Plugs: live plants grown in groups of small, soil-filled pots (a.k.a. "flats") for transplanting into the ground. Typical native plant plugs for restoration efforts come in flats of 32 or 38 pots, and the individual pots measure about 5 inches deep by 2 inches in diameter.

Prescribed Fire: to deliberately burn wildland fuels in either their natural or their modified state and under specified environmental conditions, which allows the fire to be confined to a predetermined area and produces the fireline intensity and rate of spread required to attain planned resource management objectives.

Restoration: 1) ecology: the process of returning ecosystems or habitats to their original structure and species composition. 2) recreation: the removal of non-historical elements from a structure and the replacing of any missing elements. 3) *the process of assisting the recovery of an ecosystem that has been degraded, damaged or destroyed.*

Stewardship: the ongoing care given to a natural area. Stewardship is to natural areas what maintenance is to traditional landscaping. Stewardship is a dynamic process that responds to actual site conditions; it is not typically a static process like landscape maintenance (i.e. weekly mowing, quarterly fertilization, etc.) Stewardship utilizes herbicide application, prescribed fire, mowing, and hand-weed removal to promote the growth of native plants and deter the growth of invasive and non-native species.

Systemic Herbicide: a chemical that, when applied to living plant tissue, will harm or kill the entire plant. A systemic herbicide is the opposite of a “contact herbicide” which only harms or kills the part of the plant to which it is applied.

Warm Season Species: warm season species break dormancy in mid-spring and make their growth during the hot summer months. Because of their extensive root system, these plants are conservers of water and nutrients. Because of their low water requirement, warm season species are very drought tolerant, which keeps them green and growing even during dry conditions. warm season species go dormant in the fall after a freeze, but provide a display of fall colors that make them valuable additions to any landscape. Warm season species foliage grows between 70 and 120°F with the best growth occurring between 80 to 95°F. Roots grow at temperatures between 64 and 110°F.

Woody Scrub: undesirable woody plants, often shrubs or tree saplings that can form a dense thicket if left unchecked. Woody scrub often grows quickly and produces sufficient shade to kill wildflowers and other native grasses, so its removal is a key part of restoration and stewardship.

APPENDIX B:

Ecosystem Restoration Primer

There are three basic components to Ecosystem Restoration: Site preparation, installation, and erosion control if necessary.

1. **Site Preparation:** Site preparation begins with the removal of undesirable woody and/or herbaceous plant materials. Brush and trees may be removed by hand or with mechanized equipment. To minimize impact on soil structure, remnant integrity, and restoration potential, *clearing and brush cutting should be performed when soils are dry and/or frozen*. General vehicle traffic in natural areas should be restricted as much as possible. Hand removal typically involves the use of chainsaws, hand saws, and loppers. Mechanized removal typically involves the use of large wheeled or tracked vehicles equipped with large mowing or grinding implements. All cut stumps should be treated with an appropriate herbicide by a certified herbicide applicator immediately following cutting, making sure that the herbicide is applied to the cambium layer of the woody plant. Herbaceous plant material, such as turf grass, should be treated with an appropriate herbicide by a certified herbicide applicator.



Figure 15 The Truax native seed drill, shown above, has three separate seed compartments; One for fluffy seed, one for small seed, and one for large seed.

Herbicides used for invasive species control should be appropriate for site conditions and have a low environmental impact.

In upland areas we recommend that glyphosate be used to control brome and other upland invasives such as wild parsnip. In lowlands and wetland areas, we recommend that an aquatic-approved glyphosate product be used to minimize impact. For woody vegetation, a triclopyr herbicide is effective. Herbicides should never be mixed inside a natural area, rather they should be mixed offsite or over a protective ground cover onsite and an appropriate dye should be added to enable tracking of application. Some species, such as Brome or Reed Canary Grass, may require two herbicide applications. For best results utilize the "Brown and Burn" method of removal, this is where an initial application of herbicide is applied and the area is burned using prescribed fire. Typically one to two weeks after the prescribed fire any re-sprouting will have occurred and a second application of herbicide can be applied at this time. Do not till seeding areas unless they are inaccessible by tractor. Tilling exposes a seed bank of weed seeds and increases the risk of soil erosion. In areas that require tilling or re-grading, till to a depth of 6" and rake smooth. Remove any large stones, roots, branches, or clods.

2. **Installation:** The installation of native plant species can occur through the planting of either seed and/or plugs.
 - i. **Seeding** is the main approach to restoration because it is economical, however it will take three to five years before good establishment is achieved. Whenever possible native seed

should be installed with a no-till drill seeder that is designed to plant native seed, such as the Truax brand (Figure 19). The main feature of these drills that make them unique is the seed delivery system. There are three separate seed boxes on a Truax, one for small seed, one for large seed, and one for fluffy seed. In a regular drill seeder designed for turf seed there is only one seed box, if you were to put all three types of native seed together in one box they would become separated as the drill gets bounced around during installation with the fluffy seed coming to the top, the small seed settling at the bottom, and the large seed somewhere in between...this would result in a patchy distribution of seed. To be able to utilize the Truax as designed, seed needs to be ordered and delivered as individual species so that it can be separated and mixed appropriately, do not order native seed that arrives pre-mixed. Success in natural areas restoration will also be dependent upon the native plant's ability to out-compete weedy/invasive species for sunlight, nutrients, and water. This means that the more native seed we put down, the better the results are going to be. We highly recommend native seed rates at approximately 20 lbs per acre or more; however mixes should be customized to maximize the number of seeds per square foot (Goal of 110 seeds/SF) based on the needs of each individual site. We also highly recommend the installation of an EndoMychorizal inoculant at 40 lbs/acre and a cover crop of Seed Oats (*Avena sativa*) at

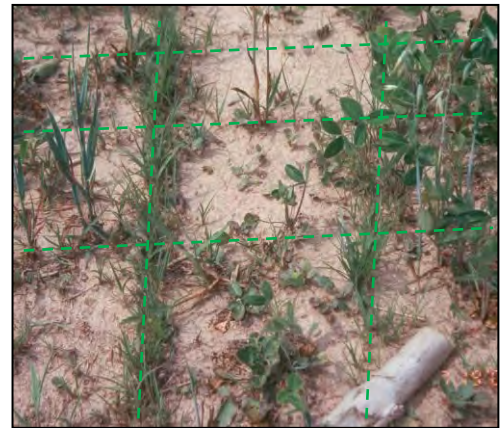


Figure 16. Rows of cover crop with native seedlings that were planted with a Truax native seed drill. Notice that the area was seeded pulling the drill in perpendicular directions for better seed coverage.

60 lbs/acre with the native seed. A cover crop will reduce the potential for erosion and will mark the planted rows for easier monitoring in the first year(s) of restoration (Figure 20). The inoculant provides a fungus that develops a symbiotic relationship with the native plant. This fungus attaches itself to the roots of the plant, the fungus collects nutrients from the soil and passes them on to the plant and in exchange the plant gives the fungus sugar. This plant to fungus relationship dramatically increases root production and foliage growth in the young native seedlings. If the sites is not accessible by tractor it will have to be tilled or scarified and seeded by hand. Seeding in sensitive areas, such as savannas and wetlands, should be done by hand to minimize the impact on soil and root structure. When seeding by hand, mix the seed with an inert material such as damp sand or wood shavings at a 2:1 (inert material:seed) ratio. With either method of seeding, it is imperative to achieve good seed to soil contact while maintaining a seeding depth of no greater than 1/4" for proper germination. Native seed must not be buried too deep. Seeding times are typically April – June for spring installations and October – Frost for fall, or dormant installations.

- ii. **Plugs** are live native plants already growing, typically in 2" pots. They develop and mature rather quickly, however they are expensive and should be reserved for specialized restoration situations. Situations that may warrant the installation of plugs include, but are

not limited to in saturated soil or submerged soil situations where seeding is difficult or impossible, to establish species that have difficulty germinating from seed (such as Shooting Star or Prairie Drop Seed), or in a landscape situation where control over plant location is desired. Plugs can also be useful in diversifying established natural areas. The most efficient way to plant plugs is to utilize a power auger with a 2" auger bit, such as the one manufactured by Sthil. The auger can be used to plant plugs through erosion blanket if done with care, however utilizing the sharp end of a pick axe to puncture the blanket and create a planting cavity is typically more effective. The most inefficient way to plant plugs is by using hand tools, such as planting trowels or shovels, however hand tools are fairly inexpensive and can be easily and safely used by volunteer groups. Herbivory should be kept in mind when planting plugs, particularly when planting them in close proximity to water. Plug plantings are often decimated by Geese, Muskrats, or by grass-eating Carp. An enclosure netting consisting of 2" x 2" wooden stakes, chicken wire or green plastic snow fencing, zip ties, and nylon string can be erected to effectively keep Geese away from newly planted areas. Goose enclosures are temporary structures and are typically only necessary throughout the first growing season and can be taken down once the plants become established. These structures are not effective at keeping fish or Muskrats away from newly planted areas however, and additional actions must be taken to eliminate damage from these species such as trapping for Muskrats and fish-kills for Carp. Muskrats need only be trapped and removed from each site until the plants become thoroughly established, typically once the plants become established minimal damage is done through browsing. If populations become high and plant populations are being severely damaged, trapping should be reinstated.

3. **Erosion Control:** Temporary erosion control structures should be installed over any areas with exposed soils. Typically the two types of erosion control utilized in the restoration industry are erosion control blankets and coir fiber logs. Coir fiber logs are dense logs constructed of coconut fiber and are installed along shorelines to buffer wave action. These products are temporary structures degrading over a 36 month period and are typically utilized in stream restoration projects where the water is consistently moving. Coir logs are very expensive and are typically not necessary for shoreline restorations conducted on ponds and lakes. Erosion control blankets are recommended anytime planting is being conducted on bare soil. Blankets utilized in restoration should be temporary biodegradable products and are typically made of straw, coconut fiber, or a combination thereof. Permanent "Turf Reinforcement Mats" should not be used; these products leave permanent thick plastic netting on the soil that will make supplemental seeding/planting efforts difficult if needed at a future date. After soil preparation install the native seed, install an appropriate erosion control blanket according to the manufacturer, and finally install plugs through the blanket, if necessary, ensuring not to damage the blanket.

APPENDIX C:

Ecosystem Stewardship Primer

There is no more important a task in Natural Areas restoration than stewardship. Stewardship is to Natural Areas what Landscape Maintenance is to traditional landscape. Without stewardship a natural areas restoration will fail and with *inadequate* stewardship a natural areas restoration will fail. Because of its importance we highly recommend that stewardship be conducted by a professional ecological restoration firm, particularly during the 3-5 year establishment period after restoration efforts. Alternately QPD staff may be trained and equipped to conduct appropriate stewardship, however during this training period a professional firm should be employed to oversee the stewardship and assist with training. Volunteers can and should be involved in the stewardship process; however we do not recommend a stewardship program that depends upon volunteer efforts. Volunteerism in regards to stewardship should be considered an educational or community strengthening exercise that supplements a permanent and structured stewardship program. The stewardship program must be aggressive, dynamic, and site-driven. Stewardship actions typically consist of mowing, selective herbicide applications, seed collection & supplemental seeding/planting, prescribed fire, and monitoring. Jack Pizzo's favorite quote regarding stewardship is "It's not about making native plants grow, it's about making non-native plants not grow". The basic premise is that our native plants evolved here, they are meant to be here and they will grow just fine if we give them the opportunity. Because our native plants evolved here they are genetically encoded to survive drought, fire, and extreme cold. One of the ways they manage to survive under these conditions is by developing that deep, extensive root system that we associate with our native plant species. A young high-quality native seedling expends much of its energy developing their root system throughout the first 2-3 growing seasons. This native seedling may only be 3-6" above ground, but may already have a 12-24" deep root system (Figure 21). Alternately, weedy species such as Giant Ragweed can grow 9 foot high in a single season. Obviously if we don't keep the Ragweed cut to a 6" height throughout the growing season our native seedlings won't stand much of a chance for survival.

1. **Mowing:** Mowing is typically conducted by tractor with a large mowing implement keeping the vegetation cut to a height of 6-8" throughout the first growing season and a height of 10-12" throughout the second growing season. During the first two years of restoration the main reason for mowing is to allow sufficient light to the small native seedlings. If a site is inaccessible by mower it can be mown by hand with push mowers and/or brush cutters.



Figure 17. Shown here is a first-year seedling of the native wildflower Tall Coreopsis (*Coreopsis tripteris*). Notice that while the above ground part of the plant is approximately 4 inches tall, the root system is already nearing 8 inches in length.

Invasive and weedy species should not be allowed to reproduce on any site at any time, mowing and/or hand pulling these plants before they are able to set seed is an efficient method of removal. Hand pulling is an activity that can be conducted easily and safely by volunteer groups. By not allowing these species to set seed, annual and biennial species can be effectively eradicated from a site in 2-3 years time. The spread of perennial species can be slowed and somewhat controlled by this method in most cases, however herbicide application is the only way to eradicate perennial plants. Some invasive species, such as Canada Thistle, spread by underground rhizomes (roots) and will continue to colonize even if not allowed to set seed. Mowing also includes cutting and treating woody plant material as explained in the Site Preparation section.

2. **Selective Herbicide Application:** When applied in accordance to the manufacturer's recommendations by a certified herbicide applicator who has been trained in plant identification, herbicide has proven to be a safe and extremely effective tool for natural areas stewardship. Herbicides come in either selective or non-selective products. Selective herbicides only affect certain types of plants, i.e. only broadleaf plants, only grasses, etc. Non-selective herbicides affect any plant that it is applied to, regardless of type. The standard application method of both types of herbicide for stewardship is by backpack sprayer. An even more selective method of application is hand-wicking, a process where the applicator wears a rubber glove under a cotton exterior glove onto which herbicide is applied. The applicator then applies the herbicide to individual plants by grasping them with a saturated glove. This is an extremely effective application method for Cattails. A colored dye should be added to any herbicide that is to be applied within a natural area. This allows the applicator to see where they have applied the herbicide so they do not over apply. It also allows the owner to see where the herbicides have been applied, including any overspray.
3. **Seed Collection & Supplemental Seeding/Planting:** Supplemental seeding or planting may be necessary in areas where the original restoration seeding did not perform, to improve plant diversity, to replace plants killed by herbicide application, or after a natural disturbance such as flooding. Anytime there is a void created it should be filled with native species, if we don't fill the void Mother Nature will... with weedy species that take advantage of disturbances, such as Giant Ragweed. Once a natural area becomes established seed collection should become a regular part of stewardship. Native seed should be collected at appropriate times (May/June for Sedges, Fall for most other species). Disperse collected seed over the site after the prescribed fire is conducted and/or utilize it to fill any voids. Seed collection and dispersal is an activity that can be conducted easily and safely by volunteer groups.
4. **Prescribed Fire:** Fire was a frequent part of pre-settlement native ecosystems and served to maintain the integrity of our natural areas by stimulating plant growth, preventing brush encroachment, and recycling nutrients. In ecosystem restoration, prescribed fire will perform these ancient functions while helping to manage many invasive species. Newly seeded areas should be allowed to establish for 2-3 growing seasons prior to prescribed fire application. Prescribed fires are typically conducted between the months of November and April, however the fire should be planned to minimize impact on nesting birds and migratory wildlife. We recommend that when areas become burnable that the entire area be burned annually for 5-7 years to aid in plant establishment. Once the area is well established an alternating burn

schedule can be implemented in order to maintain un-burned areas for wildlife refuge. Prescribed fire should be conducted by highly trained personnel with appropriate permits and following an approved burn plan. We recommend that all personnel on the burn line be certified through the National Wildfire Coordinating Group's (NWCG) S130/S190 training. The burn boss should have additional training in ignitions and fire behavior as well as extensive prior burn experience. Volunteers can be utilized on the burn line if they have the proper training and equipment, including Personal Protective Equipment; otherwise volunteers should always be welcome as smoke monitors, as smoke must be managed carefully to avoid visibility issues with nearby roadways and/or structures.

5. **Monitoring:** Natural areas monitoring is a very helpful tool in tracking the progress of a restoration or the health of an established natural area. Based on the data gathered an annual report can be formulated to inform the QPD on current conditions, potential problems, and recommendations for improvement. Monitoring and reporting are prime activities for public involvement.

Appendix D:***Floristic Quality Assessment of Quincy Park District******Sunset Park***

Locale: Quincy IL
 By: Evan Barker
 File: c:\FQA with Update\studies\SunsetparkOct14.inv
 Notes: Golden Rain-Tree (Koelreuteria paniculata) entered as PRUPAD
 as it is not in our database.

FLORISTIC QUALITY DATA

23 NATIVE SPECIES
 47 Total Species
 3 NATIVE MEAN C
 1.5 W/Adventives
 14.6 NATIVE
 FQI
 10.2 W/Adventives
 1 NATIVE MEAN W
 2.1 W/Adventives
 AVG: Faculative (-)

<u>ACRONYM</u>	<u>C</u>	<u>SCIENTIFIC NAME</u>	<u>W</u>	<u>COMMON NAME</u>
ACENEG	0	Acer negundo	-2	BOX ELDER
ACEPLA	0	ACER PLATANOIDES	5	NORWAY MAPLE
ACESAI	0	Acer saccharinum	-3	SILVER MAPLE
ACESAU	3	Acer saccharum	3	SUGAR MAPLE
AILALT	0	AILANTHUS ALTISSIMA	5	TREE OF HEAVEN
ALLVIN	0	ALLIUM VINEALE	3	FIELD GARLIC
ARCLAP	0	ARCTIUM LAPPA	5	GREAT BURDOCK
CATSPE	0	CATALPA SPECIOSA	3	HARDY CATALPA
CELOCC	3	Celtis occidentalis	1	HACKBERRY
CHEALB	0	CHENOPODIUM ALBUM	1	LAMB'S QUARTERS
COMCOM	0	COMMELINA COMMUNIS	0	COMMON DAY FLOWER
DACGLO	0	DACTYLIS GLOMERATA	3	ORCHARD GRASS
ELYSAN	4	Elymus canadensis	1	CANADA WILD RYE
ELYVIR	4	Elymus virginicus	-2	VIRGINIA WILD RYE
EUOFOR	0	EUONYMUS FORTUNEI	5	WINTERCREEPER
EUPRUG	4	Eupatorium rugosum	5	WHITE SNAKEROOT
FRAPEP	5	Fraxinus pennsylvanica	-3	RED ASH
FRAPES	1	Fraxinus pennsylvanica subintegerrima	0	GREEN ASH
GLEHED	0	GLECHOMA HEDERACEA	3	CREEPING CHARLIE
GLETRI	2	Gleditsia triacanthos	0	HONEY LOCUST
HEMFUL	0	HEMEROCALLIS FULVA	5	ORANGE DAY LILY
HUMJAP	0	HUMULUS JAPONICUS	3	JAPANESE HOP
LIQSTY	0	LIQUIDAMBAR STYRACIFLUA	5	SWEET GUM
LONJAP	0	LONICERA JAPONICA	3	JAPANESE HONEYSUCKLE
MORALB	0	MORUS ALBA	0	WHITE MULBERRY
OXASTR	0	Oxalis stricta	5	COMMON WOOD SORREL
PASSAT	0	PASTINACA SATIVA	5	WILD PARSNIP
PHYAME	1	Phytolacca americana	1	POKEWEED
PLAOCC	9	Platanus occidentalis	-3	SYCAMORE
POAPRA	0	POA PRATENSIS	1	KENTUCKY BLUE GRASS

POLCON	0	POLYGONUM CONVOLVULUS	1	BLACK BINDWEED
POPDEL	2	Populus deltoides	-1	EASTERN COTTONWOOD
PRUPAD	0	PRUNUS PADUS	5	EUROPEAN BIRD CHERRY
PTEAQL	5	Pteridium aquilinum latiusculum	3	BRACKEN FERN
QUERUB	7	Quercus rubra	3	RED OAK
QUEVEL	6	Quercus velutina	5	BLACK OAK
RHACAT	0	RHAMNUS CATHARTICA	3	COMMON BUCKTHORN
RHUGLA	1	Rhus glabra	5	SMOOTH SUMAC
ROBPSE	0	ROBINIA PSEUDOACACIA	4	BLACK LOCUST
RUMCRI	0	RUMEX CRISPUS	-1	CURLY DOCK
SAMCAN	1	Sambucus canadensis	-2	ELDERBERRY
SETITA	0	SETARIA ITALICA	3	FOXTAIL MILLET
SMILAS	5	Smilax lasioneura	5	COMMON CARRION FLOWER
SOLCAN	1	Solidago canadensis	3	CANADA GOLDENROD
ULMPUM	0	ULMUS PUMILA	5	SIBERIAN ELM
ULMRUB	4	Ulmus rubra	0	SLIPPERY ELM
VITRIP	2	Vitis riparia	-2	RIVERBANK GRAPE

Gardner Park

Site: Sunset
Park
Locale: Quincy IL
By: Evan
Barker
File: c:\FQA with Update\studies\GardnerParkOct14th2010.inv

FLORISTIC QUALITY DATA

23 NATIVE SPECIES
46 Total Species
3 NATIVE MEAN C
1.5 W/Adventives
14.6 NATIVE FQI
10.3 W/Adventives
1.1 NATIVE MEAN W
2 W/Adventives
AVG: Faculative (-)

<u>ACRONYM</u>	<u>C</u>	<u>SCIENTIFIC NAME</u>	<u>W</u>	<u>COMMON NAME</u>
ACENEG	0	Acer negundo	-2	BOX ELDER
ACEPLA	0	ACER PLATANOIDES	5	NORWAY MAPLE
ACESAI	0	Acer saccharinum	-3	SILVER MAPLE
ACESAU	3	Acer saccharum	3	SUGAR MAPLE
AILALT	0	AILANTHUS ALTISSIMA	5	TREE OF HEAVEN
ALLPET	0	ALLIARIA PETIOLATA	0	GARLIC MUSTARD
ALLVIN	0	ALLIUM VINEALE	3	FIELD GARLIC
ARCLAP	0	ARCTIUM LAPPA	5	GREAT BURDOCK
CATSPE	0	CATALPA SPECIOSA	3	HARDY CATALPA
CELOCC	3	Celtis occidentalis	1	HACKBERRY
CHEALB	0	CHENOPODIUM ALBUM	1	LAMB'S QUARTERS
CLETER	0	CLEMATIS TERNIFLORA	5	SWEET AUTUMN CLEMATIS

COMCOM	0	COMMELINA COMMUNIS	0	COMMON DAY FLOWER
DACGLO	0	DACTYLIS GLOMERATA	3	ORCHARD GRASS
DESILE	6	Desmodium illinoense	5	ILLINOIS TICK TREFOIL
EUOFOR	0	EUONYMUS FORTUNEI	5	WINTERCREEPER
EUPRUG	4	Eupatorium rugosum	5	WHITE SNAKEROOT
FRAPEP	5	Fraxinus pennsylvanica	-3	RED ASH
FRAPEP	1	Fraxinus pennsylvanica subintegerrima	0	GREEN ASH
GLEHED	0	GLECHOMA HEDERACEA	3	CREEPING CHARLIE
GLETRI	2	Gleditsia triacanthos	0	HONEY LOCUST
HELGR0	2	Helianthus grosseserratus	-2	SAWTOOTH SUNFLOWER
HUMJAP	0	HUMULUS JAPONICUS	3	JAPANESE HOP
LONJAP	0	LONICERA JAPONICA	3	JAPANESE HONEYSUCKLE
MORALB	0	MORUS ALBA	0	WHITE MULBERRY
OXASTR	0	Oxalis stricta	5	COMMON WOOD SORREL
PASSAT	0	PASTINACA SATIVA	5	WILD PARSNIP
PHYAME	1	Phytolacca americana	1	POKEWEED
PLAOCC	9	Platanus occidentalis	-3	SYCAMORE
POAPRA	0	POA PRATENSIS	1	KENTUCKY BLUE GRASS
POLCON	0	POLYGONUM CONVOLVULUS	1	BLACK BINDWEED
POPDEL	2	Populus deltoides	-1	EASTERN COTTONWOOD
PTEAQL	5	Pteridium aquilinum latiusculum	3	BRACKEN FERN
QUERUB	7	Quercus rubra	3	RED OAK
QUEVEL	6	Quercus velutina	5	BLACK OAK
RHACAT	0	RHAMNUS CATHARTICA	3	COMMON BUCKTHORN
RHUGLA	1	Rhus glabra	5	SMOOTH SUMAC
ROBPSE	0	ROBINIA PSEUDOACACIA	4	BLACK LOCUST
RUMCRI	0	RUMEX CRISPUS	-1	CURLY DOCK
SAMCAN	1	Sambucus canadensis	-2	ELDERBERRY
SETITA	0	SETARIA ITALICA	3	FOXTAIL MILLET
SMILAS	5	Smilax lasioneura	5	COMMON CARRION FLOWER
SOLCAN	1	Solidago canadensis	3	CANADA GOLDENROD
ULMPUM	0	ULMUS PUMILA	5	SIBERIAN ELM
ULMRUB	4	Ulmus rubra	0	SLIPPERY ELM
VITRIP	2	Vitis riparia	-2	RIVERBANK GRAPE

Bob Mays Prairie

Site: Bob Mays
 Locale: Quincy IL
 By: Evan Barker
 File: c:\FQA with Update\studies\bobmays.inv

FLORISTIC QUALITY DATA

31 NATIVE SPECIES
 43 Total Species
 3.3 NATIVE MEAN C
 2.4 W/Adventives
 18.5 NATIVE FQI
 15.7 W/Adventives
 2.1 NATIVE MEAN W
 2.2 W/Adventives
 AVG: Fac. Upland (+)

<u>ACRONYM</u>	<u>C</u>	<u>SCIENTIFIC NAME</u>	<u>W</u>	<u>COMMON NAME</u>
ACESAI	0	Acer saccharinum	-3	SILVER MAPLE
AMBARE	0	Ambrosia artemisiifolia elatior	3	COMMON RAGWEED
ANDGER	5	Andropogon gerardii	1	BIG BLUESTEM GRASS
ANDSCO	5	Andropogon scoparius	4	LITTLE BLUESTEM GRASS
APOCAN	4	Apocynum cannabinum	0	INDIAN HEMP
ASCSYR	0	Asclepias syriaca	5	COMMON MILKWEED
ASCOVER	1	Asclepias verticillata	5	WHORLED MILKWEED
ASTNOV	4	Aster novae-angliae	-3	NEW ENGLAND ASTER
ASTPIL	0	Aster pilosus	2	HAIRY ASTER
BOUCUR	8	Bouteloua curtipendula	5	SIDE-OATS GRAMA
CASFAS	5	Cassia fasciculata	4	PARTRIDGE PEA
CHEALB	0	CHENOPODIUM ALBUM	1	LAMB'S QUARTERS
CIRARV	0	CIRSIIUM ARVENSE	5	FIELD THISTLE
DESCAA	4	Desmodium canadense	1	SHOWY TICK TREFOIL
DIGSAS	0	DIGITARIA SANGUINALIS	3	HAIRY CRAB GRASS
ECHPAL	8	Echinacea pallida	5	PURPLE CONEFLOWER
ELYSAN	4	Elymus canadensis	1	CANADA WILD RYE
ERICAN	0	Erigeron canadensis	1	HORSEWEED
ERYYUC	9	Eryngium yuccifolium	-1	RATTLESNAKE MASTER
EUPALT	0	Eupatorium altissimum	3	TALL BONESET
MELALB	0	MELILOTUS ALBA	3	WHITE SWEET CLOVER
MONFIS	4	Monarda fistulosa	3	WILD BERGAMOT
MORALB	0	MORUS ALBA	0	WHITE MULBERRY
OENBIE	0	Oenothera biennis	3	COMMON EVENING PRIMROSE
OXASTR	0	Oxalis stricta	5	COMMON WOOD SORREL
PANDII	0	Panicum dichotomiflorum	-2	KNEE GRASS
PANVIR	5	Panicum virgatum	-1	SWITCH GRASS
PENDIG	4	Penstemon digitalis	1	FOXGLOVE BEARD TONGUE
POLAVI	0	POLYGONUM AVICULARE	1	COMMON KNOTWEED
RATPIN	4	Ratibida pinnata	5	YELLOW CONEFLOWER
RUDHIR	1	Rudbeckia hirta	3	BLACK-EYED SUSAN
RUDTRI	3	Rudbeckia triloba	1	BROWN-EYED SUSAN
RUMCRI	0	RUMEX CRISPUS	-1	CURLY DOCK
SETITA	0	SETARIA ITALICA	3	FOXTAIL MILLET
SILINI	5	Silphium integrifolium	5	ROSIN WEED
SOLRIG	4	Solidago rigida	4	STIFF GOLDENROD
SONASP	0	SONCHUS ASPER	3	SPINY SOW THISTLE
SORNUT	5	Sorghastrum nutans	2	INDIAN GRASS
TAROFF	0	TARAXACUM OFFICINALE	3	COMMON DANDELION
TRIPRA	0	TRIFOLIUM PRATENSE	5	RED CLOVER
TRIREP	0	TRIFOLIUM REPENS	2	WHITE CLOVER
VERSTR	4	Verbena stricta	5	HOARY VERVAIN
ZIZIAUR	7	Zizia aurea	-1	GOLDEN ALEXANDERS

Parker Heights Woodland

Site: Parker Heights Woodland

Locale: Quincy IL
 By: Evan Barker
 File: c:\FQA with Update\studies\ParkerWoodlandOct14.inv

FLORISTIC QUALITY

DATA

36 NATIVE SPECIES
 56 Total Species
 2.6 NATIVE MEAN C
 1.7 W/Adventives
 15.8 NATIVE
 FQI
 12.7 W/Adventives
 1.5 NATIVE MEAN W
 2 W/Adventives
 AVG: Fac. Upland (+)

<u>ACRONYM</u>	<u>C</u>	<u>SCIENTIFIC NAME</u>	<u>W</u>	<u>COMMON NAME</u>
ACESAI	0	Acer saccharinum	-3	SILVER MAPLE
ACNALT	0	Acnida altissima	-5	WATER HEMP
AILALT	0	AILANTHUS ALTISSIMA	5	TREE OF HEAVEN
AMBARE	0	Ambrosia artemisiifolia elatior	3	COMMON RAGWEED
ASTPIL	0	Aster pilosus	2	HAIRY ASTER
BIDFRO	1	Bidens frondosa	-3	COMMON BEGGAR'S TICKS
BROINE	0	BROMUS INERMIS	5	HUNGARIAN BROME
CATSPE	0	CATALPA SPECIOSA	3	HARDY CATALPA
CELOCC	3	Celtis occidentalis	1	HACKBERRY
CERCAN	10	Cercis canadensis	3	REDBUD
CHEALB	0	CHENOPODIUM ALBUM	1	LAMB'S QUARTERS
DIGSAS	0	DIGITARIA SANGUINALIS	3	HAIRY CRAB GRASS
ECHCRU	0	Echinochloa crusgalli	-3	BARNYARD GRASS
EUPALT	0	Eupatorium altissimum	3	TALL BONESET
EUPRUG	4	Eupatorium rugosum	5	WHITE SNAKEROOT
FRAAMA	5	Fraxinus americana	3	WHITE ASH
GLEHED	0	GLECHOMA HEDERACEA	3	CREeping CHARLIE
HELGRO	2	Helianthus grosseserratus	-2	SAWTOOTH SUNFLOWER
HUMJAP	0	HUMULUS JAPONICUS	3	JAPANESE HOP
JUGNIG	5	Juglans nigra	3	BLACK WALNUT
LEOCAR	0	LEONURUS CARDIACA	5	MOTHERWORT
LEPVIR	0	Lepidium virginicum	4	COMMON PEPPERCRESS
LONJAP	0	LONICERA JAPONICA	3	JAPANESE HONEYSUCKLE
MORALB	0	MORUS ALBA	0	WHITE MULBERRY
NEPCAT	0	NEPETA CATARIA	1	CATNIP
OENBIE	0	Oenothera biennis	3	COMMON EVENING PRIMROSE
OXASTR	0	Oxalis stricta	5	COMMON WOOD SORREL
PANDII	0	Panicum dichotomiflorum	-2	KNEE GRASS
PASSAT	0	PASTINACA SATIVA	5	WILD PARSNIP
PHYAME	1	Phytolacca americana	1	POKEWEED
PLAOCC	9	Platanus occidentalis	-3	SYCAMORE
POLCON	0	POLYGONUM CONVULVULUS	1	BLACK BINDWEED
POLPER	0	POLYGONUM PERSICARIA	1	LADY'S THUMB
POPDEL	2	Populus deltoides	-1	EASTERN COTTONWOOD
PRUSER	1	Prunus serotina	3	WILD BLACK CHERRY

PTEAQL	5	Pteridium aquilinum latiusculum	3	BRACKEN FERN
QUEIMB	7	Quercus imbricaria	1	SHINGLE OAK
QUERUB	7	Quercus rubra	3	RED OAK
QUEVEL	6	Quercus velutina	5	BLACK OAK
RHACAT	0	RHAMNUS CATHARTICA	3	COMMON BUCKTHORN
RHUGLA	1	Rhus glabra	5	SMOOTH SUMAC
RHURAD	2	Rhus radicans	-1	POISON IVY
ROBPSE	0	ROBINIA PSEUDOACACIA	4	BLACK LOCUST
RUBOCC	2	Rubus occidentalis	5	BLACK RASPBERRY
SAMCAN	1	Sambucus canadensis	-2	ELDERBERRY
SCRMAR	4	Scrophularia marilandica	4	LATE FIGWORT
SETITA	0	SETARIA ITALICA	3	FOXTAIL MILLET
SMILAS	5	Smilax lasioneura	5	COMMON CARRION FLOWER
SOLAME	0	Solanum americanum	4	BLACK NIGHTSHADE
SOLCAN	1	Solidago canadensis	3	CANADA GOLDENROD
ULMRUB	4	Ulmus rubra	0	SLIPPERY ELM
URTDIO	0	URTICA DIOICA	-1	STINGING NETTLE
VERTHA	0	VERBASCUM THAPSUS	5	COMMON MULLEIN
VERURU	5	Verbena urticifolia	5	HAIRY WHITE VERVAIN
VIOODO	0	VIOLA ODORATA	5	SWEET VIOLET
VITRIP	2	Vitis riparia	-2	RIVERBANK GRAPE

Floristic Quality Assessment or FQA

A system to assess the “quality” of a natural area based on the plant species present.

Site: 123 Any Street, Your Town,
Locale: IL
By: SW1/4, SW1/4 Section 14,
DeKalb Co.

The first number you see is the number of recorded native species. The second number is the total number including non-natives.

FLORISTIC QUALITY DATA

49 NATIVE SPECIES
60 Total Species
4.4 NATIVE MEAN C
3.6 W/Adventives
31.1 NATIVE FQI
28.1 W/Adventives
2.1 NATIVE MEAN W
2.4 W/Adventives
Fac. Upland (+)

AVG:

The first number is the degree of conservativeness of the native species on your site. The second number is the degree of conservativeness of all the species including the non-natives.

Native

Tree
Shrub
W-Vine
H-Vine
P-Forb
B-Forb
A-Forb
P-Grass
A-Grass
P-Sedge
A-Sedge
Cryptogam

P = Perennial	81.70%
A = Annual	18.30%
B = Biennial	1.70%
Forb = Flower	3.30%
Grass = Grass	0.00%
Sedge = Grass Like	50.00%
Cryptogam = Ferns+	0.00%
Shrub = Shrub	0.00%
Tree = Tree	3.30%
	0.00%
	1.70%
	3.30%
	0.00%
	0.00%

Adve

Tree
Shru
W-Vi
H-Vir
P-Fo
B-Fo
A-Fo
P-Gr
A-Gr
P-Se
A-Se

ACRONYM	C	S
ACENEG	0	Acer negundo
ACEPLA	0	ACER PLATANUS
ACESAU	3	Acer saccharum
AESGLA	3	Aesculus glabra
ALLPET	0	ALLIARIA PETIOLEATA
ALLCAN	2	Allium canadense
ALLTRT	7	Allium tricoccum
ANETHA	7	Anemone nemorosa
ARCMIN	0	ARCTIUM MINUTIFOLIUM
ASACAN	7	Asarum canadense
ASTSHO	8	Aster shortii
CXBLAN	1	Carex blanda
CXROSE	4	Carex rosea
CIMRAC	10	Cirsium discolor
CIRLUC	A value of 0 means the species is a non-native or an extremely aggressive native.	
CLAVIR		
ECHCRU		
ERYALB		
EUOFOR	0	EUPATORIUM
EUPMAM	4	Eupatorium
EUPRUG	4	Eupatorium
FRAPES	1	Fraxinus pennsylvanica
GALAPA	1	Galium aparine
GALOBT	5	Galium obtusifolium
GERMAC	4	Geranium macranthum
GEUCAN	1	Geum canadense
HEMFUL	0	HEMEROCALLIS
HEPACU	6	Hepatica acuta
HYDCAS	8	Hydrastis canadensis
HYDMIR	5	Hydrophyllum
IMPCAP	3	Impatiens capensis
LIGVUL	0	LIGUSTRUM
LONTAT	0	LONICERA
MEFUS	5	Melospiza fusca

The less tolerant a native plant species is of disturbance, the higher the number. Conversely, the more tolerant the lower the number (1-10).

W

-2
5
3
3
0
3
3
5
5
5
5
0
5
5
3
3
-3
5
5

WETNESS

FACW-
UPL
FACU
[FACU]
FAC
FACU
FACU
UPL
UPL
UPL
UPL
FAC
UPL
UPL
FACU
FACU
FACW
UPL
UPL

PHYSIOGNOMY

- Nt Tree
- Ad Tree
- Nt Tree
- Nt Tree
- Ad B-Forb
- Nt P-Forb
- Nt P-Forb
- Nt P-Forb

COMMON NAM

BOX ELDER
NORWAY MAPLE
SUGAR MAPLE
OHIO BUCKEYE
GARLIC MUSTARD
WILD ONION
WILD LEEK
RUE ANEMONE
ON BUR
SINGER
TS ASTE
COMMON WOC
CURLY-STYLEE

Nt = Native
Ad = Adventives (non-native)

OBL = Obligate Wetland
FACW = Facultative Wetland
FAC = Facultative
FACU = Facultative Upland
UPL = Upland
- = found in wetter site
+ = found in drier site

Nt P-Forb	GREEN YASH
Nt A-Forb	ANNUAL BEDS*
Nt P-Forb	WILD MADDER
Nt P-Forb	WILD GERANIUM
Nt P-Forb	WOOD AVENS
Ad P-Forb	ORANGE DAY L
Nt P-Forb	SHARP-LOBED
Nt P-Forb	GOLDEN SEAL
Nt P-Forb	VIRGINIA WATE
Nt A-Forb	ORANGE JEWEL
Ad Shrub	COMMON PRIV
Ad Shrub	TARTARIAN HO
Nt P-Forb	VIRGINIA SLIP

PIZZO
& ASSOCIATES, LTD.
 ECOLOGICAL RESTORATION

815-495-2300



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Floristic Quality Assessment Summary

The system provides a dispassionate, cost-effective, and repeatable methodology. Anyone with a reasonable field knowledge of vascular plants, now or a hundred years from now can apply these techniques and obtain comparable evaluations. Clearly, a chronic decline in floristic quality index values over a period of years would indicate a dissipation of natural area quality and the need to modify management protocols. On the other hand stable or steadily increasing values indicate that current management is optimizing the ecological potential of the site.

A look at the FQI number:

0-10 The land and flora are severely altered and has lost much if not all natural features and worthy of restoration it will require significant time and effort to implement.

10-15 The land and flora are altered yet still retains natural features worthy of restoration. Time and effort will still be required.

15-20 The land and flora are have been altered but still posses many of the their original ecological functions. A good candidate for restoration and should respond positively.

20+ This land still has significant ecological functions and processes therefore are worthy of restoration efforts and legal protections.

Appendix E:

Preliminary Recommended Planting Lists for Natural Areas Planting



Buffalo Grass Lawn Seed Mix (Dry - Mesic Soils)																	
MIX STATISTICS																	
Base Mix Without Supplemental Plugs																	
Average Mix Height			0.5"		Mix Description: Pizzo's Buffalo Grass Lawn Mix provides an alternative to traditional high-maintenance turf grass, such as Kentucky Bluegrass, Fescue, and Rye. While not thought to be locally native to the Chicago Region (it is known to be native to Southern Illinois and in the Western U.S.), Bowie is a cultivar that has the ability to survive colder northern climates. Unlike traditional high-maintenance turf grass, Buffalo Grass is a slow grower with a maximum height of 4-8" requiring little or no mowing and less than 1" of water per week. It prefers full sun, however it will survive in partial or dappled shade conditions. Buffalo Grass is a warm-season grass, which means it will go dormant (turns golden brown) in the fall and takes approximately a month longer to green-up in the spring when compared to traditional turf grass. Seeding of this mix should <i>only</i> occur in late spring-early summer when the soil temperatures reach 60-70° (typically late May - early July).												
Median Mix Height			0.5"														
Mix Height Mode (# of Occurrences in Mix)			0.5" (1)														
Number of Native Species in Mix			1														
Lbs/Acre of Native Seed			100.00														
Proteogules per Square Foot			2115.70														
Native FOI			0														
Native Mean C Value			0														
Native Mean W Value			4														
National Wetland Category	Facultative - Equally likely to occur in wetlands or uplands (estimated 34% - 66% probability)																
Grasses, Sedges, & Rushes (Monocots)																	
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT	COLOR	BLOOM TIME					SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX	
						Min-Max (Typical)		A	M	J	J	A				S	O
BUCDAC	<i>Buchloe dactyloides</i> 'BOWIE'	BOWIE BUFFALO GRASS	0	4	FUPL-	4-8" (5")	N/A							57,600	1600.0000	100.00	100.00%
																100.00	100.00%
Monocot Subtotals																100.00	100.00%
Dicot Subtotals																0.00	0.00%
BASE MIX TOTALS																100.00	100.00%
Notes:																	
1.) Pizzo recommends installing a Mycorrhizal Inoculant with the above seed mix at 40 lbs/acre																	
2.) Prepare soil seedbed the same as for traditional turf seeding																	
3.) Apply starter fertilizer the same as for traditional turf seeding																	
4.) Because of the seeding timeframe, temporary irrigation should be provided until establishment																	
5.) **At no time should Annual nor Perennial Rye (<i>Lolium multiflorum</i> or <i>perenne</i>) be utilized as a cover crop**																	



Transitional Buffer Seed Mix (Dry - Mesic Soils)																				
MIX STATISTICS																				
Base Mix Without Supplemental Plugs																				
Average Mix Height		1.66'	Mix Description: Pizzo's Transitional Buffer Mix is designed as a short-grass native planting that can be installed between low, flat areas (turf grass areas, sidewalks, etc.) and the taller, more diverse prairie areas. Providing this buffer achieves multiple things; 1.) Since some taller prairie species can "flop" and/or look "leggy" at the base, this short-grass buffer provides space so that taller plants will not flop onto the lawn or pavement, and it will also provide a visual screen to the lower, unattractive portion of the prairie; 2.) This buffer is easy to maintain with broadleaf herbicides, which gives a neat, "cared for" appearance that establishes a defined edge to the prairie; and 3.) Provides an all-grass buffer between lawn and prairie that will protect the broadleaf wildflowers in the prairie from annual "ween'n'feed" applications (which contain a broadleaf herbicide) to the lawn. The grasses in this mix are warm-season grasses, which means they will go dormant (turn golden brown) in the fall. Seeding of this mix should only occur in spring (typically before June 15th).																	
Median Mix Height		n/a																		
Mix Height Mode (# of Occurrences in Mix)		2.5' (1), 0.5' (1)																		
Number of Native Species in Mix		2																		
Lbs/Acre of Native Seed		62.00																		
Proteogules per Square Foot		174.55																		
Native FOI		5.7																		
Native Mean C Value		4																		
Native Mean W Value		4.5																		
National Wetland Category		Obligate Upland - Occurs almost never in wetlands under natural conditions (estimated <1% probability).																		
Grasses, Sedges, & Rushes (Monocots)																				
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT	COLOR	BLOOM TIME					SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX				
						Min-Max (Typical)		A	M	J	J	A				S	O	by Weight	by Seed Count	
BOUCUR	<i>Bouteloua curtipendula</i>	SIDE-OATS GRAMA	8	5	UPL	2-3' (2.5')	N/A							6,000	960.0000	60.00	96.77%	75.76%		
BUCDAC	<i>Buchloe dactyloides</i> 'BOWIE'	BOWIE BUFFALO GRASS	0	4	FUPL-	6-8" (5")	N/A								32.0000	2.00	3.23%	24.24%		
															Monocot Subtotals			62.00	100.00%	100.00%
															Dicot Subtotals			0.00	0.00%	0.00%
															BASE MIX TOTALS			62.00	100.00%	100.00%
Notes:																				
1.) Pizzo recommends installing a Mycorrhizal Inoculant with the above seed mix at 40 lbs/acre																				
2.) For spring planting, Pizzo recommends installing a cover crop of Seed Oats (<i>Avena sativa</i>) with the above seed mix at 40 lbs/acre																				
3.) **At no time should Annual <i>nor</i> Perennial Rye (<i>Lolium multiflorum</i> or <i>perenne</i>) be utilized as a cover crop**																				



Transitional Buffer Seed Mix (Mesic-Wet Soils)

MIX STATISTICS	
Base Mix Without Supplemental Plugs	
Average Mix Height	2.23'
Median Mix Height	3.00'
Mix Height Mode (# of Occurrences in Mix)	3' (2), 2.5' (1), 0.5' (1)
Number of Native Species in Mix	4
Lbs/Acre of Native Seed	38.00
Propagules per Square Foot	222.30
Native FQI	7.5
Native Mean C Value	3.8
Native Mean W Value	2
National Wetland Category	Facultative (+) - Equally likely to occur in wetlands or uplands (estimated 34% - 66% probability). The "+" sign denotes that this mix generally has a lesser estimated probability of occurring in wetlands than the "Facultative Wetland" general indicator, but a greater estimated probability of occurring in wetlands than a mix having the "Facultative" general indicator.

Grasses, Sedges, & Rushes (Monocots)																			
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT	COLOR	BLOOM TIME						SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX		
						Min-Max (Typical)		A	M	J	J	A	S				O	by Weight	by Seed Count
ANDSCO	<i>Andropogon scoparius</i>	LITTLE BLUESTEM GRASS	5	4	FACU-	2-3' (3')	N/A							15,000	320,000	20.00	52.63%	49.57%	
BOUCUR	<i>Bouteloua curtipendula</i>	SIDE-OATS GRAMA	8	5	UPL	2-3' (2.5')	N/A							6,000	240,000	15.00	39.47%	14.87%	
BUCCAC	<i>Buchloe dactyloides</i> 'BOWIE'	BOWIE BUFFALO GRASS	0	4	FUPL	6-8' (5')	N/A							57,600	32,000	2.00	5.26%	19.04%	
CVULP	<i>Carex vulpinoidea</i>	BROWN FOX SEDGE	2	-5	OBL	2-4' (3')	N/A							100,000	16,000	1.00	2.63%	16.52%	
Monocot Subtotals																38.00	100.00%	100.00%	
Dicot Subtotals																0.00	0.00%	0.00%	
BASE MIX TOTALS																38.00	100.00%	100.00%	

Notes:

- 1.) Pizzo recommends installing a Mycorrhizal Inoculant with the above seed mix at 40 lbs/acre
- 2.) For spring planting, Pizzo recommends installing a cover crop of Seed Oats (*Avena sativa*) with the above seed mix at 40 lbs/acre
- 3.) For fall planting, Pizzo recommends installing a cover crop of ReGreen (a Winter Wheat x Wheatgrass Sterile Hybrid) with the above mix at 50 lbs/acre
- 4.) **At no time should Annual nor Perennial Rye (*Lolium multiflorum* or *perenne*) be utilized as a cover crop**



Economy Prairie Seed Mix (Mesic Soils)

MIX STATISTICS	
Base Mix Without Supplemental Plugs	
Average Mix Height	3.48'
Median Mix Height	3.50'
Mix Height Mode (# of Occurrences in Mix)	5.0' (5), 2.0' (4), 3.0' (4), 4.0' (4), 2.5' (2)
Number of Native Species in Mix	21
Lbs/Acre of Native Seed	22.50
Propagules per Square Foot	114.00
Native FQI	22.2
Native Mean C Value	5.0
Native Mean W Value	3.3
National Wetland Category	Facultative Upland - Occasionally occurs in wetlands, but usually occur in non-wetlands (estimated 1% - 33% probability)

Grasses, Sedges, & Rushes (Monocots)																			
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX			
								A	M	J	J	A				S	O	by Weight	by Seed Count
ANDSCO	<i>Andropogon scoparius</i>	LITTLE BLUESTEM GRASS	5	4	FACU-	2-3' (3')	N/A						15,000	64,000	4.00	17.78%	19.13%		
BOUCUR	<i>Bouteloua curtipendula</i>	SIDE-OATS GRAMA	8	5	UPL	2-3' (2.5')	N/A						6,000	96,000	6.00	26.67%	11.66%		
ELYCAN	<i>Elymus canadensis</i>	CANADA WILD RYE	4	1	FAC-	2-5' (3.5')	N/A						5,200	32,000	2.00	8.89%	3.15%		
PANVR	<i>Panicum virgatum</i>	SWITCH GRASS	5	-1	FAC+	3-5' (4')	N/A						34,000	48,000	3.00	13.33%	11.53%		
													Monocot Subtotals		15.00	66.67%	47.81%		

Flowers & Other Broadleaves (Dicots)																			
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX			
								A	M	J	J	A				S	O	by Weight	by Seed Count
ASCYR	<i>Asclepias syriaca</i>	COMMON MILKWEED	0	5	UPL	2-5' (3')	Purple						4,000	8,000	0.50	2.22%	0.64%		
ASTNOV	<i>Aster novae-angliae</i>	NEW ENGLAND ASTER	4	-3	FACW	4-6' (5')	Purple						65,000	3,000	0.19	0.83%	3.91%		
CASFAS	<i>Cassia fasciculata</i>	PARTRIDGE PEA	5	4	FACU-	1-3' (2')	Yellow						2,700	16,000	1.00	4.44%	0.87%		
DESBLE	<i>Desmodium illinoense</i>	ILLINOIS TICK TREFOLI	6	5	UPL	3-6' (5')	Purple						4,300	2,500	0.16	0.69%	0.23%		
ECFPA	<i>Echinacea pallida</i>	PALE PURPLE CONEFLOWER	8	5	UPL	2-4' (3')	Pink						5,200	8,000	0.50	2.22%	0.84%		
ECFPU	<i>Echinacea purpurea</i>	PURPLE CONEFLOWER	3	5	UPL	2-5' (4')	Purple						6,600	16,000	1.00	4.44%	2.13%		
HELHEL	<i>Helopsis helianthoides</i>	FALSE SUNFLOWER	5	5	UPL	3-6' (5')	Yellow						6,500	16,000	1.00	4.44%	2.03%		
MONFIS	<i>Monarda fistulosa</i>	WILD BERGAMOT	4	3	FACU	3-5' (4')	Purple						70,000	3,500	0.22	0.97%	4.93%		
PENDIG	<i>Penstemon digitalis</i>	FOXGLOVE BEARD TONGUE	4	1	FAC-	2.5-5' (3.5')	White						130,000	2,000	0.13	0.56%	5.24%		
PETPUR	<i>Petalostemum purpureum</i>	PURPLE PRAIRIE CLOVER	9	5	UPL	1.5-3' (2')	Purple						15,000	6,000	0.38	1.67%	1.81%		
POTARI	<i>Potentilla arguta</i>	PRAIRIE CINQUEFOIL	9	4	FACU-	1-3' (2')	Yellow						230,000	0,500	0.63	0.14%	2.32%		
RATPIN	<i>Ratibida pinnata</i>	YELLOW CONEFLOWER	4	5	UPL	3-6' (5')	Yellow						30,000	8,000	0.50	2.22%	4.83%		
RUDHIR	<i>Rudbeckia hirta</i>	BLACK-EYED SUSAN	1	3	FACU	2-3' (0.5')	Yellow						92,000	8,000	0.50	2.22%	14.82%		
SILINI	<i>Silphium integrifolium</i>	ROBIN WELD	5	5	UPL	2-6' (5')	Yellow						1,200	6,000	0.58	1.67%	0.14%		
SOLRIG	<i>Solidago rigida</i>	STIFF GOLDEN ROD	4	4	FACU-	3-6' (4')	Yellow						41,000	4,000	0.25	1.11%	3.30%		
VERSTR	<i>Verberna stricta</i>	HOARY VERVAIN	4	5	UPL	1-3' (2')	Blue						28,000	4,000	0.25	1.11%	2.66%		
ZEAUR	<i>Zizia aurea</i>	GOLDEN ALEXANDERS	7	-1	FACU	2-4' (3')	Yellow						11,000	8,500	0.53	2.36%	1.86%		
													Dicot Sub Totals	7.50	33.33%	52.19%	52.19%		
													BASE MIX TOTALS	22.50	100.00%	100.00%	100.00%		

Notes:

- 1.) Pizzo recommends installing a Mycorrhizal Inoculant with the above seed mix at 40 lbs/acre
- 2.) For spring planting, Pizzo recommends installing a cover crop of Seed Oats (*Avena sativa*) with the above seed mix at 40 lbs/acre
- 3.) For fall planting, Pizzo recommends installing a cover crop of ReGreen (a Winter Wheat x Wheatgrass Sterile Hybrid) with the above mix at 50 lbs/acre
- 4.) **At no time should Annual nor Perennial Rye (*Lolium multiflorum* or *perenne*) be utilized as a cover crop**



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Dunes, Sand, and Hill Prairie Seed Mix (Dry Soils)**MIX STATISTICS****Base Mix Without Supplemental Plugs**

Average Mix Height	2.76'
Median Mix Height	3.00'
Mix Height Mode (# of Occurrences in Mix)	3.0' (9), 2.0' (8), 4.0' (4), 2.5' (3), 1.5' (2), 5.0' (1)
Number of Native Species in Mix	27
Lbs/Acre of Native Seed	17.69
Propagules per Square Foot	141.89
Native FQI	31.9
Native Mean C Value	6.1
Native Mean W Value	3.6

Mix Description: Pizzo's Dune, Sand, and Hill Prairie Seed Mix is designed for sunny areas with sandy soils that remain dry for most of the growing season. This mix contains species that are typically found as the foundation plant components of Sand Prairies, Hill Prairies, and the Dune ecosystems of Lake Michigan. It may also be well suited for very open Black Oak Savannas within the Dunes of Lake Michigan, however more dense Black Oak Savannas may require Pizzo's Savanna Mix. Since this is a basic mix with species typically associated within these specialized ecosystems, these mixes may require customization to meet the needs of your particular site. This mix will stay very low, with over 92% of seeds typically averaging 3.0" high or less at maturity and will be a grass heavy mix, with less than 32% of the seeds being wildflowers. This mix can be supplemented with the recommended plug list provided below to add diversity, color, and resilience to the long-term health of your prairie.

National Wetland Category: Facultative Upland (-) - Occasionally occurs in wetlands, but usually occurs in non-wetlands (estimated 1% - 33% probability). The "-" sign denotes that this mix generally has a lesser estimated probability of occurring in wetlands than the "Facultative Wetland" general indicator, but a greater estimated probability of occurring in wetlands than a mix having the "Facultative" general indicator.

Grasses, Sedges, & Rushes (Monocots)

ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME							SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX	
								A	M	J	J	A	S	O				by Weight	by Seed Count
ANDSCO	<i>Andropogon scoparius</i>	LITTLE BLUESTEM GRASS	5	4	FACU-	2-3' (3)	N/A							15,000	64,000.0	4.00	22.61%	15.53%	
BOUCUR	<i>Bouteloua curtipendula</i>	SIDE-OATS GRAMA	8	5	UPL	2-3' (2.5)	N/A							6,000	80,000.0	5.00	28.27%	7.77%	
ERASPE	<i>Eragrostis spectabilis</i>	PURPLE LOVE GRASS	3	5	UPL	1-3' (2)	Purple							280,000	2,000.0	0.13	0.71%	9.06%	
KOECRI	<i>Koeleria cristata</i>	JUNE GRASS	7	5	UPL	1-2' (1.5)	N/A							200,000	2,000.0	0.13	0.71%	6.47%	
PANVIR	<i>Panicum virgatum</i>	SWITCH GRASS	5	-1	FACU-	3-5' (4)	N/A							14,000	16,000.0	1.00	5.65%	3.62%	
SPOCRY	<i>Sporobolus cryptandrus</i>	SAND DROPSOED	7	4	FACU-	2-4' (3)	N/A							200,000	8,000.0	0.50	2.83%	25.89%	
														Monocot Subtotals		10.75	60.78%	68.34%	

Flowers & Other Broadleaves (Dicots)

ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME	SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX	
								A M J J A S O				by Weight	by Seed Count
ALLCER	<i>Allium cernuum</i>	NODDING WILD ONION	7	1	[FAC-]	1-2' (1.5)	Pink		7,600	8,000.0	0.50	2.83%	0.98%
AMOCAN	<i>Amorpha canescens</i>	LEAD PLANT	9	5	UPL	1-3.5' (3)	Purple		16,000	4,000.0	0.25	1.41%	1.94%
ACTUB	<i>Ancistrus tuberosus</i>	BUTTERFLY WEED	7	5	UPL	1-3.5' (2.5)	Orange		4,300	8,000.0	0.50	2.83%	0.56%
ASTAZU	<i>Aster azureus</i>	SKY-BLUE ASTER	8	5	UPL	2-5' (3)	Blue		80,000	1,000.0	0.06	0.35%	1.29%
BAPLEA	<i>Baptisia leucantha</i>	WHITE WILD INDIGO	8	2	FACU+	2-5' (4)	White		1,700	6,000.0	0.38	2.12%	0.17%
CORPAL	<i>Coreopsis palmata</i>	PRAIRIE COREOPSIS	6	5	UPL	1-2.5' (2)	Yellow		10,000	6,000.0	0.38	2.12%	0.97%
ECHPAL	<i>Echinacea pallida</i>	PALE PURPLE CONEFLOWER	8	5	UPL	2-4' (3)	Pink		5,200	8,000.0	0.50	2.83%	0.67%
ERYVUC	<i>Eryngium yuccifolium</i>	RATTLESNAKE MASTER	9	-1	FACU-	2-5' (4)	White		7,500	8,000.0	0.50	2.83%	0.97%
EUPCOR	<i>Euphorbia corollata</i>	FLOWERING SPURGE	2	5	UPL	1-4' (3)	White		8,000	4,000.0	0.25	1.41%	0.52%
LESCAP	<i>Lespedeza capitata</i>	ROUND-HEADED BUSH CLOVER	4	3	FACU	2-4' (3)	Green		8,000	4,000.0	0.25	1.41%	0.52%
LIAASP	<i>Liatris aspera</i>	ROUGH BLAZING STAR	6	5	UPL	2.5-5' (3)	Purple		16,000	6,000.0	0.38	2.12%	1.55%
LUPPED	<i>Lupinus perennis occidentalis</i>	WILD LUPINE	7	5	UPL	1-3' (2)	Purple		1,100	16,000.0	1.00	5.65%	0.28%
MONPUN	<i>Monarda punctata</i>	HORSE MINT	5	5	UPL	1-3' (2)	Purple		90,000	2,000.0	0.13	0.71%	2.91%
PETPUR	<i>Petalostemum purpureum</i>	PURPLE PRAIRIE CLOVER	9	5	UPL	1.5-3' (2)	Purple		15,000	8,000.0	0.50	2.83%	1.94%
PHILRP	<i>Phlox pilosa</i>	SAND PRAIRIE PHLOX	7	1	FACU-	1-3' (2)	Pink		19,000	1,000.0	0.06	0.35%	0.31%
RUDHIR	<i>Rudbeckia hirta</i>	BLACK-EYED SUSAN	1	3	FACU	2-3' (2.5)	Yellow		92,000	8,000.0	0.50	2.83%	11.91%
SOLRIG	<i>Solidago rigida</i>	STIFF GOLDENROD	4	4	FACU+	3-6' (4)	Yellow		41,000	2,000.0	0.13	0.71%	1.33%
SOLSPE	<i>Solidago speciosa</i>	SHOWY GOLDENROD	7	5	UPL	3-6' (5)	Yellow		95,000	1,000.0	0.06	0.35%	1.54%
TRADHI	<i>Tradescantia ohioensis</i>	COMMON SPIDERWORT	2	2	FACU+	2-4' (3)	Blue		8,000	4,000.0	0.25	1.41%	0.52%
VERSTR	<i>Verbena stricta</i>	HOARY VERVAIN	4	5	UPL	1-3' (2)	Blue		28,000	2,000.0	0.13	0.71%	0.91%
ZICAPT	<i>Zizia aurea</i>	HEART-LEAVED MEADOW PARSNIP	10	3	FACU	1-3' (2)	Yellow		12,000	4,000.0	0.25	1.41%	0.78%
									BASE MIX TOTALS	6.94	39.22%	31.66%	
									Dicot Subtotals	17.69	100.00%	100.00%	

Recommended Plug Species to Supplement Dune, Sand, & Hill Prairie Seed Mix

ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT	COLOR	BLOOM TIME	PLUGS/FLAT	FLATS/ACRE	PLUGS/ACRE	PLUGS/SF	% OF MIX
						Min-Max (Typical)		A M J J A S O					by Seed Count
ASTOBL	<i>Aster oblongifolius</i>	AROMATIC ASTER (1)	10	5	UPL	1-3' (2)	Purple		38	43.0	1,634.00	0.04	0.03%
BAPLEO	<i>Baptisia leucophæa</i>	CREAM WILD INDIGO (1, 2, 3)	10	5	UPL	1-3' (2)	Cream		38	20.0	760.00	0.02	0.01%
DOOMEA	<i>Dodecatheon meadia</i>	SHOOTING STAR (1, 2)	6	3	FACU	1-2' (1.5)	Pink		38	86.0	3,268.00	0.08	0.05%
GENRUB	<i>Gentiana puberulenta</i>	PRAIRIE GENTIAN (1, 2, 4, 5)	10	5	UPL	6'-12' (11)	Blue		38	20.0	760.00	0.02	0.01%
LIACYL	<i>Liatris cylindracea</i>	CYLINDRICAL BLAZING STAR (1, 2)	8	5	UPL	1-2' (1)	Purple		38	20.0	760.00	0.02	0.01%
LITCAN	<i>Lithospermum canescens</i>	HOARY PUCKOON (1, 5)	8	5	UPL	1-2' (1)	Orange		38	20.0	760.00	0.02	0.01%
OENCLC	<i>Oenothera clelandii</i>	SAND EVENING PRIMROSE (1)	7	5	[UPL]	1-3' (2)	Yellow		38	43.0	1,634.00	0.04	0.03%
OPRHUM	<i>Opuntia humifusa</i>	EASTERN PRICKLY PEAR (1, 2, 3, 4)	5	5	UPL	6'-12' (8')	Yellow		1	300.0	300.00	0.01	0.00%
PEINPAL	<i>Penstemon pallidus</i>	PALE BEARD TONGUE (5)	6	5	UPL	1-2' (1)	Cream		38	20.0	760.00	0.02	0.01%
ROSCAR	<i>Rosa carolina</i>	PASTURE ROSE (1, 3)	5	4	FACU+	1-3' (2)	Pink		1	20.0	20.00	0.00	0.00%
SIGALB	<i>Sisyrinchium albidum</i>	COMMON BLUE-EYED GRASS (2)	7	3	FACU	4-9' (6')	Blue		38	86.0	3,268.00	0.08	0.05%
SPOHET	<i>Sporobolus heterolepis</i>	PRAIRIE DROPSOED (1, 2)	10	4	FACU+	1-2.5' (2)	N/A		38	86.0	3,268.00	0.08	0.05%
STISPA	<i>Stipa spartea</i>	PORCUPINE GRASS (1, 3)	7	5	UPL	3-5' (4)	N/A		38	43.0	1,634.00	0.04	0.03%
VIDOPEL	<i>Viola pedata lineariloba</i>	BIRDS FOOT VIOLET (1, 5)	9	5	UPL	2-6' (3')	Purple		38	86.0	3,268.00	0.08	0.05%
										893.0	39.22%	0.51	0.33%

SUPPLEMENTED MIX STATISTICS**Base Seed Mix Including Supplemental Plugs**

Number of Native Species in Mix	41	Some species are not appropriate for inclusion into a seed mix, however they may be very desirable to have as part of the permanent plant matrix because of their ecological, habitat, and/or aesthetic value. The plug species listed above are appropriate for supplementing this seed mix. Following are the common reasons for not including these species within the seed mix: 1-Does not germinate well from seed in the field, 2-Seed is very expensive, 3-Low number of seeds per ounce, 4-Requires specialized microclimate, 5-Seed is not commercially available or is only available in small quantities
Native FQI	42.5	
Native Mean C Value	6.6	
Native Mean W Value	4	

National Wetland Category: Facultative Upland (-) - Occasionally occurs in wetlands, but usually occurs in non-wetlands (estimated 1% - 33% probability). The "-" sign denotes that this mix generally has a lesser estimated probability of occurring in wetlands than the "Facultative Wetland" general indicator, but a greater estimated probability of occurring in wetlands than a mix having the "Facultative" general indicator.

Notes:

- 1.) Pizzo recommends installing a Mycorrhizal Inoculant with the above seed mix at 40 lbs/acre
- 2.) For spring planting, Pizzo recommends installing a cover crop of Seed Oats (*Avena sativa*) with the above seed mix at 40 lbs/acre
- 3.) For fall planting, Pizzo recommends installing a cover crop of ReGreen (a Winter Wheat x Wheatgrass Sterile Hybrid) with the above mix at 50 lbs/acre
- 4.) **At no time should Annual nor Perennial Rye (*Lolium multiflorum* or *perenne*) be utilized as a cover crop**



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Low Profile Prairie Seed Mix (Mesic Soils)

MIX STATISTICS

Base Mix Without Supplemental Plugs

Average Mix Height	3.2'
Median Mix Height	3.0'
Mix Height Mode (if of Occurrences in Mix)	3.0' (13), 4.0' (9), 2.0' (9), 2.5' (3), 3.5' (3), 5.0' (3), 1.5' (2)
Number of Native Species in Mix	40
lbs/Acre of Native Seed	27.52
Proportions per Square Foot	125.27
Native FGI	38.3
Native Mean C Value	6.1
Native Mean W Value	3.2
National Wetland Category	Facultative Upland - Occasionally occurs in wetlands, but usually occur in non-wetlands (estimated 1% - 33% probability)

Mix Description: Pizzo's Low Profile Prairie Seed Mix is designed for sunny areas that remain mesic-dry for most of the growing season. This mix is composed of a diverse collection of shorter-profile prairie grass and wildflower species, and is ideal for areas where taller vegetation is not appropriate. Over 82% of the seeds in this mix typically grow to an average high of 3' or less and over 48% of the mix is composed of wildflowers that will provide an array of blooms from April through October. When installed and maintained correctly this mix will typically begin flowering in it's second growing season, starting with the yellow blooms of annual Partridge Pea and biennial Black-Eyed Susan, with additional more colorful permanent species appearing in years 3-5. This mix can be supplemented with the recommended plug list provided below to add diversity, color, and resilience to the long-term health of your prairie.

Grasses, Sedges, & Rushes (Monocots)

ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME A M J J A S O	SEEDS/OZ	OZ/ACRE	LBS/ACRE	by Weight	% OF MIX by Seed Count
ANDSC	<i>Andropogon scoparius</i>	LITTLE BLUESTEM GRASS	5	4	FACU-	2-3' (3')	N/A		15,000	96.0000	6.00	21.80%	26.39%
BOUCUR	<i>Bouteloua curtipendula</i>	SIDE-OATS GRAMA	8	5	UPL	2-3' (2.5')	N/A		6,000	192.0000	12.00	43.66%	21.11%
ELICAN	<i>Elymus canadensis</i>	CANADA WILD RYE	4	1	FAC	2-5' (3.5')	N/A		5,200	36.0000	1.00	3.63%	1.92%
PANVIR	<i>Panicum virgatum</i>	SWITCH GRASS	5	3	FAC+	3-5' (4')	N/A		18,000	8.0000	0.90	1.82%	2.05%
Monocot Subtotals											19.50	70.85%	51.08%

Flowers & Other Broadleaves (Dicots)

ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME A M J J A S O	SEEDS/OZ	OZ/ACRE	LBS/ACRE	by Weight	% OF MIX by Seed Count
ALLER	<i>Allium cernuum</i>	NODDING WILD ONION	7	1	[FAC-]	1-2' (1.5')	Pink		7,600	3.0000	0.19	0.68%	0.42%
AMOCAN	<i>Amorpha canescens</i>	LEAD PLANT	9	5	UPL	1-3.5' (3')	Purple		16,000	1.0000	0.06	0.23%	0.29%
ASCTUB	<i>Asclepias tuberosa</i>	BUTTERFLY WEED	7	5	UPL	1-3.5' (2.5')	Orange		4,300	8.0000	0.50	1.82%	0.63%
ASTAZU	<i>Aster azureus</i>	SKY BLUE ASTER	8	5	UPL	2-5' (3')	Blue		80,000	1.0000	0.06	0.23%	1.47%
ASTERI	<i>Aster ericoides</i>	HEATH ASTER	5	4	FACU-	1-3' (2')	White		200,000	0.2500	0.02	0.06%	0.93%
ASTLAE	<i>Aster laevis</i>	SMOOTH BLUE ASTER	9	5	UPL	2-5' (4')	Blue		55,000	1.0000	0.06	0.23%	1.01%
ASTCAN	<i>Astragalus canadensis</i>	CANADIAN MILK VETCH	10	5	[UPL]	2-4' (3')	Cream		17,000	1.0000	0.06	0.23%	0.31%
BAPLEA	<i>Baptisia leucantha</i>	WHITE WILD INDIGO	8	2	FACU+	2-5' (4')	White		1,700	4.0000	0.25	0.93%	0.12%
CASAS	<i>Cassia fasciculata</i>	PARTRIDGE PEA	5	4	FACU-	1-3' (2')	Yellow		7,700	16.0000	1.00	3.63%	0.79%
CORPAL	<i>Coreopsis palmata</i>	PRAIRIE COREOPSIS	6	5	UPL	1-2.5' (2')	Yellow		10,000	4.0000	0.25	0.93%	0.73%
DESILS	<i>Desmanthus illinoensis</i>	ILLINOIS SENSITIVE PLANT	3	5	UPL	2-5' (4')	Yellow		4,200	1.5000	0.09	0.34%	0.12%
DESCAA	<i>Desmodium canadense</i>	SHOWY TICK TREETOP	4	1	FAC	3-6' (5')	Purple		5,500	1.0000	0.06	0.23%	0.10%
ECHPAL	<i>Echinacea pallida</i>	PALL PURPLE CONEFLOWER	8	5	UPL	2-4' (3')	Pink		5,200	8.0000	0.50	1.82%	0.76%
ECHPUR	<i>Echinacea purpurea</i>	PURPLE CONEFLOWER	3	5	UPL	2-5' (4')	Purple		6,600	16.0000	1.00	3.63%	1.94%
ERYUIC	<i>Eryngium yuccifolium</i>	RATTLESNAKE MASTER	9	-1	FAC+	2-5' (4')	White		7,500	6.0000	0.38	1.36%	0.82%
EUPCOR	<i>Euphorbia corollata</i>	FLOWERING SPURGE	2	5	UPL	1-4' (3')	White		8,000	1.0000	0.06	0.23%	0.15%
HELHEL	<i>Helopsis helianthoides</i>	FALSE SUNFLOWER	5	5	UPL	3-6' (5')	Yellow		6,300	4.0000	0.25	0.93%	0.46%
LESCAP	<i>Lespedeza capitata</i>	ROUND-HEAD'D BUSH CLOVER	4	3	FACU	2-4' (3')	Green		8,000	2.0000	0.13	0.45%	0.25%
LIASAP	<i>Liatis aspera</i>	ROUGH BLAZING STAR	6	5	UPL	2-5.5' (3')	Purple		16,000	4.0000	0.25	0.93%	1.17%
MONFIS	<i>Monarda fistulosa</i>	WILD BERGAMOT	4	3	FACU	3-5' (4')	Purple		70,000	1.0000	0.06	0.23%	1.28%
PARINT	<i>Parthenium integrifolium</i>	WILD QUININE	8	5	UPL	3-5' (4')	White		7,000	2.0000	0.13	0.45%	0.26%
PENDIG	<i>Penstemon digitalis</i>	FOXGLOVE BEARD TONGUE	4	1	FAC-	2-5.5' (3.5')	White		130,000	3.0000	0.19	0.68%	7.15%
PETPUR	<i>Petalostemum purpureum</i>	PURPLE PRAIRIE CLOVER	9	5	UPL	1-5' (3.5')	Purple		15,000	6.0000	0.38	1.36%	1.65%
PHILIP	<i>Phlox pilosa</i>	SAND PRAIRIE PHLOX	7	1	FAC-	1-3' (2')	Pink		19,000	0.5000	0.03	0.11%	0.17%
POTARU	<i>Potentilla arguta</i>	PRAIRIE CINQUEFOIL	9	4	FACU-	1-3' (2')	Yellow		230,000	0.1250	0.01	0.03%	0.53%
PYCTEN	<i>Pycnanthemum tenuifolium</i>	SLENDER MOUNTAIN MINT	7	0	FAC	1-3' (2')	White		220,000	0.2500	0.02	0.06%	1.01%
RUDHIR	<i>Rudbeckia hirta</i>	BLACK-EYED SUSAN	1	3	FACU	2-3' (2.5')	Yellow		92,000	8.0000	0.50	1.82%	13.49%
RUDSPS	<i>Rudbeckia speciosa sylvianii</i>	SHOWY BLACK EYED SUSAN	8	-3	[FACW]	2-4' (3')	Yellow		27,100	10.0000	0.63	2.27%	4.97%
RUDSUS	<i>Rudbeckia subtomentosa</i>	SMOOTH BLACK EYED SUSAN	9	2	FACU+	3-6' (5')	Yellow		43,000	1.0000	0.06	0.23%	0.79%
SOLJIN	<i>Solidago juncea</i>	EARLY GOLDENROD	5	5	UPL	2-4' (3')	Yellow		290,000	0.2500	0.02	0.06%	1.33%
SOLRIG	<i>Solidago rigida</i>	STIFF GOLDENROD	4	4	FACU-	3-6' (4')	Yellow		41,000	0.5000	0.03	0.11%	0.38%
TRAOHI	<i>Tradescantia ohiensis</i>	COMMON SPIDERWORT	2	2	FACU+	2-4' (3')	Blue		8,000	3.0000	0.19	0.68%	0.44%
VERSTR	<i>Verbena stricta</i>	HOARY VERVAIN	4	5	UPL	1-3' (2')	Blue		28,000	3.0000	0.19	0.68%	1.54%
ZIZAPT	<i>Zizia aurea</i>	HEART-LEAVED MEADOW PARSNIP	10	3	FACU	1-3' (2')	Yellow		12,000	2.0000	0.13	0.45%	0.44%
ZIZAUR	<i>Zizia aurea</i>	GOLDEN ALEXANDERS	7	-3	FAC+	2-4' (3')	Yellow		11,000	5.0000	0.31	1.14%	1.01%
Dicot Subtotals											8.02	29.15%	48.92%
BASE MIX TOTALS											27.52	100.00%	100.00%

Recommended Plug Species to Supplement Low Profile Prairie Seed Mix

Recommendation: Plug species to supplement low flower plants: seed mix																		
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					PLUGS/FLAT	FLATS/ ACRE	PLUGS/ ACRE	PLUGS/ SF	% OF MIX by Seed Count	
								A	M	J	J	A						S
AMECAN	Anemone canadensis	MEADOW ANEMONE (1, 3)	4	-3	FACW	1-2' (1.5')	White							38	43.0	1,634.00	0.04	0.03
ASCVER	Asclepias verticillata	WHORLED MILKWEEED (2, 3)	1	5	UPL	1-2' (1.5')	White							38	20.0	760.00	0.02	0.01
BAPLEO	Baptisia leucophylla	CREAM WILD INDIGO (1, 2, 3)	10	5	UPL	1-3' (2')	Cream							38	20.0	760.00	0.02	0.01
CEAMEA	Ceanothus americanus	NEW JERSEY TEA (1, 3)	6	5	UPL	1-3' (2')	White							38	15.0	570.00	0.01	0.01
DOOMEA	Dodecatheon meadia	SHOOTING STAR (1, 2)	6	3	FACU	1-2' (1.5')	Pink							38	86.0	3,268.00	0.08	0.06
GENAND	Gentiana andrewsii	BOTTLE GENTIAN (1, 2, 4)	8	-3	FACW	1-3' (2')	Blue							38	20.0	760.00	0.02	0.01
GENFLA	Gentiana flava	YELLOWISH GENTIAN (1, 4)	9	3	FACU	2-4' (3')	Cream							38	15.0	570.00	0.01	0.01
GENPUR	Gentiana puberulenta	PRAIRIE GENTIAN (1, 2, 4, 5)	10	5	UPL	6'-12' (9')	Blue							38	15.0	570.00	0.01	0.01
GEUTHI	Geum triflorum	PRAIRIE SMOKE (1, 2)	10	5	[UPL]	6'-12' (9')	Pink							38	86.0	3,268.00	0.08	0.06
HEURIC	Heuchera richardsonii	PRAIRIE ALUM ROOT (1, 2)	8	1	FAC	1-3' (2')	Green							38	20.0	760.00	0.02	0.01
LIAPYC	Liatis pycnostachya	PRAIRIE BLAZING STAR (1, 2)	8	1	FAC	1-2' (1.5')	Magenta							38	86.0	3,268.00	0.08	0.06
PEINPAL	Penstemon pallidus	PALE BEARD TONGUE (5)	6	5	UPL	1-2' (1')	Cream							38	20.0	760.00	0.02	0.01
ROSBIA	Rosa blanda	EARLY WILD ROSE (1, 3)	5	3	FACU	3-6' (5')	Pink							1	15.0	15.00	0.00	0.00
ROSCAR	Rosa carolina	PASTURE ROSE (1, 3)	5	4	FACU	1-3' (2')	Pink							1	25.0	25.00	0.00	0.00
RUEHUM	Ruellia humilis	HARRY RUELLIA (3)	7	4	FACU	6-12' (9')	Purple							38	20.0	760.00	0.02	0.01
SSAIB	Sisyrinchium albidum	COMMON BLUE-EYED GRASS (2)	7	3	FACU	4-9' (6')	Blue							38	43.0	1,634.00	0.04	0.03
SPOHET	Sporobolus heterolepis	PRAIRIE DROPSEED (1, 2)	10	4	FACU	1-2.5' (2')	N/A							38	86.0	3,268.00	0.08	0.06
VERVIR	Veronicastrum virginicum	CULVER'S ROOT (1)	7	0	FAC	2-5' (3')	White							38	43.0	1,634.00	0.04	0.03
VIOPFL	Viola pedata lineariloba	BIRD'S FOOT VIOLET (1, 5)	9	5	UPL	2-6' (3')	Purple							38	86.0	3,268.00	0.08	0.06
															764.0	27,552.00	0.11	0.90

SUPPLEMENTAL MIX STATISTICS

Base Seed Mix Including Supplemental Plugs

Number of Native Species in Mix	59
Native FGI	49.2
Native Mean C Value	6.4
Native Mean W Value	3.1
National Wetland Category	Facultative Upland - Occasionally occurs in wetlands, but usually occur in non-wetlands (estimated 1% - 33% probability)

Some species are not appropriate for inclusion into a seed mix, however they may be very desirable to have as part of the permanent plant matrix because of their ecological, habitat, and/or aesthetic value. The plug species listed above are appropriate for supplementing this seed mix. Following are the common reasons for not including these species within the seed mix: 1-Not commercially available or only available in small quantities; 2-Seed is very expensive; 3-Low number of seeds per container; 4-Require specialized microclimate; 5-Seed is not commercially available or is only available in small quantities.

Notes:

- 1) Pizzo recommends installing a Mycorrhizal Inoculant with the above seed mix at 40 lbs/acre
- 2) For spring planting, Pizzo recommends installing a cover crop of Seed Oats (*Avena sativa*) with the above seed mix at 40 lbs/acre
- 3) For fall planting, Pizzo recommends installing a cover crop of ReGreen (a Winter Wheat x Wheatgrass Sterile Hybrid) with the above mix at 50 lbs/acre
- 4) **At no time should Annual nor Perennial Rye (*Lolium multiflorum* or *perenne*) be utilized as a cover crop**



Emergent Seed Mix (2-6" Water Depth)

MIX STATISTICS																				
Base Mix Without Supplemental Plugs																				
Average Mix Height			3.22'	Mix Description: Pizzo's Emergent Seed Mix is designed to grow in shallow water 2" to 6" deep. It is ideal for shallow water wetlands and within the emergent zone of a pond or stream shoreline. Over 73% of the seeds in this mix are Sedge or Sedge-like species. To complement this dark green aesthetic over 26% of the mix composed of wildflowers, which provide an array of blooms from May through October. This emergent mix will result in a medium-tall profile with under 44% of seeds typically averaging 3.0' high or less and over 20% of seeds typically averaging 5.0' high or more at maturity. To achieve appropriate seed-to-soil contact for germination this mix must be planted prior to establishing normal water levels, or the water body must be drained in order to expose the soil within the targeted seeding area prior to seeding. We recommend installing appropriate temporary erosion control blanket over areas seeded with this mix. The Emergent seed mix can be supplemented with the recommended plug list provided below to add diversity, color, and resilience to the long-term health of your wetland.																
Median Mix Height			3.00'																	
Mix Height Mode (# of Occurrences in Mix)		3.0' (12), 3.0' (6), 4.0' (4), 5.0' (9), 5.5' (1), 2.5 (1)																		
Number of Native Species in Mix			27																	
Lbs/Acre of Native Seed			6.36																	
Propagules per Square Foot			229.52																	
Native FQI			28.5																	
Native Mean C Value			5.5																	
Native Mean W Value			5.0																	
National Wetland Category			Obligate Wetland - Occurs almost always in wetlands under natural conditions (estimated >99% probability)																	
Grasses, Sedges, & Rushes (Monocots)																				
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX				
								A	M	J	J	A	S	O			by Weight	by Seed Count		
CXCOMO	<i>Carex comosa</i>	BRISTLY SEDGE	5	-5	OBL	1-3 (2)	N/A								30,000	6,000	0.38	5.90%	1.80%	
CHYST	<i>Carex hystericina</i>	PORCUPINE SEDGE	5	-5	OBL	2-4 (3)	N/A								30,000	2,000	0.13	1.97%	0.60%	
CXLACU	<i>Carex lasiocarpa</i>	COMMON LAKE SEDGE	6	-5	OBL	2-4 (3)	N/A								11,000	2,500	0.16	2.46%	0.28%	
CXLURI	<i>Carex lasiocarpa</i>	BOTTLEBRUSH SEDGE	8	-5	OBL	2-4 (3)	N/A								12,000	2,000	0.13	1.97%	0.24%	
CSTRI	<i>Carex stricta</i>	COMMON TUSSOCK SEDGE	5	-5	OBL	2-4 (3)	N/A								53,000	1,000	0.06	0.98%	0.53%	
CVXULP	<i>Carex vulpinoidea</i>	BROWN FOX SEDGE	2	-5	OBL	2-4 (3)	N/A								100,000	4,000	0.25	3.93%	4.00%	
ELEERY	<i>Eleocharis erythropoda</i>	RED-ROOTED SPIKE RUSH	2	-5	OBL	2-4 (3)	N/A								78,000	1,000	0.06	0.98%	0.78%	
JUNEFF	<i>Juncus effusus</i>	COMMON RUSH	7	-5	OBL	1-3 (2)	N/A								1,000,000	1,000	0.06	0.98%	10.00%	
LEORY	<i>Leersia oryzoides</i>	RICE CUT GRASS	4	-5	OBL	3-5 (4)	N/A								34,000	6,000	0.38	5.90%	2.04%	
SCIATR	<i>Scirpus atrovirens</i>	DARK GREEN RUSH	4	-5	OBL	3-6 (5)	N/A								460,000	4,000	0.25	3.93%	18.40%	
SCIYCP	<i>Scirpus cyperinus</i>	WOOL GRASS	6	-5	OBL	3-5 (4)	N/A								1,700,000	2,000	0.13	1.97%	34.01%	
SCIYAC	<i>Scirpus validus creber</i>	GREAT BULRUSH	5	-5	OBL	4-7 (5.5)	N/A								31,000	4,000	0.25	3.93%	1.24%	
															Monocot Subtotals		2.22	34.89%	73.92%	
Flowers & Other Broadleaves (Dicots)																				
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX				
								A	M	J	J	A	S	O			by Weight	by Seed Count		
ACOCAL	<i>Acorus calamus</i>	SWEET FLAG	7	-5	OBL	1-3 (2)	Green								6,600	12,000	0.75	11.79%	0.79%	
AUSUB	<i>Alisma subcordatum</i>	COMMON WATER PLANTAIN	4	-5	OBL	1-3 (2)	White								60,000	4,000	0.25	3.93%	2.40%	
ASCINC	<i>Asclepias incarnata</i>	SWAMP MILKWEED	4	-5	OBL	3-5 (4)	Magenta								4,800	4,000	0.25	3.93%	0.19%	
BIDCR	<i>Bidens cernua</i>	NODDING BUR MARIGOLD	5	-5	OBL	2-4 (3)	Yellow								21,000	4,000	0.25	3.93%	0.84%	
BIDCR	<i>Bidens coronata</i>	TALL SWAMP MARIGOLD	9	-5	OBL	3-5 (4)	Yellow								6,500	2,000	0.13	1.97%	0.13%	
EUPMAM	<i>Eupatorium maculatum</i>	SPOTTED JOE PYE WEED	4	-5	OBL	4-7 (5)	Pink								95,000	0.7500	0.05	0.74%	0.71%	
HIBLAE	<i>Hibiscus laevis</i>	HALBERD-LEAVED ROSE MALLOW	6	-5	OBL	3-6 (5)	Pink								2,800	3,500	0.22	3.44%	0.10%	
IRIVIS	<i>Iris virginica shrevei</i>	BLUE FLAG	5	-5	OBL	2-4 (3)	Blue								1,000	14,000	0.88	13.76%	0.14%	
LUDALT	<i>Ludwigia alternifolia</i>	SEEDBOX	6	-5	OBL	2-4 (3)	Yellow								1,300,000	0.1250	0.01	0.12%	1.63%	
LYCAME	<i>Lycopus americanus</i>	COMMON WATER HOREHOUND	5	-5	OBL	1-3 (2)	White								130,000	0.2500	0.02	0.25%	0.33%	
LYTALA	<i>Lythrum alatum</i>	WINGED LOOSESTRIFE	7	-5	OBL	2-4 (3)	Purple								3,000,000	0.1250	0.01	0.12%	3.75%	
NIMRIN	<i>Nimulus ringens</i>	MONKEY FLOWER	6	-5	OBL	2-4 (2.5)	Purple								2,300,000	0.5000	0.03	0.49%	11.50%	
PONCOR	<i>Pontederia cordata</i>	PICKEREL WEED	10	-5	OBL	1-3 (2)	Purple								1,250	16,000	1.00	15.72%	0.20%	
SAGLAT	<i>Sagittaria latifolia</i>	COMMON ARROWHEAD	4	-5	OBL	2-4 (3)	White								61,000	4,000	0.25	3.93%	2.44%	
SOLRID	<i>Solidago rigida</i>	RIDGELL'S GOLDENROD	7	-5	OBL	2-4 (3)	Yellow								93,000	1,000	0.06	0.98%	0.93%	
															Dicot Subtotals		4.14	65.11%	26.08%	
															BASE MIX TOTALS		6.36	100.00%	100.00%	
Recommended Plug Species to Supplement Emergent Seed Mix																				
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					PLUGS/FLAT	FLATS/ACRE	PLUGS/ACRE	PLUGS/SE	% OF MIX by Seed Count			
								A	M	J	J	A	S	O						
CXEMOR	<i>Carex emoryi</i>	RIVERBANK SEDGE (S)	6	-5	OBL	2-4 (3)	N/A								38	43.0	1,634.00	0.04	0.02%	
LOBCAR	<i>Lobelia cardinalis</i>	CARDINAL FLOWER (1, 2, 4)	7	-5	OBL	3-5 (4)	Red								38	43.0	1,634.00	0.04	0.02%	
PELVIR	<i>Peltandra virginica</i>	ARROW ARUM (2, 3)	10	-5	OBL	2-5 (4)	Green								38	86.0	3,268.00	0.08	0.03%	
SPAEUR	<i>Sporanium eurycarpum</i>	COMMON BUR REED (1)	6	-5	OBL	3-5 (4)	White								38	86.0	3,268.00	0.08	0.03%	
																	258.0	9,804.00	0.23	0.10%
SUPPLEMENTED MIX STATISTICS																				
Base Seed Mix Including Supplemental Plugs																				
Number of Native Species in Mix			31	Some species are not appropriate for inclusion into a seed mix, however they may be very desirable to have in part of the permanent plant palette because of their ecological, habitat, and/or aesthetic value. The plug species listed above are appropriate for supplementing this seed mix. Following are the common plants EN NOT including these species within the seed mix: 1-Does not germinate well from seed in the field, 2-Seed is very expensive, 3-Low numbers of seeds per ounce, 4-Requires specialized microclimate, 5-Seed is not commercially available or is only available in small quantities																
Native FQI			31.8																	
Native Mean C Value			5.7																	
Native Mean W Value			-5.0																	
National Wetland Category			Obligate Wetland - Occurs almost always in wetlands under natural conditions (estimated >99% probability)																	

MIX STATISTICS	
Base Mix Without Supplemental Plugs	
Average Mix Height	4.15'
Median Mix Height	4.00'
Mix Height Mode (# of Occurrences in Mix)	4.0' (14), 3.0' (11), 5.0' (9), 7.0' (3), 1.0' (1) 2.0' (2), 6.0' (2), 8.0' (2), 3.5' (1), 2.5' (1)
Number of Native Species in Mix	47
Lbs/Acre of Native Seed	12.43
Proteapegs per Square Foot	221.02
Native TQI	39.7
Native Mean C Value	5.2
Native Mean W Value	1.9
Mix Description: Pizzo's Mesic-Wet Prairie Seed Mix is designed for sunny areas that are moist to fairly wet; without drying out completely. Certain species in this mix can take consistently saturated soils. Over 48% of this mix is composed of wildflowers that will provide an array of blooms from April through October. This is a medium-tall height prairie with over 41% of seeds typically averaging 3.0' high or less and just over 16% of seeds typically averaging 5.0' high or more at maturity. This mix can be supplemented with the recommended plug list provided below to add diversity, color, and resilience to the long-term health of your prairie.	

National Wetland Category		Facultative Wetland (-) - Usually occurs in wetlands, but occasionally found in non-wetlands (estimated 67% - 99% probability). The "-" sign denotes that this mk generally has a lesser estimated probability of occurring in																	
Grasses, Sedges, & Rushes (Monocots)																			
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT	COLOR	BLOOM TIME							SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX	
						Min-Max (Typical)		A	M	J	J	A	S	O				by Weight	by Seed Count
ANDRGF	<i>Andropogon gerardii</i>	BIG BLUESTEM GRASS	5	1	FAC-	6-8' (7')	N/A								10,000	24,000.0	1.50	12.0%	2.4%
CALCAN	<i>Calamagrostis canadensis</i>	BLUE JOINT GRASS	3	-5	OBL	3-5' (4')	N/A								280,000	2,000.0	0.13	1.0%	5.8%
CKBREV	<i>Carex brevior</i>	PLAINS OVAL SEDGE	4	-3	[FACU]	6"-18" (12")	N/A								29,000	2,000.0	0.13	1.0%	0.60%
CKSCOP	<i>Carex scoparia</i>	LANCE-FRUITED OVAL SEDGE	7	-3	FACW	1'-3' (2')	N/A								84,000	2,000.0	0.13	1.0%	1.74%
CKVULP	<i>Carex vulpinaea</i>	BROWN FOX SEDGE	2	-5	OBL	2-4' (3')	N/A								100,000	4,000.0	0.25	2.0%	4.15%
ELEACI	<i>Elyonchus acicularis</i>	NEEDLE SPIKE RUSH	2	-5	OBL	6-12" (8")	N/A								70,000	1,000.0	0.06	0.50%	0.83%
ELEERY	<i>Elyonchus erythropodus</i>	RED-ROOTED SPIKE RUSH	2	-5	OBL	2-4' (3')	N/A								78000	1,000.0	0.06	0.50%	0.71%
FLPVIR	<i>Flacca viridis</i>	VIRGINIA WILD REE	-2		FACW	2-4' (3')	N/A								4,200	32,400.0	2.00	16.0%	1.40%
GLYSTR	<i>Glyceria striata</i>	FOWL MANNA GRASS	4	-3	[FACW]	2-5' (3')	N/A								90,000	1,000.0	0.06	0.50%	0.93%
JINDUD	<i>Juncus dudleyi</i>	DUDLEY'S RUSH	4	0	[FAC]	1'-3' (2')	N/A								3,200,000	0.1250	0.01	0.06%	4.15%
JUNTOR	<i>Juncus torreyi</i>	TORREY'S RUSH	4	-3	FACW	6"-18" (12")	N/A								1,600,000	0.2500	0.02	0.13%	4.15%
PANVIR	<i>Panicum virgatum</i>	SWITCH GRASS	5	-1	FAC+	3-5' (4')	N/A								14,000	16,000.0	1.00	8.05%	2.33%
SCIATR	<i>Scirpus atrovirens</i>	DARK GREEN RUSH	4	-5	OBL	3-6' (5')	N/A								460,000	0.5000	0.03	0.25%	2.39%
SCICYP	<i>Scirpus cespitosus</i>	WOOL GRASS	6	-5	OBL	3-5' (4')	N/A								1,700,000	1.0000	0.06	0.50%	17.65%
SCORNU	<i>Scirpus nutans</i>	INDIAN GRASS	5	-2	FACW	3-7' (6')	N/A								12,000	18,000.0	1.00	8.05%	1.99%
SPEPEC	<i>Spartina pectinata</i>	PRAIRIE CORD GRASS	4	-4	FACW+	5-9' (7')	N/A								6,600	8,000.0	0.38	3.02%	0.41%
Monocot Subtotals															6.80	54.75%	51.76%		

ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME		SEEDS/FOZ	OZ/ACRE	LBS/ACRE	% OF MIX	
								A	M				J	J
ASCINC	<i>Asclepias incarnata</i>	SWAMP MILKWEED	4	-5	ORL	3-2 (4')	Magenta	4,800	6,000.00	0.38	3.02%	2.70%		
ASCIPUR	<i>Asclepias purpurascens</i>	PURPLE MILKWEED	8	-3	FACW	2-4 (3')	Purple	3,600	4,500.00	0.06	0.50%	0.05%		
ASTNOV	<i>Aster novae-angliae</i>	NEW ENGLAND ASTER	8	-3	FACW	4-6 (5')	Purple	6,800	4,000.25	0.25	2.01%	2.01%		
ASTUMB	<i>Aster umbellatus</i>	FLAT-TOP ASTER	9	-3	FACW	3-5 (4')	Cream	67,000	3,500.00	0.09	0.75%	1.04%		
BIDICR	<i>Bidens cernua</i>	NODDING BUR MARIGOLD	5	-5	ORL	2-4 (3')	Yellow	21,000	3,000.00	0.19	1.51%	0.65%		
BOLLAR	<i>Boltonia latifolia racemosa</i>	WILD SWEET	9	-5	ORBL	3-6 (5')	White	160,000	1,000.00	0.06	0.50%	1.66%		
CASHEB	<i>Cassia hebecarpa</i>	FALL SWEAT	9	-3	FACW	3-6 (5')	Yellow	9,400	2,000.00	0.06	0.53%	0.53%		
CDTRPP	<i>Carpaea trigynis</i>	TALL COROPHIS	5	0	FACW	5-8 (7')	Yellow	14,000	2,000.00	0.33	1.03%	0.29%		
DESCAA	<i>Desmodium canadense</i>	SHOWY TICK TREFLOI	4	1	FAC-	3-6 (5')	Purple	5,500	2,500.00	0.16	1.36%	0.14%		
ECHPUR	<i>Echinacea purpurea</i>	PURPLE CONEFLOWER	3	5	UPL	2-5 (4')	Purple	6,600	8,000.00	0.50	4.02%	0.55%		
ERYULC	<i>Eryngium yuccifolium</i>	RATTLE SNAKE MASTER	9	-1	FAC+	2-5 (4')	White	7,500	3,000.00	0.19	1.51%	0.23%		
EUPIANR	<i>Eupatorium maculatum</i>	SPOTTED OIL PYE WEEED	4	-5	ORL	4-6 (5')	White	2,500	2,500.00	0.16	2.47%	0.16%		
EUPRER	<i>Eurostium perfoliatum</i>	COMMON ROMESST	4	-4	FACW+	3-6 (4')	White	160,000	1,000.00	0.06	0.50%	1.66%		
HELAUT	<i>Helianthus autumnale</i>	SNEEZEWEED	5	-4	FACW+	2-5 (4')	Yellow	130,000	1,000.00	0.06	0.50%	1.35%		
IRIVIS	<i>Iris virginica shrevei</i>	BLUE FLAG	5	-5	ORL	2-4 (3')	Blue	1,000	8,000.00	0.50	4.02%	0.08%		
LOBESP	<i>Lobelia spicata</i>	GREAT BLUE LOBELIA	6	-4	FACW+	2-4 (3')	Purple	500,000	1,000.00	0.06	0.50%	1.51%		
MAMRIN	<i>Mimulus ringens</i>	MONKEY FLOWER	6	-5	ORL	2-4 (2.5')	Blue	2,300	4,000.00	0.50	0.25%	11.99%		
MONTYS	<i>Monsarda fruticulosa</i>	WILD BERGAMOT	3	-3	FACU	3-5 (4')	Purple	30,000	3,000.00	0.19	2.48%	0.19%		
PENDOG	<i>Pensamenia digitalis</i>	FOGFOGUE BEARD TONGUE	4	-1	FAC-	2-5.5 (3.5')	Purple	130,000	4,000.25	0.25	2.01%	5.40%		
PHYVIV	<i>Phytostegia virginiana</i>	OBEDIENT PLANT	6	-5	ORL	3-5 (4')	White	11,000	3,000.00	0.19	1.51%	0.34%		
PCVYCR	<i>Pycnanthemum virginianum</i>	COMMON MOUNTAIN MINT	5	-4	FACW+	1-4 (3')	White	22,000	0.5000	0.03	0.25%	1.14%		
RUDSPS	<i>Rudbeckia speciosa sullivantii</i>	SHOWY BLACK EYED SUSAN	8	-3	FACW	2-4 (3')	Yellow	27,100	4,000.25	0.25	2.01%	1.31%		
RUDPUR	<i>Rudbeckia subtomentosa</i>	SWEET BLACK EYED SUSAN	8	-3	FACU	2-4 (3')	Yellow	22,000	4,000.25	0.13	1.01%	0.89%		
RUDTRI	<i>Rudbeckia triloba</i>	BROWN EYED SUSAN	3	1	FAC-	4-6 (5')	Yellow	34,000	2,000.00	0.13	1.01%	0.71%		
SHLAC	<i>Silphium laciniatum</i>	COMPASS PLANT	5	5	UPL	6-9 (8')	Yellow	660	1,000.00	0.06	0.50%	0.03%		
SILPER	<i>Silphium perfoliatum</i>	CUP PLANT	5	-2	FACW-	5-10 (8')	Yellow	1,400	0.5000	0.02	0.13%	0.00%		
SOLGRG	<i>Solidago canadensis</i>	COMMON GRASS-LEAFED GOLDENROD	4	-2	FACW-	2-4 (3')	Yellow	350,000	0.2500	0.03	0.25%	1.62%		
SOLRID	<i>Solidago rigida</i>	NEEDLE'S GOLDENROD	5	-5	ORL	2-4 (3')	Yellow	21,000	1,000.00	0.06	0.50%	0.97%		
SOLRIG	<i>Solidago rigida</i>	STIFF GOLDENROD	4	-4	FACU	3-6 (4')	Yellow	41,000	2,000.00	0.13	1.01%	0.85%		
THADAD	<i>Thalictrum dasycarpum</i>	PURPLE MEADOW RUE	5	-2	FACW	4-7 (6')	Cream	11,000	2,5					

ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME							PLUGS/FAT	FLATS/ ACRE	PLUGS/ ACRE	PLUGS/ SE	% OF MIX by Seed Count
								A	M	J	J	A	S	D					
CASHEI	<i>Cassia hebertiana</i>	WILD SOYBEAN [3]	9	-3	FACW	3-6 (5")	Yellow								38	15.0	5.70	0.01	0.01%
FLURIE	<i>Elaeagnus latifolia</i>	QUEEN OF THE PRAIRIE [1, 2, 5]	10	-3	OHL	1-2 (1")	Pink								38	20.0	760.0	0.02	0.01%
GENDAN	<i>Gentiana andrewsii</i>	BOTTLE GENTIAN [1, 2, 4]	8	-3	FACW	1.3 (2")	Blue								38	15.0	760.0	0.01	0.01%
HUIRUK	<i>Heuchera richardsonii</i>	PRAIRIE ALUM ROOT [1, 2]	8	1	FAC-	1-3 (2")	Green								38	15.0	760.0	0.01	0.01%
LAPUC	<i>Lesqueris sylvatica</i>	PRAIRIE BLAZING STAR [1, 2]	8	1	FAC-	1-2 (1.5")	Magenta								38	43.0	1,634.00	0.04	0.02%
LASH	<i>Lythris spicata</i>	MARSH BLAZING STAR [1, 2]	8	0	FAC+	3-5 (4")	Purple								38	86.0	3,298.00	0.08	0.04%
NAPIDO	<i>Rapanea dielska</i>	GLADE MALLOW [1, 3]	10	-2	FACW-	5-8 (7")	White								38	20.0	760.0	0.02	0.01%
ONOSEN	<i>Oenothera sensibilis</i>	SENSITIVE FERN [5]	8	0	FAC-	1-2 (1.5")	N/A								1	150.0	1,500.00	0.00	0.00%
ROSSET	<i>Rosa setigera</i>	ILLINOIS ROSE [1, 2, 3, 5]	7	2	FACU+	5-17 (6")	Pink								1	25.0	25.00	0.00	0.00%
VERVIR	<i>Vernonia virginicum</i>	CULVER'S ROOT [1, 1]	7	0	FAC	2-5 (3")	White								38	43.0	1,634.00	0.04	0.02%
																422.0	9,561.00	0.27	0.10%

Base Seed Mix Including Supplemental Plugs		
Number of Native Species in Mix	56	Some species are not appropriate for inclusion into a seed mix, however they may be very desirable to have as part of the permanent plant matrix because of their ecological, habitat, and/or aesthetic value. The plug species listed above are appropriate for supplementing this seed mix. Following are the common reasons for not including these species within the seed mix: 1-Does not germinate well from seed in the field, 2-Seed is very expensive, 3-Low number of seeds per ounce, 4-Requires specialized microclimate,
Native TQI	42.4	
Native Mean C Value	5.7	
Native Mean W Value	-1.7	-Seed is not commercially available or is only available in small quantities
National Wetland Category	Facultative Wetland (F) - Usually occurs in wetlands, but occasionally found in non-wetlands (estimated 67% - 99%). The "F" sign denotes that this mix generally has a lesser estimated probability of occurring in wetlands than the "Facultative Wetland" general indicator, but a greater estimated probability of occurring in wetlands than a mix having the "Facultative" general indicator.	

- 1.) Pizzo recommends installing a Mycorrhizal Inoculant with the above seed mix at 40 lbs/acre
- 2.) For spring planting, Pizzo recommends installing a cover crop of Seed Oats (*Avena sativa*) with the above seed mix at 40 lbs/acre
- 3.) For fall planting, Pizzo recommends install a cover crop of ReGreen (a Winter Wheat x Wheatgrass Sterile Hybrid) with the above mix at 50 lbs/acre
- 4.) **At no time should Annual nor Perennial Rye (*Lolium multiflorum* or *perenne*) be utilized as a cover crop**



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Savanna Seed Mix (Mesic Soils)

MIX STATISTICS																				
Base Mix With/ Supplemental Plugs																				
Average Mix Height			3.12'		Mix Description: Pizzo's Savanna Seed Mix is designed for areas with scattered native trees (typically 5-7 trees/acre) that provide light - part shade and have soils that remain basic - dry for most of the growing season. This mix will help establish a historic native ground plane when re-creating the picturesque open tree native savannas that were so heavily sought after by the pioneers as they made their way west. Over 47% of this mix is composed of wildflowers that will provide an array of blooms from April through October. This is a short - medium height prairie with over 72% of seeds typically averaging 3.0" high or less at maturity. Pizzo highly recommends that this seed mix be supplemented with the recommended plug listed provided below to add diversity, color, and resilience to the long-term health of your savanna, especially in order to establish many of the spring ephemeral wildflowers historically associated with the savanna ecosystem.															
Median Mix Height			3.00'																	
Mix Height Mode (% of Occurrences in Mix)			3.0' (14), 2.0' (9), 4.0' (4), 5.0' (3), 3.5' (1), 6.0' (2), 2.5' (2), 1.5' (0)																	
Number of Native Species in Mix			39																	
Lbs/Acre of Native Seed			22.33																	
Proportions per Square Foot			110.62																	
Native IQI			13.5																	
Native Mean C Value			5.4																	
Native Mean W Value			3.6																	
National Wetland Category			Facultative Upland (-) - Occasionally occurs in wetlands, but usually occur in non-wetlands (estimated 1% - 33% probability). The "-" sign denotes that this mix generally has a lesser estimated probability of occurring in																	
Grasses, Sedges, & Rushes (Monocots)																				
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX				
								A	M	J	J	A	S	O		by Weight	by Seed Count			
ANDCO	<i>Andropogon scoparius</i>	LITTLE BLUESTEM GRASS	5	4	FACU	2-3' (3)	N/A								15,000	128,000	8.00	35.83%		
ELYCAN	<i>Elymus canadensis</i>	CANADA WILD RYE	4	1	FAC	2-5' (3.5)	N/A								5,200	64,000	4.00	17.91%		
ELYVIR	<i>Elymus virginicus</i>	VIRGINIA WILD RYE	4	2	FACW	3-5' (4)	N/A								4,700	32,000	2.00	8.96%		
HYSPAT	<i>Hystrix patula</i>	BOTTLEBRUSH GRASS	5	5	UPL	2-5' (3.5)	N/A								7,600	16,000	1.00	4.48%		
															Monocot Subtotals		15.00	67.18%	52.07%	
Flowers & Other Broadleaves (Dicots)																				
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX				
								A	M	J	J	A	S	O		by Weight	by Seed Count			
ALLCAN	<i>Allium canadense</i>	WILD GARLIC	2	3	FACU	1-2' (1.5)	Pink								560	16,000	1.00	4.48%		
ALLCER	<i>Allium cernuum</i>	NODDING WILD ONION	7	1	[FAC-]	1-2' (1.5)	Pink								7,600	2,000	0.13	0.56%		
ANECYL	<i>Anemone cylindrica</i>	THIMBLEWEED	6	5	UPL	3-3' (2)	White								26,000	1,000	0.06	0.28%		
AQUCAN	<i>Aquilegia canadensis</i>	WILD COLUMBINE	6	1	FAC	2-4' (3)	Red								38,000	1,000	0.06	0.28%		
ASTCTB	<i>Asclepias tuberosa</i>	BUTTERFLY WEED	7	5	UPL	1-3.5' (2.5)	Orange								4,300	4,000	0.25	1.12%		
ASTAZU	<i>Aster aureus</i>	SKY BLUE ASTER	8	5	UPL	2-5' (3)	Blue								80,000	2,000	0.13	0.56%		
ASTLAS	<i>Aster laevis</i>	SMOOTH BLUE ASTER	9	5	UPL	2-5' (4)	Blue								55,000	0.2500	0.02	0.07%		
ASTSAS	<i>Aster sagittifolius</i>	ARROW-LEAVED ASTER	5	5	UPL	2-4' (3)	Blue								135,000	0.5000	0.03	0.14%		
ASTSHO	<i>Aster shortii</i>	SHORT'S ASTER	8	5	UPL	2-4' (3)	Blue								60,000	1,000	0.06	0.28%		
CACATR	<i>Cacalia atriplicifolia</i>	PALE INDIAN PLANTAIN	8	5	UPL	4-8' (6)	White								6,000	1,000	0.06	0.28%		
CRPAL	<i>Coropis palmata</i>	PRAIRIE COROPIS	6	5	UPL	1-2.5' (2)	Yellow								10,000	2,000	0.13	0.56%		
DESGLU	<i>Desmodium glutinosum</i>	POINTED TAIL TREFOIL	5	5	UPL	1-3' (2)	Pink								840	8,000	0.50	2.24%		
ECHPUR	<i>Echinacea purpurea</i>	PURPLE CONEFLOWER	3	5	UPL	2-5' (4)	Purple								6,600	6,000	0.38	1.68%		
EUPCOR	<i>Euphorbia corollata</i>	FLOWERING SPURGE	2	5	UPL	1-4' (3)	White								8,000	1,250	0.08	0.35%		
GERMAC	<i>Gernium maculatum</i>	WILD GERANIUM	4	5	[UPL-]	1-3' (2)	Purple								5,000	2,000	0.13	0.56%		
HELDOU	<i>Helianthus divaricatus</i>	WOODLAND SUNFLOWER	5	5	UPL	4-7' (6)	Yellow								5,000	2,000	0.13	0.56%		
HELSTR	<i>Helianthus strumosus</i>	PALE-LEAVED SUNFLOWER	5	5	UPL	2-4' (3)	Yellow								4,200	2,250	0.14	0.63%		
LESCAP	<i>Lespedeza capitata</i>	ROUND-HEADED BUSH CLOVER	4	3	FACU	2-4' (3)	Green								8,000	1,250	0.08	0.35%		
LIASPP	<i>Liatris aspera</i>	ROUGH BLAZING STAR	6	5	UPL	2-5.5' (3)	Purple								16,000	2,000	0.13	0.56%		
MONHIS	<i>Monarda fistulosa</i>	WILD BERGAMOT	4	3	FACU	3-5' (4)	Purple								70,000	2,000	0.13	0.56%		
MONPUN	<i>Monarda punctata</i>	HORSE MINT	5	5	UPL	1-3' (2)	Purple								90,000	1,000	0.06	0.28%		
PENDIG	<i>Penstemon digitalis</i>	FOXGLOVE BEARD TONGUE	4	1	FAC	2-5.5' (3.5)	White								130,000	1,500	0.09	0.42%		
RATPIN	<i>Ratibida pinnata</i>	YELLOW CORNFLOWER	4	5	UPL	3-6' (5)	Yellow								30,000	6,000	0.38	1.68%		
RUDSUB	<i>Rudbeckia subtomentosa</i>	SWEET BLACK-EYED SUSAN	9	2	FACU+	3-6' (5)	Yellow								43,000	2,000	0.13	0.56%		
SILSTE	<i>Silene stellata</i>	STARRY CAMPION	6	5	UPL	2-4' (3)	White								30,000	1,500	0.09	0.42%		
SMIRAC	<i>Smilacina racemosa</i>	FEATHERY FALSE SOLOMON'S SEAL	3	3	FACU	1-3' (2)	White								400	16,000	1.00	4.48%		
SMISTE	<i>Smilacina stellata</i>	STARRY FALSE SOLOMON'S SEAL	5	1	FAC	1-3' (2)	White								400	16,000	1.00	4.48%		
SOLCAE	<i>Solidago canadensis</i>	BLUE-STEMMED GOLDENROD	7	3	FACU	1-3' (2)	Yellow								545,000	1,250	0.08	0.35%		
SOLJUN	<i>Solidago juncea</i>	EARLY GOLDENROD	5	5	UPL	2-4' (3)	Yellow								290,000	0.2500	0.02	0.07%		
SOLSPE	<i>Solidago speciosa</i>	SHOWY GOLDENROD	7	5	UPL	3-6' (5)	Yellow								95,000	1,000	0.06	0.28%		
SOLULM	<i>Solidago ulmifolia</i>	ELM-LEAVED GOLDENROD	5	5	UPL	1-3' (2.5)	Yellow								130,000	0.2500	0.02	0.07%		
THADIO	<i>Thalictrum discolor</i>	EARLY MEADOW RUE	7	2	FACU+	1-3' (2)	Green								7,300	4,000	0.25	1.12%		
TRACHO	<i>Tradescantia ohioensis</i>	COMMON SPIDERWORT	2	2	FACU+	2-4' (3)	Blue								8,000	3,000	0.19	0.84%		
ZIZAUR	<i>Zizia aurea</i>	GOLDEN ALEXANDERS	7	1	FAC+	2-4' (3)	Yellow								11,000	6,000	0.38	1.68%		
															Dicot Subtotals		7.33	32.92%	47.93%	
															BASE MIX TOTALS		22.33	100.00%	100.00%	
Recommended Plug Species to Supplement Savanna Seed Mix																				
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					PLUGS/FLAT	FLATS/ACRE	PLUGS/ACRE	PLUGS/SE	% OF MIX			
								A	M	J	J	A	S	O			by Seed Count			
ANECYL	<i>Anemone virginiana</i>	TALL ANEMONE (2, 3)	5	5	UPL	2-4' (3)	White								38	20.0	760.00	0.02	0.02%	
ASTLIN	<i>Aster linifolius</i>	FLAX-LEAVED ASTER (2, 3, 5)	10	5	UPL	1-2' (1.5)	Purple								38	20.0	760.00	0.02	0.02%	
COBLEN	<i>Carex blanda</i>	COMMON WOOD SEDGE (5)	1	0	FAC	2-3' (0.5)	N/A								38	43.0	1,634.00	0.04	0.03%	
COFENS	<i>Carex pensylvanica</i>	COMMON OAK SEDGE (1, 2, 5)	1	5	UPL	6-12" (8")	N/A								38	86.0	3,268.00	0.08	0.07%	
COXOSE	<i>Carex osea</i>	CURLY-STYLED WOOD SEDGE (2)	4	5	UPL	1-2' (1")	N/A								38	43.0	1,634.00	0.04	0.03%	
CEAAME	<i>Ceanothus americanus</i>	NEW JERSEY TEA (1, 3)	6	5	UPL	1-3' (2)	White								38	10.0	380.00	0.01	0.01%	
DOIMLA	<i>Dodecatheon meadia</i>	SHOOTING STAR (1, 2)	6	3	FACU	1-2' (1.5)	Pink								38	86.0	3,268.00	0.08	0.07%	
ELVALB	<i>Elythronium albidum</i>	WHITE TROUT LILY (5)	5	5	UPL	4-8' (6")	White								38	86.0	3,268.00	0.08	0.07%	
GENAND	<i>Gentiana andrewsii</i>	BOTTLE GENTIAN (1, 2, 4)	8	3	FACW	1-3' (2)	Blue								38	20.0	760.00	0.02	0.02%	
HEURIC	<i>Heuchera richardsonii</i>	PRAIRIE ALUM ROOT (1, 2)	8	1	FAC	1-3' (2)	Green								38	15.0	570.00	0.01	0.01%	
PERPAL	<i>Penstemon palidus</i>	PALE BEARD TONGUE (5)	6	5	UPL	1-2' (1")	Cream								38	20.0	760.00	0.02	0.02%	
PHILDIV	<i>Phlox divaricata</i>	WOODLAND PHLOX (1, 2, 5)	5	3	FACU	1-2' (1)	Blue								38	86.0	3,268.00	0.08	0.07%	
PHILPH	<i>Phlox pilosa</i>	SAND PRAIRIE PHLOX (2)	7	1	FAC	1-3' (2)	Pink								38	86.0	3,268.00	0.08	0.07%	
POLREP	<i>Potentillum reptans</i>	JACOB'S LADDER (2, 3)	5	0	FAC	1-2' (1)	Blue								38	86.0	3,268.00	0.08	0.07%	
POLCAL	<i>Polygonatum commutatum</i>	SMOOTH SOLOMON'S SEAL (3)	3	3	FACU	2-4' (3)	Green								1	100.0	100.00	0.00	0.00%	
ROSCAR	<i>Rosa carolina</i>	PASTURE ROSE (1, 3)	5	4	FACU	1-3' (2)	Pink								1	25.0	25.00	0.00	0.00%	
ROSSET	<i>Rosa setigera</i>	ILLINOIS ROSE (1, 2, 3, 5)	7	2	FACU+	5-8' (6)	Pink								1	15.0	15.00	0.00	0.00%	
SISTPA	<i>Stipa spartea</i>	PORCUPINE GRASS (1, 3)	7	5	UPL	3-5' (4)	N/A								38	43.0	1,634.00	0.04	0.03%	
TRIREC	<i>Trillium recurvatum</i>	RED TRILLIUM (5)	5	4	FACU	1-2' (1.5)	Red								1	150.0	150.00	0.00	0.00%	
VIOPEL	<i>Viola pedata lineariloba</i>	BIRD'S FOOT VIOLET (1, 5)	9	5	UPL	2-6" (3")	Purple								38	86.0	3,268.00	0.08	0.07%	
															Supplemental Mix Totals		1106.0	31,298.00	0.72	0.65%
SUPPLEMENTED MIX STATISTICS																				
Base Seed Mix Including Supplemental Plugs																				
Number of Native Species in Mix			58		Supplement Mix: Some species are not appropriate for inclusion into a seed mix, however they may be very desirable to have as part of the permanent plant matrix because of their ecological, habitat, and/or aesthetic values. The plug species listed above are appropriate for supplementing this seed mix. Following are the common reasons for not including these species within the seed mix: 1. Does not germinate well from seed in the field, 2. Seed is very expensive, 3. Low number of seeds per cove, 4. Requires specialized microclimate, 5. Seed is not commercially available or is only available in small quantities.															
Native IQI			42.1																	
Native Mean C Value			5.5																	
Native Mean W Value			3.4																	
National Wetland Category			Facultative Upland - Occasionally occurs in wetlands, but usually occur in non-wetlands (estimated 1% - 33% probability)																	



Tallgrass Prairie Seed Mix (Mesic Soils)

MIX STATISTICS	
Base Mix Without Supplemental Plugs	
Average Mix Height	3.7'
Median Mix Height	3.5'
Mix Height Mode (# of Occurrences in Mix)	3.0' (11), 5.0' (9), 4.0' (8), 2.0' (8), 2.5' (3), 3.5' (3), 6' (3), 1.5' (2), 7.0' (1), 8.0' (1), 9.0'
Number of Native Species in Mix	50
Lbs/Acre of Native Seed	28.26
Proseguels per Square Foot	147.61
Native FCI	42.3
Native Mean C Value	6.0
Native Mean W Value	3.3
National Wetland Category	Facultative Upland - Occasionally occurs in wetlands, but usually occur in non-wetlands (estimated 1% - 33% probability)

Grasses, Sedges, & Rushes (Monocots)													
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					
								A	M	J	J	A	S
ANDGR	<i>Andropogon gerardii</i>	BIG BLUESTEM GRASS	5	1	FAC-	6-8' (7')	N/A						
ANDSCU	<i>Andropogon scoparius</i>	LITTLE BLUESTEM GRASS	5	4	FACU-	2-3' (3')	N/A						
BOULCUR	<i>Bouteloua curtipendula</i>	SIDE-OATS GRAMA	8	5	UPL	2-3' (2.5')	N/A						
ELYCAN	<i>Elymus canadensis</i>	CANADA WILD RYE	4	1	FAC-	2-5' (3.5')	N/A						
PANVIR	<i>Panicum virgatum</i>	SWITCH GRASS	5	-1	FAC+	3-5' (4')	N/A						
SORNRIT	<i>Sorghastrum nutans</i>	INDIAN GRASS	5	-2	FACU+	3-7' (6')	N/A						
												Monocot Subtotals	
												18.50	65.47%


Flowers & Other Broadleaves (Dicots)													
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					
								A	M	J	J	A	S
ALLCE	<i>Allium cernuum</i>	NODDING WILD ONION	7	1	(FAC)	1-2' (1.5')	Pink						
AMOCAN	<i>Amorpha canescens</i>	LEAD PLANT	9	5	UPL	1-3' (3')	Purple						
ASCUL	<i>Asclepias sullivantii</i>	PIRAIRIE MILKWEED	8	5	UPL	2-5' (3.5')	Pink						
ASCYSR	<i>Asclepias syriaca</i>	COMMON MILKWEED	0	5	UPL	2-5' (3')	Purple						
ASCUB	<i>Asclepias tuberosa</i>	BUTTERFLY WEEED	7	5	UPL	1-3' (2.5')	Orange						
ASTAZU	<i>Aster azureus</i>	SKY-BLUE ASTER	8	5	UPL	2-5' (3')	Blue						
ASTERI	<i>Aster ericoides</i>	HEATH ASTER	5	4	FACU-	1-3' (2')	White						
ASTLAE	<i>Aster laevis</i>	SMOOTH BLUE ASTER	9	5	UPL	2-5' (4')	Blue						
ASTNOV	<i>Aster novae-angliae</i>	NEW ENGLAND ASTER	4	-1	FACW	4-6' (5')	Purple						
ASTCAN	<i>Aster canadensis</i>	CANADIAN MILK VETCH	10	5	(UPL)	2-4' (3')	Cream						
BAPILA	<i>Baptisia laurifolia</i>	WHITE WILD INDIGO	8	2	FACU+	2-5' (4')	White						
CACATR	<i>Cassia altissima</i>	PALE BROWN PLANTAIN	8	5	UPL	4-8' (6')	White						
CASFAS	<i>Cassia fasciculata</i>	PARTRIDGE PEA	5	4	FACU-	1-3' (2')	Yellow						
CORPAL	<i>Carex palmata</i>	PIRAIRIE COROLPSIS	6	5	UPL	1-2' (2')	Yellow						
DESILL	<i>Desmanthus illinoensis</i>	ILLINOIS SENSITIVE PLANT	3	5	UPL	2-5' (4')	Yellow						
DESCAA	<i>Desmodium canadense</i>	SHOWY TICK TREFOLI	4	1	FAC-	3-6' (5')	Purple						
DESLE	<i>Desmodium illinoense</i>	ILLINOIS TICK TREFOLI	6	UPL	3-6' (5')	Purple							
ETHPAL	<i>Echinacea pallida</i>	PALE PURPLE CONEFLOWER	8	5	UPL	2-4' (3')	Pink						
ERYUL	<i>Eryngium yuccifolium</i>	RATTLESNAKE MASTER	9	-1	FAC+	2-5' (4')	White						
EUPCOR	<i>Euphorbia corollata</i>	FLOWERING SPURGE	2	5	UPL	1-4' (3')	White						
HELRI	<i>Helianthus rigatus</i>	PIRAIRIE SUNFLOWER	8	5	UPL	3-6' (5')	Yellow						
HELHEL	<i>Helianthus scaberrimus</i>	FALSE SUNFLOWER	5	5	UPL	3-6' (5')	Yellow						
LESCAP	<i>Lespedeza capitata</i>	ROUND-HEADED BUSH CLOVER	4	3	FACU	2-4' (3')	Green						
LIASPP	<i>Liatris spicata</i>	ROUGH BLAZING STAR	6	5	UPL	2-5' (3')	Purple						
MONFIS	<i>Monarda fistulosa</i>	WILD BERGAMOT	4	3	FACU	3-5' (4')	Purple						
PARINT	<i>Parthenium integrifolium</i>	WILD GUININE	8	5	UPL	3-5' (4')	White						
PENDIG	<i>Penstemon digitalis</i>	FOXGLOVE BEARD TONGUE	4	1	FAC-	2-5' (3.5')	White						
PEMHIR	<i>Penstemon hirsutus</i>	HAIRY BEARD TONGUE	9	5	UPL	1-3' (1.5')	Purple						
PETPUR	<i>Petrorhiza purpureum</i>	PURPLE PRAIRIE CLOVER	9	5	UPL	1-5' (2')	Purple						
PHILIP	<i>Phlox pilosa</i>	SAND PRAIRIE PHLOX	7	1	FAC-	1-3' (2')	Pink						
POTARI	<i>Potentilla arguta</i>	PIRAIRIE CINQUEFOIL	9	4	FACU-	1-3' (2')	Yellow						
RATPIN	<i>Ratibida pinnata</i>	YELLOW CONE-FLOWER	4	5	UPL	3-6' (5')	Yellow						
RUDHIR	<i>Rudbeckia hirta</i>	BLACK-EYED SUSAN	1	3	FACU	2-3' (2.5')	Yellow						
RUDSIB	<i>Rudbeckia subtomentosa</i>	SWEET BLACK-EYED SUSAN	5	2	FACU+	3-6' (5')	Yellow						
SILINI	<i>Silphium laciniatum</i>	ROBIN WEDD	5	5	UPL	2-6' (5')	Yellow						
SILLAC	<i>Silphium laciniatum</i>	COMPASS PLANT	5	5	UPL	6-9' (8')	Yellow						
SILTER	<i>Silphium terebinthinaceum</i>	PIRAIRIE DOCK	5	3	FACU	6-12' (9')	Yellow						
SOLRIG	<i>Solidago rigida</i>	STIFF GOLDENROD	4	4	FACU	3-6' (4')	Yellow						
SOLSPS	<i>Solidago speciosa</i>	SHOWY GOLDENROD	7	5	UPL	3-6' (5')	Yellow						
THADAD	<i>Thalictrum dasycarpum</i>	PURPLE MEADOW RUE	5	-2	FACW	4-7' (6')	Cream						
TRACHH	<i>Tradescantia virginiana</i>	COMMON SPIDERWORT	2	2	FACU+	2-4' (3')	Blue						
VERSTR	<i>Veronica stricta</i>	HOARY VERVAIN	4	5	UPL	1-3' (2')	Blue						
ZIZAPT	<i>Zizia aurea</i>	HEART-LEAVED MEADOW PARSNIP	10	3	FACU	1-3' (2')	Yellow						
ZIZAUR	<i>Zizia aurea</i>	GOLDEN ALEXANDERS	7	-1	FAC+	2-4' (3')	Yellow						
												Dicot Subtotals	
												9.76	34.53%
												BASE MIX TOTALS	28.26 100.00%

Recommended Plug Species to Supplement Tallgrass Prairie Seed Mix													
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					
								A	M	J	J	A	S
DODMEA	<i>Dodecatheon meadia</i>	SHOOTING STAR (1, 2)	6	3	FACU	1-2' (1.5')	Pink						
GENAND	<i>Gentiana andrewsii</i>	BOTTLE GENTIAN (1, 2-4)	8	-3	FACW	1-3' (2')	Blue						
GENFLA	<i>Gentiana flava</i>	YELLOWISH GENTIAN (1, 4)	9	3	FACU	2-4' (3')	Cream						
GENPUB	<i>Gentiana puberulenta</i>	PIRAIRIE GENTIAN (1, 2-4, 5)	10	5	UPL	6"-2' (1')	Blue						
GEUTRI	<i>Geum triflorum</i>	PIRAIRIE SMOKE (1, 2)	10	5	(UPL)	6-12" (9")	Pink						
HEUCHER	<i>Heuchera richardsonii</i>	PIRAIRIE ALUM ROOT (1, 2)	8	1	FAC-	1-3' (2')	Green						
LIAPYC	<i>Liatris pycnostachya</i>	PIRAIRIE BLAZING STAR (1, 2)	8	1	FACU	1-2' (1.5')	Magenta						
ROSSLA	<i>Rosa blanda</i>	EARLY WILD ROSE (1, 3)	5	3	FACU	3-6' (5')	Pink						
SPOHET	<i>Sporobolus heterolepis</i>	PIRAIRIE DROPSIED (1, 2)	10	4	FACU	1-2' (1.5')	N/A						
VERVIR	<i>Veronicastrum virginicum</i>	CULVER'S ROOT (1)	7	0	FACU	2-5' (3')	White						
												426.0	15,263
												0.35	0.24%

SUPPLEMENTED MIX STATISTICS	
Base Seed Mix Including Supplemental Plugs	
Number of Native Species in Mix	60
Native FCI	48.5
Native Mean C Value	6.3
Native Mean W Value	3
National Wetland Category	Facultative Upland - Occasionally occurs in wetlands, but usually occur in non-wetlands (estimated 1% - 33% probability)

Notes:

- 1.) Pizzo recommends installing a Mycorrhizal inoculant with the above seed mix at 40 lbs/acre
- 2.) For spring planting, Pizzo recommends installing a cover crop of Seed Oats (*Avena sativa*) with the above seed mix at 40 lbs/acre
- 3.) For fall planting, Pizzo recommends installing a cover crop of ReGreen (a Winter Wheat x Wheatgrass Sterile Hybrid) with the above mix at 50 lbs/acre
- 4.) **At no time should Annual nor Perennial Rye (*Lolium multiflorum* or *perenne*) be utilized as a cover crop**

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Wetland Seed Mix (Saturated Soils)																			
MIX STATISTICS																			
Base Mix Without Supplemental Plugs																			
Average Mix Height			3.52'																
Median Mix Height			3.89'																
Mix Height Mode (if of Occurrences in Mix)			3.0' (13), 4.0' (11), 5.0' (9), 2.0' (9), 1.0' (2), 8.0' (1), 7.0' (1), 2.5' (1)																
Number of Native Species in Mix			47																
Lbs/Acre of Native Seed			7.96																
Proteogules per Square Foot			312.91																
Native FQI			35.4																
Native Mean C Value			5.2																
Native Mean W Value			4.2																
National Wetland Category			Facultative Wetland (+). Usually occurs in wetlands, but occasionally found in non-wetlands (estimated 67% - 99% probability). The "+" sign denotes that this mix generally has a greater estimated probability of occurring in wetlands than the "Facultative" general indicator, but a lesser estimated probability of occurring in wetlands than a mix having the "Facultative Wetland" general indicator.																
Grasses, Sedges, & Rushes (Monocots)																			
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX			
								A	M	J	J	A	S	O		by Weight	by Seed Count		
CAUCAN	Calamagrostis canadensis	BLUE JOINT GRASS	3	-5	ORL	3-5 (4')	N/A								280,000	1,000.00	0.06	0.78%	
CCOMCO	Carex comosa	CRISTED SEDGE	5	-5	ORL	1-3 (2')	N/A								30,000	1,000.00	0.06	0.78%	
CCRIS	Carex crinitata	CRISTED OVAL SEDGE	4	-4	FACW+	2-4 (3')	N/A								58,000	0.5000	0.03	0.39%	
CCFRAN	Carex frankii	BRISTLY CATTAIL SEDGE	8	-5	ORL	1-3 (2')	N/A								17,000	2,500.00	0.16	1.96%	
CHYST	Carex hystericina	PORCUPINE SEDGE	5	-5	ORL	2-4 (3')	N/A								30,000	1,500.00	0.09	1.18%	
CKLUB	Carex lurida	BOTTLEBRUSH SEDGE	8	-5	ORL	2-4 (3')	N/A								12,000	3,000.00	0.19	2.35%	
CCSCOP	Carex scoparia	LANCE- FRUITED OVAL SEDGE	7	-3	FACW	1-3 (2')	N/A								84,000	3,000.00	0.19	2.35%	
CKSTIP	Carex stipata	COMMON FOX SEDGE	3	-5	ORL	2-4 (3')	N/A								34,000	1,000.00	0.06	0.78%	
CKVILP	Carex vulpina	BROWN FOX SEDGE	2	-5	ORL	2-4 (3')	N/A								100,000	2,000.00	0.13	1.57%	
ELFACI	Elaechara acicularis	NEEDLE SPIKE RUSH	2	-5	ORL	6-12' (8')	N/A								70,000	0.7500	0.05	0.59%	
ELERY	Elaechara erythropoda	RED-ROOTED SPIKE RUSH	2	-5	ORL	2-4 (3')	N/A								780,000	1,000.00	0.06	0.78%	
ELVIR	Elymus virginicus	VIRGINIA WILD RYE	4	-2	FACW	3-5 (4')	N/A								4,200	32,000.00	2.00	25.11%	
GLVSTR	Glyceria striata	FOWL MANNA GRASS	4	-3	[FACW]	2-4 (3')	N/A								90,000	1,000.00	0.06	0.78%	
JUNDUD	Juncus dudleyi	DUDLEY'S RUSH	4	0	[FAC]	1-3 (2')	N/A								3,200,000	0.5000	0.03	0.39%	
JUNEFF	Juncus effusus	COMMON RUSH	7	-5	ORL	1-3 (2')	N/A								1,000,000	0.5000	0.03	0.39%	
JUNTOR	Juncus torreyi	TORREY'S RUSH	4	-3	FACW	6'-18' (12')	N/A								1,600,000	0.5000	0.03	0.39%	
LEORYZ	Leersia oryzoides	REC- CUT GRASS	4	-5	ORL	3-5 (4')	N/A								34,000	4,000.00	0.25	3.14%	
SCJATR	Scirpus atrovirens	DARK GREEN RUSH	4	-5	ORL	3-6 (5')	N/A								460,000	4,000.00	0.25	3.14%	
SCJCYP	Scirpus cyperinus	WOOL GRASS	6	-5	ORL	3-5 (4')	N/A								1,700,000	2,000.00	0.13	1.57%	
SPAPEC	Spartina pectinata	PRAIRIE CORD GRASS	4	-4	FACW+	5-9' (7')	N/A								6,600	4,000.00	0.25	3.14%	
															Monocot Subtotals		4.11	51.59%	69.36%
Flowers & Other Broadleaves (Dicots)																			
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX			
								A	M	J	J	A	S	O		by Weight	by Seed Count		
AUSUB	Alisma subcordatum	COMMON WATER PLANTAIN	4	-5	ORL	1-3' (2')	White								60,000	2,000.00	0.13	1.57%	
ASCMC	Asclepias incarnata	SWAMP MILKWEED	4	-5	ORL	3-5 (4')	Magenta								4,800	16,000.00	1.00	12.56%	
ASTROV	Aster novae-angliae	NEW ENGLAND ASTER	4	-3	FACW	4-6 (5')	Purple								65,000	2,500.00	0.16	1.96%	
ASTUMB	Aster umbellatus	FLAT-TOP ASTER	9	-3	FACW	3-5 (4')	Cream								67,000	2,000.00	0.13	1.57%	
BOLLAR	Bohemia latiquama recognita	FALSE ASTER	9	-5	ORL	3-5 (4')	White								160,000	0.7500	0.05	0.59%	
CASHB	Cassia hebecarpa	WILD SENNA	9	-3	FACW	3-6 (5')	Yellow								1,400	1,000.00	0.06	50.00%	
CHGGB	Chelone glabra	TURTLEHEAD	8	-5	ORL	3-6 (5')	Cream								92,000	1,000.00	0.06	0.78%	
FLUPMMA	Eupatorium maculatum	SPOTTED JOE PYE WEEED	4	-5	ORL	4-7 (5')	Pink								95,000	3,000.00	0.19	2.35%	
FLUPPER	Eupatorium perfoliatum	COMMON BONESET	4	-4	FACW+	3-6 (4')	White								160,000	1,000.00	0.06	0.78%	
HELAUT	Heleium autumnale	SNEEZEWEED	5	-4	FACW+	2-5 (4')	Yellow								130,000	1,000.00	0.06	0.78%	
HIBLAE	Hibiscus laevis	HAIBERD-LEAVED ROSE MALLOW	6	-5	ORL	3-6 (5')	Pink								2,800	2,000.00	0.13	1.57%	
IMPJAC	Impatiens capensis	ORANGE BELLWEED	3	-3	FACW	2-5 (4')	Orange								4,800	1,000.00	0.06	0.78%	
IRVIS	Iris virginica thresei	BLUE FLAG	5	-5	ORL	2-4 (3')	Blue								1,000	16,000.00	1.00	12.56%	
LOBESP	Lobelia spicata	GREAT BLUE LOBELIA	6	-4	FACW+	2-4 (3')	Blue								500,000	0.5000	0.03	0.39%	
LYCAM	Lycopus americanus	COMMON WATER HOREHOUND	5	-5	ORL	1-3 (2')	White								130,000	0.7500	0.05	0.59%	
LYTALA	Lythrum alatum	WINGED LOOSESTRIPE	7	-5	ORL	2-4 (3')	Purple								3,000,000	0.0625	0.00	0.05%	
MELVIR	Melilotium virginicum	BUNCH FLOWER	10	-4	FACW+	3-6 (5')	White								9,000	1,000.00	0.06	0.78%	
MENABV	Mentha arvensis villosa	WILD MINT	5	-5	ORL	1-3 (2')	White								380,000	0.1250	0.01	0.08%	
MIMIRN	Mimulus ringens	MONEY FLOWER	6	-5	ORL	2-4 (2-5')	Purple								2,300,000	0.5000	0.03	0.39%	
PENSED	Pentstemon sedula	DITCH STONECROP	5	-5	ORL	1-3 (2')	Green								1,300,000	0.5000	0.03	0.39%	
PHYVIV	Physostegia virginiana	OBEDIENT PLANT	6	-5	ORL	3-5 (4')	Purple								11,000	2,000.00	0.13	1.57%	
SAGLAT	Sagittaria latifolia	COMMON ARROWHEAD	4	-5	ORL	2-4 (3')	White								61,000	2,000.00	0.13	1.57%	
SUPER	Siphium perfoliatum	CUP PLANT	5	-2	FACW+	3-10' (8')	Yellow								1,400	0.5000	0.01	0.39%	
SOLGRG	Solidago arguta	COMMON GRASS-LEAVED GOLDENROD	4	-2	FACW	2-4 (3')	Yellow								350,000	0.5000	0.03	0.39%	
SOLRID	Solidago rigida	RIDGELL'S GOLDENROD	7	-5	ORL	2-4 (3')	Yellow								93,000	1,000.00	0.06	0.78%	
VERHAS	Verbena hastata	BLUE VERVAIN	4	-4	FACW+	4-7 (5')	Blue								93,000	1,000.00	0.06	0.78%	
VERHAS	Veronica fasciculata	COMMON IRONWEED	5	-3	FACW	4-6 (5')	Purple								24,000	2,000.00	0.13	1.57%	
															Dicot Subtotals		3.86	97.62%	31.77%
															BASE MIX TOTALS		7.96	149.22%	101.14%
Recommended Plug Species to Supplement Wetland Seed Mix																			
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					PLUGS/FLAT	FLATS/ACRE	PLUGS/ACRE	PLUGS/SE	% OF MIX		
								A	M	J	J	A	S	O			by Seed Count		
CKLUPN	Carex lupulina	COMMON ROP SEDGE (2, 3)	7	-5	ORL	2-4 (3')	N/A								38	20.0	760.00	0.02	0.01%
CCSTRI	Carex stricta	COMMON TUSsock SEDGE (2, 3)	5	-5	ORL	2-4 (3')	N/A								38	20.0	760.00	0.02	0.01%
CASHB	Cassia hebecarpa	WILD SENNA (2, 3)	9	-3	FACW	3-6 (5')	Yellow								38	15.0	570.00	0.01	0.00%
FLRUB	Filipendula rubra	QUEEN OF THE PRAIRIE (1, 2, 5)	10	-5	ORL	4-6 (5')	Pink								38	20.0	760.00	0.02	0.01%
GENAND	Gentiana andrewsii	BOTTLE GENTIAN (1, 2, 4)	8	-3	FACW	1-3 (2')	Blue								38	15.0	570.00	0.01	0.00%
LJASPI	Liatris spicata	MAISH BLAZING STAR (1, 2)	6	0	FAC	3-5 (4')	Purple								38	20.0	760.00	0.02	0.01%
LOBCAR	Lobelia cardinalis	CARDINAL FLOWER (1, 2, 4)	7	-5	ORL	3-5 (4')	Red								38	36.0	3,368.00	0.08	0.07%
ONOSEN	Onoclea sensibilis	SENSITIVE FERN (5)	8	-3	FACW	1-2 (1.5')	N/A								1	25.0	2,500.00	0.01	0.00%
PEDIAN	Pedicularis lanceolata	FEN BETONY (1, 2, 5)	9	-5	ORL	2-4 (3')	Yellow								38	15.0	570.00	0.01	0.00%
PELVIR	Pedicularis virginica	ARROW ARUM (2, 3)	10	-5	ORL	2-5 (4')	Green								38	36.0	3,368.00	0.08	0.07%
SPAELV	Spartina patens	COMMON RUP REED (1)	6	-5	ORL	3-5 (4')	White								1	25.0	2,500.00	0.00	0.00%
SPALB	Sporobolus vaginatus	MEADOWSWEET (1, 5)	7	-4	FACW+	3-5 (4')	White								1	25.0	2,500.00	0.00	0.00%
																618.0	13,309.00	0.31	0.10%
SUPPLEMENTED MIX STATISTICS																			
Base Seed Mix Including Supplemental Plugs																			
Number of Native Species in Mix			58																
Native FQI			42.8																
Native Mean C Value			5.6																
Native Mean W Value			4.2																
National Wetland Category			Facultative Wetland (+). Usually occurs in wetlands, but occasionally found in non-wetlands (estimated 67% - 99%). The "+" sign denotes that this mix generally has a greater estimated probability of occurring in wetlands than the "Facultative" general indicator, but a lesser estimated probability of occurring in wetlands than a mix having the "Facultative Wetland" general indicator.																



Wooded Floodplain Seed Mix (Mesic-Wet Soils)

MIX STATISTICS	
Base Mix Without Supplemental Plugs	
Average Mix Height	3.83'
Median Mix Height	3.00'
Mix Height Mode (# of Occurrences in Mix)	2.0' (6), 5.0' (5), 3.0' (5), 4.0' (3), 7.0' (2), 8.0' (1), 2.5' (1)
Number of Native Species in Mix	23
Lbs/Acre of Native Seed	31.81
Protegules per Square Foot	109.51
Native FGI	23.4
Native Mean C Value	4.9
Native Mean W Value	1.0
National Wetland Category	Facultative (+) - Equally likely to occur in wetlands or uplands (estimated 34% - 66% probability). The "+" sign denotes that this mix generally has a greater estimated probability of occurring in wetlands than the "Facultative" general indicator, but a lesser estimated probability of occurring in wetlands than a mix having the "Facultative Wetland" general indicator.

Grasses, Sedges, & Rushes (Monocots)																			
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT	COLOR	BLOOM TIME							SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX	
						Min-Max (Typical)		A	M	J	J	A	S	O				by Weight	by Seed Count
CGRAY	<i>Carex grayi</i>	COMMON BUR SEDGE	7	-4	FACW+	2-4' (3)	N/A						1,200	8,250.00	0.52	1.63%	0.21%		
ELVIR	<i>Elymus virginicus</i>	VIRGINIA WILD RYE	4	-2	FACW+	3-5' (4)	N/A						4,200	400,000.00	25.00	78.59%	35.22%		
GLYSTR	<i>Glyceria striata</i>	FOWL MANNA GRASS	4	-3	[FACW]	2-4' (3)	N/A						90,000	16,000.00	1.00	3.14%	30.19%		
Monocot Subtotals															26.52	83.35%	65.61%		

Flowers & Other Broadleaves (Dicots)													
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT	COLOR	BLOOM TIME	SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX	
						Min-Max (Typical)		A M J J A S O				by Weight	by Seed Count
ACTALT	<i>Actinomeria alternifolia</i>	WINGSTEM	5	-3	FACW	4-9' (7)	Yellow		9,000	5,000.00	0.31	0.98%	0.94%
ASTLAT	<i>Aster lateriflorus</i>	SIDE-FLOWERING ASTER	4	-2	FACW+	1-3' (2)	White		250,000	0.5000	0.03	0.10%	2.62%
ASTPUP	<i>Aster puniceus</i>	BRISTLY ASTER	8	-5	OBL	4-6' (5)	White		110,000	1,000.00	0.06	0.20%	2.31%
ASTSAD	<i>Aster sagittifolius drummondii</i>	DRUMMOND'S ASTER	2	3	[FACU]	2-4' (3)	White		80,000	3,000.00	0.19	0.59%	5.03%
CAMAME	<i>Campanula americana</i>	TALL BELLFLOWER	3	0	FAC	3-6' (5)	Blue		170,000	2,000.00	0.13	0.39%	7.15%
CASHEB	<i>Cassia hebesarpa</i>	WILD SENNA	9	-3	FACW	3-6' (5)	Yellow		1,400	8,000.00	0.50	1.57%	0.23%
GERMAC	<i>Geranium maculatum</i>	WILD GERANIUM	4	5	[UPL]	1-3' (2)	Purple		5,000	2,000.00	0.13	0.39%	0.21%
HYDVIR	<i>Hydrophyllum virginianum</i>	VIRGINIA WATERLEAF	5	0	[FAC]	1-3' (2)	Purple		2,800	3,750.00	0.23	0.74%	0.22%
IMPCAP	<i>Impatiens capensis</i>	ORANGE JEWELWEED	3	-3	FACW	2-5' (4)	Orange		4,000	2,500.00	0.16	0.49%	0.21%
IMPPAL	<i>Impatiens pallida</i>	YELLOW JEWELWEED	6	-1	[FAC+]	3-5' (4)	Yellow		1,600	6,250.00	0.39	1.23%	0.21%
MIEVIR	<i>Mertensia virginica</i>	VIRGINIA BLUEBELLS	5	-3	FACW	1-3' (2)	Blue		9,700	3,000.00	0.19	0.59%	0.61%
OSKLO	<i>Osmorhiza claytonii</i>	Hairy Sweet Cicely	3	4	FACU+	1-3' (2.5)	White		2,400	4,250.00	0.27	0.83%	0.21%
POLGVI	<i>Polygonum virginianum</i>	WOODLAND KNOTWEED	2	0	FAC	1-3' (2)	White		3,500	3,000.00	0.19	0.59%	0.22%
RUDLAC	<i>Rudbeckia laciniata</i>	WILD GOLDEN GLOW	5	-4	FACW+	5-8' (7)	Yellow		14,000	3,500.00	0.22	0.69%	1.03%
RUDTRI	<i>Rudbeckia triloba</i>	BROWN-EYED SUSAN	3	1	FAC+	4-6' (5)	Yellow		34,000	9,000.00	0.56	1.77%	6.41%
SILPER	<i>Silphium perfoliatum</i>	CUP PLANT	5	-2	FACW+	5-10' (8)	Yellow		1,400	1,000.00	0.06	0.20%	0.03%
SMIRAC	<i>Smilacina racemosa</i>	FEATHERY FALSE SOLOMON'S SEAL	3	3	FACU	1-3' (2)	White		400	16,000.00	1.00	3.14%	0.13%
SOLPLE	<i>Solidago flexicaulis</i>	BROAD-LEAVED GOLDENROD	7	3	FACU	2-4' (3)	Yellow		84,000	1,000.00	0.06	0.20%	1.76%
SOLPAT	<i>Solidago patula</i>	SWAMP GOLDENROD	9	-5	OBL	3-6' (5)	Yellow		72,000	2,000.00	0.13	0.39%	3.02%
ZIZAUR	<i>Zizia aurea</i>	GOLDEN ALEXANDERS	7	-1	FAC+	2-4' (3)	Yellow		11,000	8,000.00	0.50	1.57%	1.84%
									5.30	16.65%		34.39%	
									Dicot Sub Totals		31.81	100.00%	100.00%

Recommended Plug Species to Supplement Wooded Floodplain Seed Mix																		
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT	COLOR	BLOOM TIME						PLUGS/FLAT	FLATS/ACRE	PLUGS/ACRE	PLUGS/SE	% OF MIX by Seed Count
						Min-Max (Typical)		A	M	J	J	A	S					
ARITRI	<i>Arisaema triphyllum</i>	JACK-IN-THE-PULPIT (1, 3)	4	-2	FACW+	1-3' (2)	Green							1	150.0	150.00	0.00	0.00%
ASACAN	<i>Asarum canadense</i>	WILD GINGER (1, 2, 3, 5)	7	5	UPL	to 8"	Red							1	300.0	300.00	0.01	0.01%
CALIPA	<i>Callitriche palustris</i>	MARSH MARGOLD (5)	5	-5	OBL	1-3' (2)	Yellow							38	20.0	760.00	0.02	0.02%
CKBLAN	<i>Carex blanda</i>	COMMON WOOD SEDGE (5)	1	0	FAC	2-3' (2.5)	N/A							38	43.0	1,634.00	0.04	0.03%
LYSCIL	<i>Lythraea rosea</i>	FRINGED LOOSESTRIFE (5)	4	-3	FACW	1-3' (2)	Yellow							38	43.0	1,634.00	0.04	0.03%
NAPDIO	<i>Nepeta dioica</i>	GLADE MALLOW (1, 3)	10	-2	FACW+	5-8' (7)	White							38	20.0	760.00	0.02	0.02%
ONOSEN	<i>Onoclea sensibilis</i>	SENSITIVE FERN (5)	8	-3	FACW	1-2' (1.5)	N/A							1	250.0	250.00	0.01	0.01%
PHLDIV	<i>Phlox divaricata</i>	WOODLAND PHLOX (1, 2, 5)	5	3	FACU	1-2' (1)	Blue							38	86.0	3,268.00	0.08	0.07%
POLREP	<i>Polemonium reptans</i>	JACOB'S LADDER (2, 3)	5	0	FAC	1-2' (1)	Blue							38	86.0	3,268.00	0.08	0.07%
POLCAL	<i>Polygonum canadense</i>	SMOOTH SOLOMON'S SEAL (3)	3	3	FACU	2-4' (3)	Green							1	200.0	200.00	0.00	0.00%
RANSBP	<i>Ranunculus abortivus</i>	SWAMP BUTTERFLY (5)	5	-4	FACW+	1-2' (1)	Yellow							38	20.0	760.00	0.02	0.02%
VIGPUB	<i>Viola pubescens</i>	YELLOW VIOLET (3, 5)	5	4	FACU+	to 6"	Yellow							38	43.0	1,634.00	0.04	0.03%
															1261.0	14,618.00	0.34	0.31%

SUPPLEMENTED MIX STATISTICS	
Base Seed Mix Including Supplemental Plugs	
Number of Native Species in Mix	35
Native FGI	29.4
Native Mean C Value	5.0
Native Mean W Value	0.7
National Wetland Category	Facultative (+) - Equally likely to occur in wetlands or uplands (estimated 34% - 66% probability). The "+" sign denotes that this mix generally has a greater estimated probability of occurring in wetlands than the "Facultative" general indicator, but a lesser estimated probability of occurring in wetlands than a mix having the "Facultative Wetland" general indicator.

Notes:

- 1.) Pizzo recommends installing a Mycorrhizal Inoculant with the above seed mix at 40 lbs/acre
- 2.) For spring planting, Pizzo recommends installing a cover crop of Seed Oats (*Avena sativa*) with the above seed mix at 40 lbs/acre
- 3.) For fall planting, Pizzo recommends installing a cover crop of ReGreen (a Winter Wheat x Wheatgrass Sterile Hybrid) with the above mix at 50 lbs/acre
- 4.) **At no time should Annual nor Perennial Rye (*Lolium multiflorum* or *perenne*) be utilized as a cover crop**



Woodland Seed Mix (Mesic Soils)

MIX STATISTICS			
Base Mix Without Supplemental Plugs			
Average Mix Height		3.12'	Mix Description: Pizzo's Woodland Seed Mix is designed for areas with moderate-dense native tree populations (10+ trees/acre) that have a mostly closed canopy and a light-moderate understory tree/shrub layer providing part-full shade and that have soils which remain mesic for most of the growing season. This mix will help establish a diverse herbaceous understory that will provide habitat and a fuel source for conducting regular prescribed fire. Over 70% of this mix is composed of wildflowers that will provide an array of blooms from April through October. This is a short-medium height prairie with over 47% of seeds typically averaging 3.0' high or less at maturity. Pizzo highly recommends that this seed mix be supplemented with the recommended plug list provided below to add diversity, color, and resilience to the long-term health of your woodland, especially in order to establish many of the beautiful spring ephemeral wildflowers historically associated with the woodland ecosystem.
Median Mix Height		3.00'	
Mix Height Mode (8 of Occurrences in Mix)	3.0' (9), 2.0' (8), 5.0' (4), 6.0' (3), 4.0' (2), 3.5' (2), 1.5' (2), 1.0' (2), 7.0' (1), 2.5' (1)		
Number of Native Species in Mix		37	
Lbs/Acre of <i>Native Seed</i>		18.19	
Proportions per Square Foot		110.10	
Native FCI		33.9	
Native Mean C Value		5.6	
Native Mean W Value		2.6	
National Wetland Category	Facultative Upland - Occasionally occurs in wetlands, but usually occur in non-wetlands (estimated 1% - 35% probability)		

Grasses, Sedges, & Rushes (Monocots)																			
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT	COLOR	BLOOM TIME					SEEDS/OZ	OZ/ACRE	LBS/ACRE	% OF MIX			
						Min-Max (Typical)		A	M	J	J	A				S	O	by Weight	by Seed Count
BROPU	<i>Bromus pubescens</i>	WOODLAND BROME	5	2	FACU+	3-5' (4)	N/A						7,600	6,000.00	0.38	2.06%	0.95%		
CDAVI	<i>Carex darwinii</i>	AWNED GRACEFUL SEDGE	7	-1	FAC+	1-3' (2)	N/A						9,000	2,000.00	0.13	0.69%	0.38%		
CYRAN	<i>Carex frankii</i>	BRISTLY CATTAIL SEDGE	8	-5	OBL	1-3' (2)	N/A						17,000	36,000.00	1.00	5.50%	5.67%		
CYRSE	<i>Carex rosea</i>	CURLY-STYLED WOOD SEDGE	4	-5	UPL	1-2' (1)	N/A						53,000	2,000.00	0.13	0.69%	2.21%		
ELVIL	<i>Elymus villosus</i>	SILKY WILD RYE	5	8	FACU	2-4' (3)	N/A						5,500	36,000.00	1.00	5.50%	1.83%		
ELVIR	<i>Elymus virginicus</i>	VIRGINIA WILD RYE	4	-2	FACW-	3-5' (4)	N/A						4,200	128,000.00	8.00	43.99%	11.21%		
HYSPAT	<i>Hystrix patula</i>	BOTTLEBRUSH GRASS	5	5	UPL	2-5' (3.5)	N/A						7,600	48,000.00	3.00	16.45%	7.61%		
Monocot Subtotals																13.63	74.91%	29.86%	

Flowers & Other Broadleaves (Dicots)																					
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT (Min-Max (Typical))	COLOR	BLOOM TIME					SEEDS/OZ		OZ/ACRE	LBS/ACRE	% OF MIX				
								A	M	J	J	A	S	O			by Weight	by Seed Count			
AGASCR	<i>Agastache scrophulariifolia</i>	PURPLE GIANT HYSSOP	5	5	UPL	5-7' (6)	Purple							93,000	4,000.00	0.25	1.37%	7.76%			
ALLCAN	<i>Allium canadense</i>	WILD GARLIC	2	3	FACU	1-2' (1.5)	Pink							560	12,000.00	0.75	4.12%	0.14%			
ALLCLR	<i>Allium cernuum</i>	NOODLING WILD ONION	7	1	[FAC]	1-2' (1.5)	Pink							7,600	3,000.00	0.19	1.01%	0.48%			
AQUCAN	<i>Aquilegia canadensis</i>	WILD COLUMBINE	6	1	FAC	2-4' (3)	Red							38,000	2,000.00	0.13	0.69%	1.58%			
ASCLXA	<i>Asclepias exaltata</i>	POKE MILKWEED	9	5	UPL	4-6' (5)	White							3,000	2,000.00	0.13	0.69%	0.13%			
ASTSAS	<i>Aster sagittifolius</i>	ARROW-LEAVED ASTER	5	5	UPL	2-4' (3)	Blue							135,000	1,000.00	0.06	0.34%	2.81%			
ASTSAD	<i>Aster sagittifolius drummondii</i>	DRUMMOND'S ASTER	2	3	[FACU]	2-4' (3)	White							80,000	1,000.00	0.06	0.34%	1.67%			
ASTSHO	<i>Aster shortii</i>	SHORT'S ASTER	8	5	UPL	2-4' (3)	Blue							60,000	0,500.00	0.03	0.17%	0.63%			
BELHIB	<i>Belamcanda hirsuta</i>	WOOD MINT	8	4	FACU-	2-4' (3)	White							240,000	12,500.00	0.08	0.43%	6.26%			
CAMAME	<i>Campanula americana</i>	TALL BELLFLOWER	3	0	FAC	3-6' (5)	Blue							170,000	1,000.00	0.06	0.34%	3.54%			
EUPPUR	<i>Eupatorium purpureum</i>	PURPLE JOE PYE WEED	7	5	UPL	5-8' (7)	Pink							42,000	0,500.00	0.03	0.17%	0.44%			
GERMAC	<i>Geranium maculatum</i>	WILD GERANIUM	4	5	[UPL]	1-3' (2)	Purple							5,000	1,500.00	0.09	0.52%	0.16%			
HELDIV	<i>Helianthus divaricatus</i>	WOODLAND SUNFLOWER	5	5	UPL	4-7' (6)	Yellow							5,000	1,500.00	0.09	0.52%	0.16%			
HEISTR	<i>Helianthus strumosus</i>	PALE-LEAVED SUNFLOWER	5	5	UPL	2-4' (3)	Yellow							4,200	3,000.00	0.19	1.01%	0.26%			
HYDVIR	<i>Hydrophyllum virginianum</i>	VIRGINIA WATER LILY	5	0	[FAC]	1-3' (2)	Purple							2,800	2,000.00	0.13	0.69%	0.12%			
MERVIR	<i>Mertensia virginica</i>	VIRGINIA BLUEBELLS	5	-3	FACW-	1-3' (2)	Blue							9,700	1,500.00	0.09	0.52%	0.30%			
PENDIG	<i>Penstemon digitalis</i>	FOXGLOVE BEARD TONGUE	4	1	FAC	2-5' (3.5)	White							130,000	4,000.00	0.25	1.37%	10.84%			
PENPAL	<i>Penstemon pallidus</i>	PALE BEARD TONGUE	6	5	UPL	1-2' (1)	Cream							180,000	1,000.00	0.06	0.34%	3.75%			
RUDSUS	<i>Rudbeckia hirta</i>	SWEET BLACK-EYED SUSAN	9	2	FACU+	3-6' (5)	Yellow							43,000	2,000.00	0.13	0.69%	1.79%			
SCMAR	<i>Scrophularia maritima</i>	LATE FIGWORT	4	4	FACU-	5-7' (6)	Green							170,000	2,000.00	0.13	0.69%	7.09%			
SMIRAC	<i>Smilacina racemosa</i>	FLAT-LEAF FALSE SOLOMON'S SEAL	3	3	FACU	3-3' (2)	White							400	16,000.00	1.00	5.50%	0.11%			
SOLCAE	<i>Solidago caesia</i>	BLUE STEMMED GOLDENROD	7	3	FACU	1-3' (2)	Yellow							545,000	12,500.00	0.08	0.43%	14.20%			
SOLFLE	<i>Solidago flexuosa</i>	BROAD-LEAVED GOLDENROD	7	3	FACU	2-4' (3)	Yellow							84,000	0,500.00	0.03	0.17%	0.88%			
SOLULM	<i>Solidago ulmifolia</i>	ELM-LEAVED GOLDENROD	5	5	UPL	1.3' (2.5)	Yellow							130,000	1,000.00	0.06	0.34%	2.71%			
THADIO	<i>Thalictrum dioicum</i>	EARLY MEADOW RUE	7	2	FACU+	1-3' (2)	Green							7,300	1,500.00	0.09	0.52%	0.23%			
VERALA	<i>Veronica altissima</i>	SMOOTH TAIL IRONWEED	3	0	FAC	4-6' (5)	Purple							28,000	2,000.00	0.13	0.69%	1.17%			
XIZAUR	<i>Xizis aurea</i>	GOLDEN ALEXANDERS	7	-1	FAC+	2-4' (3)	Yellow							11,000	4,900.00	0.25	1.37%	0.91%			
														Dicot Subtotals		4.56		25.09%		70.14%	
														BASE MIX TOTALS		18.19		100.00%		100.00%	

Recommended Plug Species to Supplement Woodland Seed Mix																			
ACRONYM	SCIENTIFIC NAME	COMMON NAME	C-Value	W-Value	WETNESS	HEIGHT Min-Max (Typical)	COLOR	BLOOM TIME					PLUGS/FLAT	FLATS/ ACRE	PLUGS/ ACRE	PLUGS/ SF	% OF MIX by Seed Count		
								A	M	J	J	A						S	O
ALLTRI	<i>Allium triacum</i>	WILD LEEK (2, 3)	7	3	FACU	6-12" (8")	White							38	20.0	760.00	0.02	0.02%	
ANEVIR	<i>Anemone virginiana</i>	TALL ANEMONE (2, 3)	5	5	UPL	2-4" (3)	White							38	15.0	570.00	0.01	0.01%	
ARITRI	<i>Arisaema triphyllum</i>	JACK-IN-THE-PULPIT (1, 3)	4	-2	FACW-	1-3" (2)	Green							1	150.0	150.00	0.00	0.00%	
ASACAN	<i>Asarum canadense</i>	WILD GINGER (1, 2, 3, 5)	7	5	UPL	to 8"	Red							1	200.0	200.00	0.00	0.00%	
ASTMAC	<i>Aster macrophyllus</i>	BIG-LEAVED ASTER	8	5	UPL	1-2" (1)	White							38	43.0	1,634.00	0.04	0.03%	
EXPENS	<i>Carex pensylvanica</i>	COMMON OAK SEDGE (1, 2, 5)	5	5	UPL	6-12" (8")	N/A							38	20.0	760.00	0.02	0.02%	
CLAVIR	<i>Claytonia virginica</i>	SPRING BEAUTY (1, 2, 5)	2	3	FACU	to 6"	Pink							1	300.0	300.00	0.01	0.01%	
DICCLC	<i>Dicentra cauculata</i>	DUTCHMAN'S BREECHES (5)	6	5	UPL	6-12" (8")	White							1	150.0	150.00	0.00	0.00%	
DODMEA	<i>Dodecatheon meadia</i>	SHOOTING STAR (1, 2)	6	3	FACU	1-2" (1.5)	Pink							38	20.0	760.00	0.02	0.02%	
ERYALB	<i>Erythronium albidum</i>	WHITE TROUT LILY (5)	5	5	UPL	4-8" (6")	White							38	86.0	3,268.00	0.08	0.07%	
ISOBIT	<i>Isopyrum biterminal</i>	FALSE RUE ANEMONE (1, 2, 3)	8	5	UPL	6-12" (8")	White							38	20.0	760.00	0.02	0.02%	
MIDTIP	<i>Mitella diplybia</i>	BISHOP'S CAP (1, 2, 5)	10	2	FACU+	6-18" (12")	White							38	20.0	760.00	0.02	0.02%	
OSMCLI	<i>Osmunda cloyaniana</i>	INTERRUPTED FERN (5)	9	-1	FAC+	3-5' (4)	N/A							1	100.0	100.00	0.00	0.00%	
PHLDIV	<i>Phlox divaricata</i>	WOODLAND PHLOX (1, 2, 5)	5	3	FACU	1-2" (1)	Blue							38	86.0	3,268.00	0.08	0.07%	
PODPEL	<i>Podophyllum peltatum</i>	MAY APPLE (3)	4	3	FACU	1-2.5" (2)	White							1	300.0	300.00	0.01	0.01%	
POLEP	<i>Polygonum reptans</i>	JACOB'S LADDER (2, 3)	5	0	FAC	1-2" (1)	Blue							38	86.0	3,268.00	0.08	0.07%	
POLCAL	<i>Polygonatum canadense</i>	SMOOTH SOLOMON'S SEAL (3)	3	3	FACU	2-4" (3)	Green							1	150.0	150.00	0.00	0.00%	
SANCAD	<i>Sanguinaria canadensis</i>	BLOODROOT (1, 2, 3)	6	4	FACU	6-18" (12")	White							1	200.0	200.00	0.00	0.00%	
SILSTE	<i>Silene stellata</i>	STARRY CAMPION (2)	6	5	UPL	2-4" (3)	White							38	20.0	760.00	0.02	0.02%	
TRIGRA	<i>Trillium grandiflorum</i>	LARGE-FLOWERED TRILLIUM (5)	8	5	UPL	1-2" (1.5)	White							1	100.0	100.00	0.00	0.00%	
TRIREC	<i>Trillium recurvatum</i>	RED TRILLIUM (5)	5	4	FACU-	1-2" (1.5)	Red							1	250.0	250.00	0.01	0.01%	
UVUGRA	<i>Uvularia grandiflora</i>	BELLWORT (1, 3)	7	5	UPL	6-18" (12")	Yellow							38	15.0	570.00	0.01	0.01%	
VIOPUB	<i>Viola pubescens</i>	YELLOW VIOLET (3, 5)	5	4	FACU-	to 6"	Yellow							38	20.0	760.00	0.02	0.02%	
VIOBOR	<i>Viola sororia</i>	COMMON BLUE VIOLET (5)	3	1	FAC	to 8"	Blue							38	15.0	570.00	0.01	0.01%	
														2386.0	20,368.00	0.47	0.47%		

SUPPLEMENTED MIX STATISTICS			
Base Seed Mix Including Supplemental Plugs			
Number of Native Species in Mix	58	Some species are not appropriate for inclusion into a seed mix, however they may be very desirable to have as part of the permanent plant matrix because of their ecological, habitat, and/or aesthetic values. The plug species listed above are appropriate for supplementing this seed mix. Following are the common reasons for not including these species within the seed mix: 1-Does not germinate well from seed in the field, 2-Seed is very expensive, 3-Low number of seeds per ounce, 4-Requires specialized microclimate, 5-Seed is not commercially available or is only available in small quantities	
Native FQI	42.7		
Native Mean C Value	5.6		
Native Mean W Value	2.8		
National Wetland Category	Facultative Upland - Occasionally occurs in wetlands, but usually occur in non-wetlands (estimated 1% - 33% probability)		

Formal Landscaping Plug List

Formal Landscaping Plug List																							

Formal Landscaping Plug List

Formal Landscaping Plug List														

SHRUBS

SMALL-MEDIUM SHRUBS														
PIZZO														
RECOMMENDED	ACRONYM	SCIENTIFIC NAME	COMMON NAME	CULTIVARS	NOTES									

TREES

CANOPY TREES						
Pizzo RECOMMENDED	ACRONYM	SCIENTIFIC NAME	COMMON NAME	CULTIVARS	NOTES	
X	ACESAU	Acer saccharum	SUGAR MAPLE	'GREEN MOUNTAIN'	Dry sites, good orange/red/yellow fall color	
	AESGLA	Aesculus glabra	OHIO BUCKEYE		Dry sites, showy flowers, good yellow/orange/red/brown fall color	
	CARCOR	Carva cordiformis	BITTERNUT HICKORY**		Dry sites, no ornamental features	
	CAROV	Carva ovata	SHAGBARK HICKORY**		Dry sites, no ornamental features	
	CELOCC	Celtis occidentalis	HACKBERRY		Dry-Moist sites, interesting bark, no ornamental features	
	GLETRI	Gleditsia triacanthos	HONEY LOCUST	'SKYLINE'	Dry-Moist sites, very adaptable tree, good yellow fall color	
X	GYMDIO	Gymnocladus dioica	KENTUCKY COFFEE TREE		Dry-Moist sites, interesting habit, fair yellow fall color	
	JUGNIG	Juglans nigra	BLACK WALNUT		Dry-Moist sites, interesting habit, poor yellow fall color	
X	NYSSYL	Nyssa sylvatica	BLACK GUM		Moist sites, interesting branching structure, good purple/red/orange fall color	
	PLAOCC	Platanus occidentalis	SYCAMORE**		Moist-Wet sites, interesting bark, poor fall color, messy tree	
X	QUEALB	Quercus alba	WHITE OAK		Dry-Moist sites, good red/purple fall color, produces acorns	
X	QUEBIC	Quercus bicolor	SWAMP WHITE OAK		Dry-Wet sites, fair yellow/brown/purple fall color, produces acorns	
	QUEIMB	Quercus imbricaria	SHINGLE OAK		Dry-Moist sites, yellow/brown fall color, holds leaves through winter, produces acorns	
X	QUEMAC	Quercus macrocarpa	BUR OAK		Dry-Moist sites, yellow/brown fall color, produces acorns	
	QUEMUH	Quercus muhlenbergii	CHINGAPIN OAK		Dry sites, fair yellow/orange/red/brown fall color, produces acorns	
	QUEPAU	Quercus palustris	PIN OAK		Moist-Wet sites, fair red/brown fall color, produces acorns, develops chlorosis	
X	QUERUB	Quercus rubra	RED OAK		Dry-Moist sites, good red/purple fall color, produces acorns, fast grower	
	QUEVEL	Quercus velutina	BLACK OAK		Dry sites, red/orange/brown fall color, produces acorns	
	TILAME	Tilia americana	AMERICAN LINDEN		Dry-Moist sites, nice summer foliage, poor yellow/brown fall color, Japanese Beetle problems	
EVERGREEN TREES						
Pizzo RECOMMENDED	ACRONYM	SCIENTIFIC NAME	COMMON NAME	CULTIVARS	NOTES	
	JUNVIC	Juniperus virginiana crebra	RED CEDAR	'CANAERTII'	Dry-Moist sites, nice organic habit, good dark green foliage, good berry production, deer browse problems	
X	PINSTR	Pinus strobus	WHITE PINE		Dry-Moist sites, good for screening, deer browse problems	
X	THUOCC	Thuja occidentalis	EASTERN WHITE CEDAR*	'WINTERGREEN'	Moist-Wet sites, good dark green foliage, nice pyramidal habit, deer browse problems	
UNDERSTORY TREES						
Pizzo RECOMMENDED	ACRONYM	SCIENTIFIC NAME	COMMON NAME	CULTIVARS	NOTES	
X	CARCAV	Carpinus caroliniana virginiana	BLUE BEECH		Moist sites, very nice bark, good habit, fair yellow/orange/red/purple fall color	
	OSTVIR	Ostrya virginiana	HOP HORNBEEAM		Dry sites, poor yellow fall color	
FLOWERING TREES						
Pizzo RECOMMENDED	ACRONYM	SCIENTIFIC NAME	COMMON NAME	CULTIVARS	NOTES	
	AMEARB	Amelanchier arborea	SERVICEBERRY		Dry-Moist sites, white spring flowers, edible berry, good red fall color, Japanese Beetle problems	
X	AMEGRA	Amelanchier x grandiflora	APPLE SERVICEBERRY	'PRINCESS DIANA'	Dry-Moist sites, white spring flowers, edible berry, good red fall color	
X	AMELAE	Amelanchier laevis	ALLEGHENY SHADBLOW*		Dry-Moist sites, white spring flowers, edible berry, good red fall color, Japanese Beetle problems	
X	CERCAN	Cercis canadensis	REDBUD		Dry-Moist sites, purple spring flowers, poor yellow fall color	
X	CORALT	Cornus alternifolia	PAGODA DOGWOOD		Dry-Moist sites, white summer flowers, fair orange/red fall color	
X	CRACRU	Crataegus crus-galli	COCKSPUR HAWTHORN		Dry-Moist sites, white summer flowers, crabapple-like fruits, good purple/red fall color	
X	MALIOE	Malus ioensis	IOWA CRAB	'BECHTEL'S IMPROVED'	Dry sites, pink double-flowering form, fair red/purple fall color	
	PRUAME	Prunus americana	WILD PLUM		Dry sites, early white flowers, edible fruit, yellow fall color	

DO NOT PLANT THE FOLLOWING SPECIES!

TREES

ACRONYM	SCIENTIFIC NAME	COMMON NAME
ACEPLA	ACER PLATANOIDES	NORWAY MAPLE*
AILALT	AILANTHUS ALTISSIMA	TREE OF HEAVEN*
ALNGLU	ALNUS GLUTINOSA	EUROPEAN ALDER*
CATSPE	CATALPA SPECIOSA	HARDY CATALPA
FRAAMB	Fraxinus americana	WHITE ASH (Ash Borer)
FRAPEN	Fraxinus pennsylvanica	GREEN ASH (Ash Borer)
FRAQUA	Fraxinus quadrangulata	BLUE ASH (Ash Borer)
MORALB	MORUS ALBA	WHITE MULBERRY*
PINNIG	PINUS NIGRA	AUSTRIAN PINE
PINSYL	PINUS SYLVESTRIS	SCOTCH PINE
POPALB	POPULUS ALBA	WHITE POPLAR*
POPCAN	POPULUS CANESCENS	GRAY POPLAR*
POPNI	POPULUS NIGRA ITALICA	LOMBARDY POPLAR*
PRUAVI	PRUNUS AVIUM	SWEET CHERRY
PRUCER	PRUNUS CERASUS	SOUR CHERRY
PRUDOM	PRUNUS DOMESTICA	GARDEN PLUM
PRUHOR	PRUNUS HORTULANA	WILD GOOSE PLUM
PRUMAH	PRUNUS MAHALEB	PERFUMED CHERRY
PRUPAD	PRUNUS PADUS	EUROPEAN BIRD CHERRY
PRUPER	PRUNUS PERSICA	PEACH
PRUTOM	PRUNUS TOMENTOSA	NANKING CHERRY
PYRCAL	PYRUS CALLERYANA	ORNAMENTAL PEAR
PYRCOM	PYRUS COMMUNIS	PEAR
ROBPSE	ROBINIA PSEUDOACACIA	BLACK LOCUST*
ROBVIS	ROBINIA VISCOSA	CLAMMY LOCUST
SALALB	SALIX ALBA	WHITE WILLOW
SALBAB	SALIX BABYLONICA	WEeping WILLOW
SALFRA	SALIX FRAGILIS	CRACK WILLOW
SALPEN	SALIX PENTANDRA	BAY-LEAVED WILLOW
SALRUB	SALIX X RUBENS	HYBRID CRACK WILLOW
ULMPUM	ULMUS PUMILA	SIBERIAN ELM*

SHRUBS

ACRONYM	SCIENTIFIC NAME	COMMON NAME
BERTHU	BERBERIS THUNBERGII	JAPANESE BARBERRY*
BERVUL	BERBERIS VULGARIS	EUROPEAN BARBERRY*
COTCOG	COTINUS COGGYGRIA	EUROPEAN SMOKE TREE
COTACU	COTONEASTER ACUTIFOLIA	PEKING COTONEASTER
COTMUL	COTONEASTER MULTIFLORA	MANY-FLOWERED COTONEASTER
ELAANG	ELAEAGNUS ANGUSTIFOLIA	RUSSIAN OLIVE*
ELAUMB	ELAEAGNUS UMBELLATA	AUTUMN OLIVE*
EUOALA	EUONYMUS ALATUS	BURNING BUSH*
EUOBUN	EUONYMUS BUNGEANUS	CHINESE SPINDLE TREE
EUOEUR	EUONYMUS EUROPAEUS	EUROPEAN SPINDLE TREE
EUOFOR	EUONYMUS FORTUNEI	WINTERCREEPER*
EUOHAM	EUONYMUS HAMILTONIANUS	JAPANESE SPINDLE TREE
FORINT	FORSYTHIA X INTERMEDIA	GOLDEN BELL
LONMAA	LONICERA MAACKII	AMUR HONEYSUCKLE*
LONMOR	LONICERA MORROWII	MORROW'S HONEYSUCKLE*
LONRUP	LONICERA RUPRECHTIANA	MANCHURIAN HONEYSUCKLE*
LONTAT	LONICERA TATARICA	TARTARIAN HONEYSUCKLE*
LONBEL	LONICERA X BELLA	SHOWY FLY HONEYSUCKLE*
LONHEC	LONICERA X HECKROTTII	GOLD FLAME HONEYSUCKLE*
LONMIN	LONICERA X MINUTIFLORA	LONICERA X MINUTIFLORA*
LONMUE	LONICERA X MUENDENIENSIS	COMMON FLY HONEYSUCKLE*
LONMUS	LONICERA X MUSCAVIENSIS	LONICERA X MUSCAVIENSIS*
LONNOT	LONICERA X NOTHA	LONICERA X NOTHA*
LONXYS	LONICERA X XYLOSTEOIDES	LONICERA X XYLOSTEOIDES*
LONXYM	LONICERA XYLOSTEUM	EUROPEAN FLY HONEYSUCKLE*
PRUANG	PRUNUS ANGUSTIFOLIA	CHICKSAW PLUM
RHAARV	RHAMNUS ARGUTA VELUTINA	SAW-TOOTHED BUCKTHORN*
RHACAT	RHAMNUS CATHARTICA	COMMON BUCKTHORN*

RHADA	RHAMNUS DAVURICA	DAHURIAN BUCKTHORN*
RHAFRA	RHAMNUS FRANGULA	GLOSSY BUCKTHORN*
RHAJAP	RHAMNUS JAPONICA	JAPANESE BUCKTHORN*
RHAUT	RHAMNUS UTILIS	CHINESE BUCKTHORN*
RIBNIG	RIBES NIGRUM	BLACK CURRANT
RIBODO	RIBES ODORATUM	GOLDEN CURRANT
RIBSAT	RIBES SATIVUM	RED CURRANT
ROBHIH	ROBINIA HISPIDA	BRISTLY LOCUST
ROBHIF	ROBINIA HISPIDA FERTILIS	FRUITING BRISTLY LOCUST
ROBLUX	ROBINIA LUXURIANS	ROCKY MOUNTAIN LOCUST
ROSMUL	ROSA MULTIFLORA	MULTIFLORA ROSE*
RUBIDI	RUBUS IDAEUS	GARDEN RASPBERRY
RUBLAC	RUBUS LACINIATUS	EVERGREEN BLACKBERRY
RUBPHO	RUBUS PHOENICOLASIA	WINEBERRY
SALCAP	SALIX CAPREA	GOAT WILLOW
SALCIN	SALIX CINEREA	GRAY WILLOW
SALPUR	SALIX PURPUREA	PURPLE WILLOW
SYRVUL	SYRINGA VULGARIS	LILAC
VIBDEN	VIBURNUM DENTATUM	ARROW-WOOD
VIBLAN	VIBURNUM LANTANA	WAYFARING TREE
VIBOPU	VIBURNUM OPULUS	EUROPEAN Highbush Cranberry
VIBREC	VIBURNUM RECOGNITUM	SMOOTH ARROW-WOOD
VINMIN	VINCA MINOR	PERIWINKLE
YUCSMA	YUCCA SMALLIANA	ADAM'S NEEDLE

VINES

ACRONYM	SCIENTIFIC NAME	COMMON NAME
CAMRAD	CAMPIS RADICANS	TRUMPET CREEPER*
CELOB	CELASTRUS ORBICULATUS	ORIENTAL BITTERSWEET*
HEDHEL	HEDRA HELIX	ENGLISH IVY*
LONJAP	LONICERA JAPONICA	JAPANESE HONEYSUCKLE*
WISMAC	WISTERIA MACROSTACHYA	KENTUCKY WISTERIA*

GRASSES

ACRONYM	SCIENTIFIC NAME	COMMON NAME
BROINE	BROMUS INERMIS	HUNGARIAN BROME*
BROTEC	BROMUS TECTORUM	DOWNY BROME*
GLYRMX	GLYCERIA MAXIMA	TALL MANNA GRASS
MISSAC	MISCANTHUS SACCHARIFLORUS	SILVER GRASS*
MISSIZ	MISCANTHUS SINENSIS ZEBRII	EULALIA*
PHAARU	PHALARIS ARUNDINACEA	REED CANARY GRASS*
PHACAN	PHALARIS CANARIENSIS	CANARY GRASS*
PHRAUS	Phragmites australis	COMMON REED*

PERENNIALS

ACRONYM	SCIENTIFIC NAME	COMMON NAME
ALLPET	ALLIARIA PETIOLATA	GARLIC MUSTARD*
CENMAC	CENTAUREA MACULOSA	SPOTTED KNAPWEED*
CIRARV	CIRSIIUM ARVENSE	FIELD THISTLE*
CIRVUL	CIRSIIUM VULGARE	BULL THISTLE*
DAUCAR	DAUCUS CAROTA	QUEEN ANNE'S LACE*
DIPLAC	DIPSACUS LACINIATUS	CUT-LEAVED TEASEL*
DIPSYL	DIPSACUS SYLVESTRIS	COMMON TEASEL*
HESMAT	HESPERIS MATRONALIS	DAME'S ROCKET*
LYTSAL	LYTHRUM SALICARIA	PURPLE LOOSESTRIFE*
MELALB	MELILOTUS ALBA	WHITE SWEET CLOVER*
MELLOF	MELILOTUS OFFICINALIS	YELLOW SWEET CLOVER*
PASSAT	PASTINACA SATIVA	WILD PARSNIP*
SOLSEM	SOLIDAGO SEMPERVIRENS	SEASIDE GOLDENROD*
TYPANG	Typha angustifolia	NARROW-LEAVED CATTAIL*
TYPLAT	Typha latifolia	BROAD-LEAVED CATTAIL*
TYPGLA	Typha X glauca	HYBRID CATTAIL*

*Very Invasive Species

Appendix F:

List of Common Noxious Weeds & Invasive Species

Following is a list of common Exotic/Invasive Species typically encountered during ecological restoration efforts. This list is not representative of the site and should not be considered an inventory. The listed species should at no time be allowed to establish or dominate any project site.

Exotic/Invasive Species List:

1. Woodlands

- | | |
|--------------------------------|--|
| • <i>Acer platanoides</i> | NORWAY MAPLE |
| • <i>Aegopodium podagraria</i> | GOUTWEED |
| • <i>Alliaria petiolata</i> | GARLIC MUSTARD |
| • <i>Berberis spp.</i> | BARBERRY |
| • <i>Euonymus alata</i> | BURNING BUSH |
| • <i>Lonicera spp.</i> | HONEYSUCKLE (Excluding native species) |
| • <i>Hesperis matronalis</i> | DAMES ROCKET |
| • <i>Rhamnus cathartica</i> | COMMON BUCKTHORN |
| • <i>Rhamnus frangula</i> | GLOSSY BUCKTHORN |
| • <i>Robinia pseudo-acacia</i> | BLACK LOCUST |
| • <i>Rosa multiflora</i> | MULTIFLORA ROSE |

2. Wetlands

- | | |
|-------------------------------|--------------------|
| • <i>Lythrum salicaria</i> | PURPLE LOOSESTRIFE |
| • <i>Phalaris arundinacea</i> | REED CANARY GRASS |
| • <i>Phragmites australis</i> | COMMON REED |
| • <i>Salix interior</i> | SANDBAR WILLOW |
| • <i>Typha angustifolia</i> | NARROWLEAF CATTAIL |
| • <i>Typha latifolia</i> | COMMON CATTAIL |
| • <i>Agrostis stolonifera</i> | CREEPING BENTGRASS |

3. Prairies

- | | |
|------------------------------|-------------------|
| • <i>Bromus tectorum</i> | DOWNY BROME |
| • <i>Bromus inermis</i> | SMOOTH BROME |
| • <i>Centaurea maculosa</i> | SPOTTED KNAPWEED |
| • <i>Cirsium arvense</i> | CANADA THISTLE |
| • <i>Cirsium vulgare</i> | BULL THISTLE |
| • <i>Daucus carota</i> | QUEEN ANNE'S LACE |
| • <i>Dipsacus laciniatus</i> | CUTLEAF TEASEL |
| • <i>Dipsacus sylvestris</i> | COMMON TEASEL |
| • <i>Elaeagnus umbellata</i> | AUTUMN OLIVE |
| • <i>Euphorbia esula</i> | LEAFY SPURGE |
| • <i>Hesperis matronalis</i> | DAMES ROCKET |
| • <i>Lotus x hybrida</i> | RED CLOVER |
| • <i>Lythrum salicaria</i> | TALL FESCUE |
| • <i>Medicago sativa</i> | BLACK MEDIC |

• <i>Melilotus alba</i>	WHITE SWEET CLOVER
• <i>Melilotus officinalis</i>	YELLOW SWEET CLOVER
• <i>Pastinaca sativa</i>	WILD PARSNIP
• <i>Poa pratensis</i>	KENTUCKY BLUEGRASS
• <i>Setaria spp.</i>	FOXTAIL/MILLET
• <i>Solidago sempervirens</i>	SEASIDE GOLDENROD
• <i>Verbascum blattaria</i>	MOTH MULLEIN
• <i>Verbascum Thapsus</i>	COMMON MULLEIN

Appendix G:

Pizzo & Associates, Ltd. Company Profile

Pizzo & Associates, Ltd. is an award winning leader in sustainable development and professional ecological contracting services for public and private lands. Established in 1988, we are passionately committed to the stewardship of our shared natural habitat, and we recognize the need for ecological conservation, preservation, and restoration as we work towards the beautification and revitalization of our natural ecosystems. We are the only firm in Illinois that offers all aspects of the creation and restoration of natural areas: consultation, layout, installation, stewardship/maintenance and an 80 acre native plant nursery.

DESCRIPTION OF SERVICES:

Ecological Contracting and Planning

Our extensive experience with the restoration/creation of native areas has given Pizzo & Associates, Ltd. a level of expertise that is unmatched within the industry today. We dedicate our knowledge to three main natural communities that occur in our native land: prairies, woodlands and wetlands. Our highly trained ecologists and landscape architects provide ecological consultation to a variety of clients that include landscape architects and planners, civil engineers, development teams, private and public landowners, city, county, state, and federal government agencies, homeowners associations, golf courses, corporate campuses, and non-profit organizations. Following an intensive assessment of existing ecological conditions on your site, planning services consist of delineating existing ecosystems, written specifications for implementation and stewardship, and developing a comprehensive ecological restoration plan. Pizzo & Associates, Ltd. also can assess your current maintenance capabilities, provide training in the general aspects of natural areas maintenance, and provide training in the aspects of prescribed fire to make your organization self sustainable in the stewardship of your natural areas.

Installation

The installation of natural areas is overseen by our highly trained foreman, consisting of seeding, planting plugs, and removing invasive species. Non-native species thrive in highly disturbed areas, so our installation has been perfected to create very little disturbance. This may include no-till seeding or light hand seeding. After installation, periodic mowing creates a medium level of required disturbance to knock back the invasive species allowing native species space to become established. Once the native species are established, they will out-compete the non-natives. Periodic stewardship visits will ensure that the invasive plants are under control.

Stewardship/Maintenance

Stewardship is an age-old concept that Pizzo considers its highest priority. We define stewardship as the routine action taken to sustain the aesthetic and ecological integrity of a restoration. Once a natural area is created, restored, or enhanced, it must be stewarded in order to thrive. These practices may include the use of herbicide, fire, mechanical removal and supplemental seeding. Depending on the environmental conditions from year to year, a site may look drastically different. For example, in a drought year a completely different group of plants will thrive than in other conditions. It is an adaptive process that our

field staff is highly trained in identifying and allowing for changes while maintaining the highest on-site integrity.

Nursery

Pizzo Nursery is a wholesale native plant nursery providing a number of services to a variety of customers with client goals ranging from installation and augmentation of their natural areas to restocking of their sales yards. Our nursery propagates over 200 species of mid west native plants, of which a majority of the seed has been collected from remnant natural areas that are all located on the company's 80 acre property. The source of seed as well as innovative production methods makes for successful plant establishment and survival. We take into consideration the requirements and conditions for individual projects to determine the best methods of production to ensure quality product and service.

Reviewing Authority

Greenline® review services are available to municipalities and private companies to ensure their development plans meet state, county, federal, municipal, and sustainable development ordinances, rules and regulations. Developed by Pizzo & Associates, Ltd. the **Greenline®** review redefines an intermediate design drawing process called "Redlining" in order to show revisions or corrections that specifically implement and/or improve overall sustainability of a product design, process design, site design and/or building design. Our landscape architects may also offer suggestions from a contractor's perspective to lower costs or solve common problems with natural solutions, adding significant value to your end product.

Appendix H:

Recommended Activities for Residents and Volunteers

The following activities require supervision by a person with safety skills and some plant identification skills to reduce the risk of injury to both the volunteers and the project site. We recommend some consulting for all skill levels. We do not recommend any burn activities except for smoke monitoring and/or viewing the burn.

ACTIVITIES REQUIRING LOW SKILL LEVELS:

1. **Anytime-**
 - a. work with higher skilled consultant/staff/volunteer for brush clearing and sapling thinning (with pruners, shears, loppers or hand saws)
 - b. remove garbage
 - c. educate staff/community of the benefits of natural areas
 - d. take classes/training to become more informed and better able to conduct tasks (can be herbicide training, plant identification classes, safety training, etc.)
2. **Anytime during growing season-**
 - a. hand pulling or cutting any non-native/invasive plant that can be identified
 - b. dead-head spent flowers from native plants within Formal Landscape areas
 - c. install new mulch within Formal Landscape areas
 - d. collect flowers/seed of non-native/invasive plants and dispose
 - e. watering, if needed
 - f. install bird houses
 - g. maintain trails
3. **Spring or Fall-**
 - a. sow collected seed into needed areas (may require higher skilled assistance in identifying seeding areas)
 - b. plant live plugs (may require higher skilled assistance in identifying seeding areas)
 - c. plant trees/shrubs (may require higher skilled assistance in identifying seeding areas)
4. **Fall-**
 - a. collect, process and store seed from any native plants that can be identified (many Carex species require collection in May/June)

ACTIVITIES REQUIREING HIGH SKILL LEVELS:

1. **Anytime-**
 - a. brush clearing and sapling thinning (with chain saw, only with appropriate safety training, oversight & equipment)
 - b. herbicide cut stumps (only with appropriate license, oversight, training, and equipment)
 - c. remove garbage
 - d. educate staff/ community of the benefits of natural areas
 - e. take classes/training to become more informed and better able to conduct tasks (can be herbicide training, plant identification classes, safety training, etc.)
 - f. train lower-skilled staff/ volunteers
2. **Anytime during growing season-**
 - a. hand pulling or cutting any non-native/invasive plant that can be identified
 - b. dead-head spent flowers from native plants within Formal Landscape areas
 - c. collect flowers/seed of non-native/invasive plants and dispose
 - d. build and install bird houses or other wildlife habitat

- e. maintain trails
 - f. pruning of trees and shrubs
 - g. conduct natural areas flora and fauna monitoring, including floristic quality assessments, and prepare annual reports (requires a high level of plant and/or animal/insect identification skills)
3. **Spring or Fall-**
- a. sow collected seed into needed areas
 - b. plant live plugs
 - c. plant trees/shrubs
4. **Fall-**
- a. collect, process and store seed from any native plants that can be identified (many Carex species require collection in May/June)

Appendix I:

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Appendix J:

Photos of Existing Conditions



Photo 1:

Bob Bangert Park is mainly turf sports fields with remnant Oak species to the right. A levee dissects the site from the river riparian woodland.



Photo 2:

The park is continually wet or flooded inhibiting recreational use for the majority of the year. Replacing existing turf with a wetland and mesic prairie seed mix would provide natural water retention and an educational experience for the public.



Photo 3:

Expansive turf should be replaced with a natural area to cut down maintenance and chemical use. Natural areas along roads would have a buffer of low mow fescue or buffalo grass for safety concerns.



Photo 4:

The drainage low point of this turf lawn would benefit from a natural rain garden to filter and decelerate stormwater before it flows into its final destination.



Photo 5:

The brick pathway extends a pedestrian view of the river yet it's scattered with invasive woody material bordering the hill edge and high maintenance turf to the right. Formal native landscaping at the pathway entrance with a backdrop of prairie will give this look out a more formal appeal.



Photo 6:

Sumac, Tree of Heaven, and Honeysuckle have grown excessively tall, inhibiting the public view of the river. All invasive and weedy plants such as these should be eradicated from the site to provide adequate growth for native species.



Photo 7:

Two Yew shrubs are two of many random shrubs among the Sunset/Gardner landscape that consume maintenance time and money without providing visual value.



Photo 8:

The amazing views of the river are inhibited by invasive woody understory. Once cleared the remnant canopy tree species will frame the river view with a colorful carpet of prairie that should replace high maintenance turf. Invasive Riverbank Grape, as seen in the foreground, should be eradicated from the site.



Photo 9:

Excess water flow has eroded lines into the turf lawn. By replacing turf with native prairie, the dynamic root system of these plants will absorb water like a sponge and curb soil from moving.



Photo 10:

Honeysuckle and Sugar Maple dominate the woodland understory.



Photo 11:

The northern stretch of Gardner Park is lined with turf lawn and scattered canopy trees. Turning this landscape into natural area would accentuate the picturesque views created by the winding road with swaths of native grasses and perennial color.



Photo 12:

Turf in an under-utilized pedestrian corridor should be replaced with native prairie. Best Management Practices can be implemented in the drainage swale to allow water percolation and filtration.



Photo 13:

Honeysuckle has dominated all of the QPD wooded sites, eliminating the open woodland form.



Photo 14:

Exotic Buckthorn and Riverbank Grape spread rapidly along the woodland ground plain, choking native perennials out. Seen here in Sunset Park, either species will have to be cleared to provide proper development of a diverse native woodland understory.



Photo 15:

The turf and Burning-bush Viburnum should be removed and replaced with native prairie to eliminate unnecessary landscape maintenance and restore the native vegetation of the site.



Photo 16:

Once the invasive and exotic species are cleared from this portion of Sunset Park, and replaced with native hill prairie erosion should be controlled and river views restored.



Photo 17:

These old growth oaks set along the highpoints of Sunset Park should be restored into Oak Savanna.



Photo 18:

This retaining wall located in the northern section of Sunset Park is in need of repair among other retaining walls in Sunset/Gardner Park. Replacing the turf hill with native prairie will eliminate erosion from the site as seen along the back of the wall.



Photo 19:

A portion of the woodland ravines are eroding from a lack of native herbaceous understory growth. The current action of adding garbage and construction materials to eroded areas has become unsightly and dangerous to the public.



Photo 20:

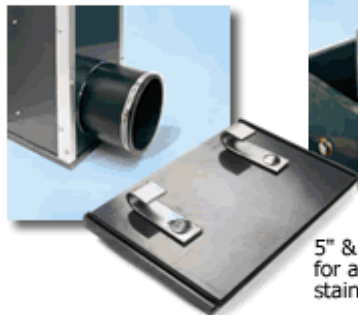
Sugar Maple, while native, casts extremely dense shade that prevents the growth of an herbaceous understory. Removing/ thinning Maple saplings and restoring the herbaceous layer to the woodland will prevent future erosion from the QPD site ravines.

Appendix K:

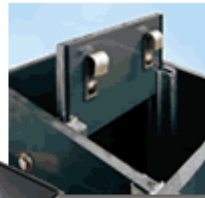
Agri Drain Corporation Inline Water Level Control Structure™

- Structures can be used to manage water level in a variety of applications including ponds, wetlands, manure management, drainage water management, and saturated buffers.
- Rugged 1/2" PVC structure with lockable top.
- Stainless steel screws and custom anodized aluminum corner extrusions are used for strength and durability.
- 5" & 7" stoplogs for adjustability.
- Flexible couplers allow PVC, Corr. HDPE plastic pipe, or other materials to be easily attached. *(Please specify type of pipe when ordering)*
- Annual maintenance of stoplogs is recommended. Remove stoplogs and grease the o-ring on each board with a vegetable based lubricant. Ensure that there is no debris in the tracks or along the bottom of the structure. Replace your stoplogs after greasing.
- 5-Year Warranty on all standard structures.
- Customized or special orders will carry a 1-Year warranty on workmanship and material and have no return policy.
- Please allow up to 2 weeks for shipment.

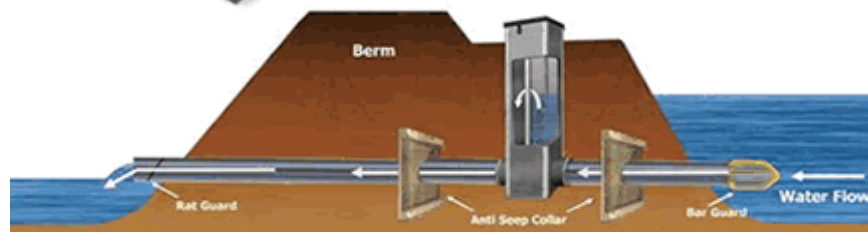
Flexible rubber connectors with heavy duty stainless steel clamps.



Rubber seal assures a tight fit to prevent leakage.



5" & 7" stoplogs for adjustability. Durable stainless steel lifting hooks.



Typical Installation and Recommended Component Items--

Installing a **bar guard** on our inlet pipe helps prevent debris, rodents, fish and turtles from entering your inlet.

An **anti seep collar** should be installed on both the inlet and outlet side of your structure to prevent water from cutting a path along your pipeline causing erosion.

A **slide gate valve** (not pictured above) installed in front of your structure on the inlet side allows you to completely shut off your water flow allowing you to remove all of your stoplog boards for maintenance and/or cleaning (annual maintenance of stoplogs is recommended).

A **rat guard** needs to be installed on your outlet pipe to avoid rodent entry.

PVC Fish Screens Also Available. See web page or call for details.

1462 340th St. Adair, IA 50002
1-800-232-4742 www.agridrain.com

Appendix L:

Potential Funding Sources

Following is a list of Public and Private funding sources that may apply to the environmental work that QPD is proposing throughout this plan and may be beneficial for QPD to investigate further. Most funding sources will have an application/selection process and most Public sources will require a funding “match” of a specific percentage.

PUBLIC SOURCES:

IL EPA 319 Grant – Non-point source pollution control/Section 319 available to implement corrective or preventative projects or develop public education programs about non-point source pollution. www.epa.state.il.us/local-governement/assistance.html

Cooperative Endangered Species Conservation Fund (Section 6) Grants to States and Territories – provides funding for species and habitat conservation actions on non-Federal lands. http://www.fws.gov/endangered/grants/section6/FY2010/Grant_Announcement.pdf

The North American Wetlands Conservation Act – Provides matching grants to organizations and individuals who have developed partnerships to carry out wetlands conservation projects in the United States, Canada, and Mexico for the benefit of wetlands-associated migratory birds and other wildlife. www.fws.gov/birdhabitat/Grants/NAWCA/index.shtm

Special Wildlife Funds Grant Program – The Office of Resource Conservation’s Division of Wildlife Resources administers four special grant programs that are funded by Illinois sportsmen through the purchase of Habitat Stamps and Migratory Waterfowl Stamps. These programs are designed to protect, acquire, enhance or manage wildlife habitat and to support limited research and educational programs to further advance this mission. http://dnr.state.il.us/grants/Special_Funds/WildGrant.htm

Partners for Conservation (formerly Conservation 2000) – A comprehensive long-term approach to protecting and managing Illinois’ natural resources. The Partners for Conservation program funds programs at IDNR, Illinois Department of Agriculture, and Illinois Environmental Protection Agency. <http://dnr.state.il.us/orep/pfc/>

PRIVATE SOURCES:

Alliant Energy Foundation – The Alliant Energy Foundation was formed in order to help improve the quality of life, now and in the future, in the communities where Alliant Energy has a presence: Iowa, Illinois, Minnesota and Wisconsin. The Foundation’s programs reflect a commitment to play an active role in those areas and give back to future generations. Areas of interest include Human needs, Education, Culture & Art, Civic involvement, the Environment.

Ameren – Each year, the Ameren Corporation Charitable Trust donates millions of dollars to programs in education, services for the youth and elderly, and the environment. In the company’s Missouri and Illinois service areas.

Irwin Andrew Porter Foundation – The Foundation provides funding for a variety of interest areas. The quality, innovation, thoughtfulness and effectiveness of a project are of more importance than the specific interest area. That said, areas of interest for IAP are the arts, education, environment and social programs. IAP limits its consideration to projects within Minnesota, Wisconsin, Iowa, North Dakota, South Dakota, Illinois, and Michigan.

Jewel-Osco's Charitable Giving – Support for not-for-profit (501c3) organizations that help create healthy, thriving communities. Jewel Osco gives grants to organizations that meet the following focus areas: Hunger Relief, Nutritional Education, Environmental Stewardship.

Lumpkin Foundation – The Lumpkin Family Foundation, created in 1953, is a private foundation that provides grants to meritorious nonprofit organizations for the betterment of the community, the nation and the world. We are dedicated to supporting education, preserving and protecting the environment, and fostering opportunities for leadership, with special consideration to our heritage in Central Illinois.

MISCELLANEOUS:

Following is a website that lists various Public and Private funding sources for Restoration Projects: www.nps.gov/plants/restore/funding.htm

Appendix M:

Illinois Green Infrastructure Grant Program for Stormwater Management (IGIG)

Grants are available to local units of government and other organizations to implement green infrastructure best management practices to control stormwater runoff for water quality protection in Illinois. Projects must be located within a Municipal Separate Storm Sewer System (MS4) or Combined Sewer Overflow (CSO) area. Funds are limited to the implementation of projects to install best management practices (BMPs).

The total amount of funding available under IGIG is approximately 5 million dollars annually. This is a reimbursement program. Grant recipients must perform the work, pay project costs, and submit invoice(s) (periodically throughout the project period) with supporting documentation before Illinois EPA will reimburse recipients for any approved costs.

Under IGIG, the Illinois EPA will accept proposals for the following three program categories:

1. Combined Sewer Overflow (CSO) Rehabilitation Category
 - Maximum IGIG amount is \$3,000,000 or 85 percent of the eligible project cost, whichever is lower.
 - Minimum local match requirement is 15 percent.
 - Illinois EPA anticipates awarding up to 10 of these grants per year
 - Typical grant range is \$300,000 - \$3,000,000 of IGIG funds (total grant funds available \$3 million)
 - Project length ranges from 6-36 months
2. Stormwater Retention and Infiltration Category
 - Maximum IGIG amount is \$750,000 or 75 percent of the eligible project cost, whichever is lower.
 - Minimum local match requirement is 25 percent.
 - Illinois EPA anticipates awarding up to 18 of these grants per year
 - Typical grant range is \$100,000 - \$750,000 of IGIG funds (total grant funds available \$1.8 million)
 - Project length ranges from 6-36 months
3. Green Infrastructure Small Projects Category.
 - Maximum IGIG amount is \$75,000 or 75 percent of the eligible project cost, whichever is lower.
 - Minimum local match requirement is 25 percent.
 - Illinois EPA anticipates awarding up to 13 of these grants per year
 - Typical grant range is \$15,000 - \$75,000 of IGIG funds (total grant funds available \$200,000)
 - Project length ranges from 6-24 months

For more information on RFP and Required IGIG Application Forms use the direct website:

<http://www.epa.state.il.us/water/financial-assistance/igig.html>

Applications are due Illinois EPA by December 15th. If December 15th is a Saturday or Sunday, the deadline becomes the prior Friday before 5:00 p.m.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum Yr 1-5</u>	<u>2017-2021</u>	<u>Tot. Est.</u> <u>Cost</u>	<u>Total \$ Park</u> <u>Improvements</u>
<u>All America Park</u>	\$0	\$0	\$0	\$19,500	\$0	\$19,500	\$121,000	\$140,500	\$190,300
<u>Berrian Park</u>	\$23,000	\$3,500	\$18,000	\$4,500	\$0	\$49,000	\$0	\$49,000	\$277,500
<u>Bob Bangert Park</u>	\$0	\$2,000	\$0	\$4,500	\$0	\$6,500	\$0	\$6,500	\$398,100
<u>Bob Mays Park</u>	\$45,000	\$0	\$3,500	\$0	\$0	\$48,500	\$0	\$48,500	\$202,500
<u>Boehl Memorial Park</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,423,200
<u>Boots Bush Park</u>	\$0	\$0	\$0	\$8,500	\$27,500	\$36,000	\$235,000	\$271,000	\$355,500
<u>Clat Adams Park</u>	\$115,000	\$0	\$0	\$0	\$45,000	\$160,000	\$0	\$160,000	\$1,767,300
<u>Edgewater Park</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$178,500
<u>Emerson Park</u>	\$0	\$3,500	\$0	\$0	\$0	\$3,500	\$12,000	\$15,500	\$66,800
<u>Gardner Park</u>	\$4,500	\$0	\$6,000	\$0	\$0	\$10,500	\$87,500	\$98,000	\$607,600
<u>Indian Mounds Park</u>	\$0	\$0	\$30,000	\$0	\$0	\$30,000	\$0	\$30,000	\$1,091,600
<u>Johnson Park</u>	\$0	\$0	\$3,500	\$3,000	\$0	\$6,500	\$0	\$6,500	\$247,500
<u>Kesler Park</u>	\$0	\$140,000	\$91,500	\$15,000	\$33,000	\$279,500	\$0	\$279,500	\$465,100
<u>Lenane Park</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$19,500
<u>Leon Bailey Park</u>	\$29,800	\$0	\$0	\$0	\$0	\$29,800	\$0	\$29,800	\$31,600
<u>Madison Park</u>	\$19,000	\$0	\$0	\$0	\$0	\$19,000	\$76,000	\$95,000	\$374,600
<u>Moorman Park</u>	\$113,500	\$17,500	\$0	\$95,000	\$9,800	\$235,800	\$500,000	\$735,800	\$1,416,800
<u>Parker Heights Park</u>	\$8,000	\$0	\$0	\$0	\$15,000	\$23,000	\$0	\$23,000	\$278,600
<u>Quinsippi Island</u>	\$0	\$3,500	\$10,000	\$13,500	\$0	\$27,000	\$950,000	\$977,000	\$4,948,300
<u>Reservoir Park</u>	\$3,500	\$0	\$4,500	\$0	\$15,000	\$23,000	\$30,000	\$53,000	\$730,000
<u>Riverview Park</u>	\$0	\$15,000	\$10,800	\$60,000	\$0	\$85,800	\$193,000	\$278,800	\$1,226,100
<u>South Park</u>	\$23,000	\$75,000	\$70,000	\$0	\$85,000	\$253,000	\$82,200	\$335,200	\$1,305,800
<u>Sunset Park</u>	\$0	\$0	\$0	\$20,000	\$0	\$20,000	\$0	\$20,000	\$203,600
<u>Villa Kathrine Park</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$110,000
<u>Washington Park</u>	\$5,000	\$0	\$0	\$0	\$0	\$5,000	\$0	\$5,000	\$1,885,500
<u>Wavering Park</u>	\$0	\$114,500	\$26,000	\$10,500	\$0	\$151,000	\$235,000	\$386,000	\$532,000
<u>Westview Park</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$9,800
<u>Women's City Club</u>	\$0	\$0	\$12,000	\$0	\$0	\$12,000	\$0	\$12,000	\$111,500
Summary	\$389,300	\$374,500	\$285,800	\$254,000	\$230,300	\$1,533,900	\$2,521,700	\$4,055,600	\$20,455,200

Park Audit		
<u>General Information</u>		
Park Name:	All America Park	
Location:	1301 Bonansinga Drive	
Approximate Acreage:	18	
General Condition:	3	PARK CATEGORY KEY:
Park Category:	Neighborhood	Mini Park
Seasonal Staff:	None Dedicated	Decretive/Historical
Year Established:	1961	Sports Complex
Year(s) of Major Improvements:	None	Park Trail/Greenway
Predominant Use:	Picnic Area	Natural Resource Area
Estimated Replacement \$:	\$190,300	Neighborhood Park
Wheelchair Accessible:	No Facilities	Community Park
		Special Use Area

Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

			<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
All America Park			\$0	\$0	\$0	\$19,500	\$0	\$19,500	\$121,000		\$140,500
<u>LANDSCAPING/SIGNS</u>											
<u>General Information</u>											
<u>Item in Need of Maintenance/Repair/Replacement</u>			<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Sign							\$0			\$0
Age:	13							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$1,800							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	1,400 x 22 ft - 1140 sq yds. Asphalt	Resurface Road						\$0	\$114,000	2017	\$114,000
Age:	15							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$114,000							\$0			\$0
Type:	450 x 22 ft - 9,900 sq ft. Tar and Chip							\$0			\$0
Age:	8							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>PARKING/PATHS</u>											
Type:	4,000 sq. ft. /444 sq yds. Asphalt	Resurface Parking						\$0	\$7,000	2017	\$7,000
Age:	15							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$7,000							\$0			\$0

<u>PARKING/PATHS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	27,000 sq. ft. /3000 sq yds. Tar and Chip							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
Type:	5,500 sq. ft. Tar and Chip							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
<u>SIDEWALKS</u>											
Type:	270 ft / 5 ft Concrete							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	Security Light - Rental							\$0			\$0
Age:								\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Ski club show viewing area							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,000							\$0			\$0
Type:	Foot Bridge to RR 10 ft. Wood							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water	Repl. Water Line/Shelter/Auto Museum				\$15,000		\$15,000			\$15,000
Age:	20							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

<u>WATER/SANITARY</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Drinking Fountain	Replace with ADA compliant Fountain				\$4,500		\$4,500			\$4,500
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0

Park Audit

General Information

Park Name:	Berrian Park
Location:	1200 N. 13th Street
Approximate Acreage:	12
General Condition:	2
Park Category:	Neighborhood
Seasonal Staff:	None Dedicated
Year Established:	1925
Year(s) of Major Improvements:	None
Predominant Use:	Playground/Picnic Area/Ball/Soccer Field
Estimated Replacement \$:	\$277,500
Wheelchair Accessible:	No
	-

PARK CATEGORY KEY:

- Mini Park
- Decretive/Historical
- Sports Complex
- Park Trail/Greenway
- Natural Resource Area
- Neighborhood Park
- Community Park
- Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

		2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
	Berrian Park	\$23,000	\$3,500	\$18,000	\$4,500	\$0	\$49,000	\$0		\$49,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	3 Signs (Chestnut, 12 & Cherry, 12th St.)							\$0			\$0
Age:	14							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0

PARKING/PATHS											
Type:	11,000 sq. ft. A2							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$7,500							\$0			\$0

SIDEWALKS											
Type:	600 x 5 ft Concrete							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0

ELECTRICAL/LIGHTS											
Type:	Basketball Court Lighting							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$60,000							\$0			\$0

<u>WATER/SANITARY</u>		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	Estimated <u>Cost</u>
Type:	City	Repair/Replacement Water Line	\$15,000					\$15,000			\$15,000
Age:	20	Add drain tile to low area near RR	\$8,000					\$8,000			\$8,000
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
Type:	Drinking Fountain (2)	Replace Shelter w ADA Compliant				\$4,500		\$4,500			\$4,500
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5 to 12	Safety Surface replacement		\$3,500				\$3,500			\$3,500
Age:	13							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Baseball/Soccer (in outfield)							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0
Type:	Tennis Courts (2)	Resurface Courts			\$18,000			\$18,000			\$18,000
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$75,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Basketball Court (Lighted)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$40,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	750 x 22 (16,500 sq. ft Tar and Chip)							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$11,000							\$0			\$0

Park Audit

General Information

Park Name:	Bob Bangert Park
Location:	2209 Bonansinga Drive
Approximate Acreage:	26
General Condition:	2
Park Category:	Natural Resource Area
Seasonal Staff:	None Dedicated
Year Established:	1970
Year(s) of Major Improvements:	None
Predominant Use:	Boat Access/Picnic
Estimated Replacement \$:	\$398,100
Wheelchair Accessible:	Yes

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Bob Bangert Park	\$0	\$2,000	\$0	\$4,500	\$0	\$6,500	\$0		\$6,500

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Signs (2)	Repaint Signs		\$2,000				\$2,000			\$2,000
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$3,600							\$0			\$0

PARKING/PATHS											
Type:	46,000 sq ft. Gravel (Parking)							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0

Type:	3,000 sq ft. Asphalt (Parking)							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0

ROADS/RETAINING											
Type:	2900 x 22 Asphalt (7,080 sq. yds)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$250,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	6 Rental Security Lights							\$0			\$0
Age:	30							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water							\$0			\$0
Age:	30							\$0			\$0
General Condition:	22							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:								\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
Type:	Drinking Fountain	Replace with ADA fountain				\$4,500		\$4,500			\$4,500
Age:	30							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Soccer field - South End							\$0			\$0
Age:	40							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Boat Launch							\$0			\$0
Age:	60							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$80,000							\$0			\$0
<u>OTHER</u>											
Type:								\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:								\$0			\$0

Park Audit

General Information

Park Name:

Bob Mays Park

Location:

2533 N. 18th Street

Approximate Acreage:

53

General Condition:

2

Park Category:

Community Park

Seasonal Staff:

None Dedicated

Year Established:

1997

Year(s) of Major Improvements:

2008

Predominant Use:

Picnic/Playground

Estimated Replacement \$:

\$202,500

Wheelchair Accessible:

Yes

PARK CATEGORY KEY:

Mini Park

Decretive/Historical

Sports Complex

Park Trail/Greenway

Natural Resource Area

Neighborhood Park

Community Park

Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition:

Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition:

Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

		2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
	Bob Mays Park	\$45,000	\$0	\$3,500	\$0	\$0	\$48,500	\$0		\$48,500

LANDSCAPING	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Parking Lot, Play Area, Alley of Trees							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0

SIGNS											
Type:	Entrance (2), Dedication, Prairie							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	5,000							\$0			\$0

PARKING											
Type:	19,000 sq ft Asphalt	Add Additional Parkaing	\$45,000					\$45,000			\$45,000
Age:	3							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0

PATHS/SIDEWALK											
Type:	Trail 4,000 ft Gravel., 250 ft. Concrete.							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	LED Lights Parking/Playground							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water Service							\$0			\$0
Age:	3							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$3,500							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5-12 and 2-5	Replace Wood Fiber Safety Surface			\$3,500			\$3,500			\$3,500
Age:	3							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$90,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Soccer 2 Portable Goals							\$0			\$0
Age:	6							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$4,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Prairie Grass Area							\$0			\$0
Age:	4							\$0			\$0
General Condition:	4							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0

Park Audit		
General Information		
Park Name:	Boehl Memorial Park	
Location:	North 18th Street	
Approximate Acreage:	17	
General Condition:	1	Mini Park
Park Category:	Park Trail/Greenway	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	2009	Park Trail/Greenway
Year(s) of Major Improvements:	2009	Natural Resource Area
Predominant Use:	Greenway/Trails	Neighborhood Park
Estimated Replacement \$:	\$1,423,200	Community Park
Wheelchair Accessible:	Yes	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Boehl Memorial Park	\$0	\$0	\$0	\$0	\$0	\$0	\$0		\$0

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Signs (2)							\$0			\$0
Age:	2							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$2,000							\$0			\$0

Type:	Dedication Plaque							\$0			\$0
Age:	3							\$0			\$0
General Condition	1							\$0			\$0
Estimated Replacement \$	\$1,200							\$0			\$0

PATHS											
Type:	Trail Asphalt 4,200 ft							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$1,400,000							\$0			\$0

PATHS/SIDEWALK											
Type:	12th St. Trail By-pass 600 ft Concrete							\$0			\$0
Age:	3							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	Item in Need of Maintenance/									Estimated
		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	12th Street Security Light							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$2,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Trail Kiosk w Bike Rack (2)							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0

Park Audit

General Information

Park Name:	Boots Bush Park
Location:	4234 Maine Street
Approximate Acreage:	14
General Condition:	2
Park Category:	Sports Complex
Seasonal Staff:	None Dedicated
Year Established:	1970
Year(s) of Major Improvements:	2009
Predominant Use:	Sports (Soccer/Football/Baseball)
Estimated Replacement \$:	\$355,500
Wheelchair Accessible:	Yes

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Boots Bush Park	\$0	\$0	\$0	\$8,500	\$27,500	\$36,000	\$235,000		\$271,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (1)	Remove or Repair Brick Planter				\$8,500		\$8,500			\$8,500
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$8,500							\$0			\$0

PARKING/PATHS											
Type:	Parking 30,600 sq ft. Tar & Chip	Resurface Parking					\$23,000	\$23,000			\$23,000
Age:	12							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$23,000							\$0			\$0

Type:	Sidewalk 70' x 5'							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$1,000							\$0			\$0

ELECTRIC/LIGHTS											
Type:	None (Field Lights with Fields)							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

<u>WATER/SANITARY</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	City Water							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	Drinking Fountains (2)	Replace Ballfield Fountain					\$4,500	\$4,500			\$4,500
Age:	1 and 20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	None							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Soccer (2)							\$0			\$0
Age:	2							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$50,000							\$0			\$0
Type:	Baseball Field (Lighted)	Lighting Replacement						\$0	\$200,000	2017	\$200,000
Age:	30	Fence Replacement						\$0	\$35,000	2017	\$35,000
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$150,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:								\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Irrigation 2 fields							\$0			\$0
Age:	2							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$70,000							\$0			\$0

<u>OTHER</u>	Item in Need of Maintenance/									Estimated	
	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	Fence Chain Link							\$0			\$0
Age:	3 South 300 ft/20 North 700 ft							\$0			\$0
General Condition	2							\$0			\$0
Estimated Replacement \$	\$35,000							\$0			\$0

Park Audit		
General Information		
Park Name:	Clat Adams Park	
Location:	201 North Front Stet	
Approximate Acreage:	4	
General Condition:	2	
Park Category:	Decretive/Historical	
Seasonal Staff:	None Dedicated	
Year Established:	1992	
Year(s) of Major Improvements:	2008	
Predominant Use:	Scenic View	
Estimated Replacement \$:	\$1,767,300	
Wheelchair Accessible:	Yes	

PARK CATEGORY KEY:

- Mini Park
- Decretive/Historical
- Sports Complex
- Park Trail/Greenway
- Natural Resource Area
- Neighborhood Park
- Community Park
- Special Use Area

Condition

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Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Clat Adams Park	\$115,000	\$0	\$0	\$0	\$45,000	\$160,000	\$0	\$0	\$160,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (2)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$3,600							\$0			\$0
Type:	Historic Signs (2) Looking for Lincoln							\$0			\$0
Age:	2							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Park Landscaping							\$0			\$0
Age:	3							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$125,000							\$0			\$0
Type:	Mormon Crossing Marker							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Naval Reserve Center Marker							\$0			\$0
Age:	8							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0
<u>PARKING/PATHS</u>											
Type:	Parking 11,500 sq ft. Asphalt	Resurface Parking	\$40,000					\$40,000			\$40,000
Age:	18							\$0			\$0
General Condition:	Poor							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0
Type:	Brick Paver Sidewalks 850 x 15							\$0			\$0
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$60,000							\$0			\$0
Type:	Concrete Sidewalks 1,600 x 5	Repair/Replace 400' (N. Seawall)					\$45,000	\$45,000			\$45,000
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	Road 1,000 x 22 22,000 sq ft - 815 sq yds	Resurface Road	\$75,000					\$75,000			\$75,000
Age:	18							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$75,000							\$0			\$0
Type:	900 ft Sheet Piling							\$0			\$0
Age:	40							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$850,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	6 Decorative Area Lights (Sternberg)							\$0			\$0
Age:	18							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Electrical Panel (2)							\$0			\$0
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Fountain							\$0			\$0
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$300,000							\$0			\$0
Type:	Irrigation							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$100,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain							\$0			\$0
Age:	6							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>OTHER</u>											
Type:	Benches (6)							\$0			\$0
Age:	18							\$0			\$0
General Condition	1							\$0			\$0
Estimated Replacement \$	\$7,200							\$0			\$0
Type:	Flag Poles (6)							\$0			\$0
Age:	18							\$0			\$0
General Condition	2							\$0			\$0
Estimated Replacement \$	\$6,000							\$0			\$0

<u>OTHER</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	GRR Kiosk							\$0			\$0
Age:	2							\$0			\$0
General Condition	1							\$0			\$0
Estimated Replacement \$	\$25,000							\$0			\$0
Type:	1600' x 4' Chain Link Fence							\$0			\$0
Age:	20							\$0			\$0
General Condition	2							\$0			\$0
Estimated Replacement \$	\$40,000							\$0			\$0
Type:	Bike Rack							\$0			\$0
Age:	6							\$0			\$0
General Condition	Average							\$0			\$0
Estimated Replacement \$	\$1,000							\$0			\$0

Park Audit		
General Information		
Park Name:	Edgewater Park	
Location:	210 South Front Street	
Approximate Acreage:	1.6	
General Condition:	2	Mini Park
Park Category:	Decretive/Historical	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1909	Park Trail/Greenway
Year(s) of Major Improvements:	2004	Natural Resource Area
Predominant Use:	Scenic View	Neighborhood Park
Estimated Replacement \$:	\$178,500	Community Park
Wheelchair Accessible:	Yes	Special Use Area

Condition

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Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Edgewater Park	\$0	\$0	\$0	\$0	\$0	\$0	\$0		\$0

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (2)							\$0			\$0
Age:	7							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$3,600							\$0			\$0

Type:	Dedication Plaque							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$1,000							\$0			\$0

Type:	Park Landscaping							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0

PARKING/PATHS											
Type:	Parking 2,600 sq ft. Concrete							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

<u>PARKING/PATHS</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Sidewalk Brick stamped concrete 800' x 5'							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	2 Decorative Lights							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$12,000							\$0			\$0
Type:	Electrical Panel							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Irrigation							\$0			\$0
Age:	8							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0

<u>ROADS/RETAINING</u>	<u>General Information</u>	Item in Need of Maintenance/									Estimated
		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	375 x 22 8,250 sq ft - 815 sq yds Concrete							\$0			\$0
Age:	8							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0
<u>OTHER</u>											
Type:	Park Benches (2)							\$0			\$0
Age:	8							\$0			\$0
General Condition	1							\$0			\$0
Estimated Replacement \$	\$2,400							\$0			\$0
Type:	Decorative Aluminum Fence (4 ft) 350 ft.							\$0			\$0
Age:	8							\$0			\$0
General Condition	1							\$0			\$0
Estimated Replacement \$	\$15,000							\$0			\$0
Type:	Bike Rack							\$0			\$0
Age:	6							\$0			\$0
General Condition	1							\$0			\$0
Estimated Replacement \$	\$2,000							\$0			\$0

Park Audit

General Information

Park Name:	Emerson Park
Location:	13th and Washington Street
Approximate Acreage:	2
General Condition:	2
Park Category:	Neighborhood
Seasonal Staff:	None Dedicated
Year Established:	1978
Year(s) of Major Improvements:	1998
Predominant Use:	Picnic/Playground
Estimated Replacement \$:	\$66,800
Wheelchair Accessible:	No

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition
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5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Emerson Park	\$0	\$3,500	\$0	\$0	\$0	\$3,500	\$12,000		\$15,500

Item in Need of Maintenance/

LANDSCAPING/SIGNS	General Information	Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Signs (Emerson Community Center)							\$0			\$0
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$1,800							\$0			\$0

PATHS/SIDEWALKS

Type:	300 ft. Sidewalk							\$0			\$0
Age:	50							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0

ELECTRICAL/LIGHTS

Type:	1 Acorn Rental Security Light							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

PLAYGROUNDS

Type:	5 to 12	Safety Surface Replacement		\$3,500				\$3,500			\$3,500
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0

		Item in Need of Maintenance/						Estimated			
<u>PARKING</u>	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	8,000 sq ft asphalt							\$0			\$0
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	2,500 sq. ft. 1/2 Basketball Court	Resurface						\$0	\$12,000	2017	\$12,000
Age:	40							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	City Alley							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:								\$0			\$0

Park Audit

General Information

Park Name:	Gardner Park
Location:	1831 N. 3rd
Approximate Acreage:	32
General Condition:	2
Park Category:	Neighborhood
Seasonal Staff:	None Dedicated
Year Established:	1916
Year(s) of Major Improvements:	None
Predominant Use:	Picnic/Walking/Hiking
Estimated Replacement \$:	\$607,600
Wheelchair Accessible:	-

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

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	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Gardner Park	\$4,500	\$0	\$6,000	\$0	\$0	\$10,500	\$87,500		\$98,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Entrance Signs (1)							\$0			\$0
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$3,600							\$0			\$0

PARKING/PATHS											
Type:	Parking 6,000 sq ft Tar & Chip	Resurface						\$0	\$4,000	2020	\$4,000
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,000							\$0			\$0

Type:	Sidewalk 300 ft concrete							\$0			\$0
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0

ELECTRICAL/LIGHTS											
Type:	Security Light (Rental)							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

<u>SPECIAL FEATURES</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Granite Entrance -Chestnut St							\$0			\$0
Age:	80							\$0			\$0
General Condition:	4							\$0			\$0
Estimated Replacement \$:	\$120,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City water							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain	Replace with ADA Compliant	\$4,500					\$4,500			\$4,500
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$500							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5 to 12	Replace Safety Surface (Wood Fiber)						\$0	\$3,500	2017	\$3,500
Age:	1							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Basketball Court 1/4 Court							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	5200 ft. x 22 ft Tar & Chip	Resurface						\$0	\$80,000	2020	\$80,000
Age:	10							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$75,000							\$0			\$0
Type:	Stone Bridge	Repair cap stones			\$6,000			\$6,000			\$6,000
Age:	70							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$350,000							\$0			\$0

Park Audit

General Information

Park Name:	Indian Mounds Park
Location:	1400 S. 5th Street
Approximate Acreage:	37
General Condition:	2
Park Category:	Natural Resource Area
Seasonal Staff:	None Dedicated
Year Established:	1909
Year(s) of Major Improvements:	2002
Predominant Use:	Natural Resource Area
Estimated Replacement \$:	\$1,091,600
Wheelchair Accessible:	No Facilities

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Indian Mounds Park	\$0	\$0	\$30,000	\$0	\$0	\$30,000	\$0		\$30,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (2)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$3,600							\$0			\$0

Type:	Park Landscaping							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

PARKING/PATHS											
Type:	3,200' x 8' Tar and Chip (Path Road Lane)							\$0			\$0
Age:	10							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

Type:	Sidewalk 750' x 6'							\$0			\$0
Age:	8							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,500							\$0			\$0

<u>PARKING/PATHS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Asphalt Parking 30,000 sq ft							\$0			\$0
Age:	15							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$75,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	Security Lights (Statue)							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$2,500							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Walking Time Line (historic Information)							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$16,000							\$0			\$0
Type:	Native American Statue							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$350,000							\$0			\$0
Type:	Blackhawk War Memorial							\$0			\$0
Age:	80							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$100,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water Service							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	None							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

<u>DIAMONDS/FIELDS</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	None							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	3,400' x 22 Tar and Chip							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$45,000							\$0			\$0
Type:	3,500' x 24 Asphalt							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$130,000							\$0			\$0
Type:	5,500' limestone retaining wall	Repair/Replacement 200'			\$30,000			\$30,000			\$30,000
Age:	70							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$335,000							\$0			\$0
<u>OTHER</u>											
Type:	Trail Map/Kiosk							\$0			\$0
Age:	8							\$0			\$0
General Condition	2							\$0			\$0
Estimated Replacement \$	\$4,000							\$0			\$0

Park Audit

General Information

Park Name:	Johnson Park	
Location:	1901 Harrison	
Approximate Acreage:	5	
General Condition:	2	Mini Park
Park Category:	Neighborhood	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1947	Park Trail/Greenway
Year(s) of Major Improvements:		Natural Resource Area
Predominant Use:	Tennis/Picnic/Playground	Neighborhood Park
Estimated Replacement \$:	\$247,500	Community Park
Wheelchair Accessible:	Yes	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Johnson Park	\$0	\$0	\$3,500	\$3,000	\$0	\$6,500	\$0		\$6,500

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (1)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$2,500							\$0			\$0

Type:	Concrete Sidewalk 1200 ft.							\$0			\$0
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0

Type:	Security Light - Rental							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

Type:	800' Chain Link Fence							\$0			\$0
Age:	30							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

<u>WATER</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	City							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountains (2)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$9,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5 to 12	Replace Safety Surface (Wood Fiber)			\$3,500			\$3,500			\$3,500
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$45,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Baseball							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0
Type:	Soccer Field	Install Backstop Fence (North)				\$3,000		\$3,000			\$3,000
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0
Type:	Tennis Court							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$40,000							\$0			\$0
Type:	Basket Ball Court (Full)							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$40,000							\$0			\$0

<u>DIAMONDS/FIELDS</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated</u> <u>Cost</u>
Type:	Basket Ball Court (Quarter)							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0

Park Audit

General Information

Park Name:	Kesler Park	
Location:	801 Bonansinga Drive	
Approximate Acreage:	8	
General Condition:	3	Mini Park
Park Category:	Community Park	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1985	Park Trail/Greenway
Year(s) of Major Improvements:	1996	Natural Resource Area
Predominant Use:	Picnic/Boat Access	Neighborhood Park
Estimated Replacement \$:	\$465,100	Community Park
Wheelchair Accessible:	No	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Kesler Park	\$0	\$140,000	\$91,500	\$15,000	\$33,000	\$279,500	\$0		\$279,500

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (2)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$3,600							\$0			\$0

PARKING/PATHS											
Type:	Parking 92,000 sq ft Asphalt	N Parking Lot 66,000 sq ft		\$140,000				\$140,000			\$140,000
Age:	20	S Parking Lot 24,000 sq ft			\$60,000			\$60,000			\$60,000
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$240,000							\$0			\$0

Type:	Sidewalk 450' x 5'	Playground Sidewalk					\$3,000	\$3,000			\$3,000
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$16,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	3 Decorative Lights (Sternberg)							\$0			\$0
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$12,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Boat Ramps (2 single - 1 Triple)							\$0			\$0
Age:	18							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$50,000							\$0			\$0
Type:	Docks and gangways (5)	Replace Single Dock (North)			\$15,000			\$15,000			\$15,000
Age:	2 - 2 yrs, 3 - 20 years	Replace RR Courtesy Dock				\$15,000		\$15,000			\$15,000
General Condition:	3	Replace Fishing Dock					\$30,000	\$30,000			\$30,000
Estimated Replacement \$:	\$60,000							\$0			\$0
Type:	River Overlook Deck	Repair/Renovate			\$12,000			\$12,000			\$12,000
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0
Type:	Art Mural 2							\$0			\$0
Age:	30							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0
Type:	Dedication Plaque							\$0			\$0
Age:	30							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

<u>WATER/SANITARY</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Drinking Fountain	Replace w/ADA Compliant Fountain			\$4,500			\$4,500			\$4,500
Age:	20							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5 to 12							\$0			\$0
Age:	7							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$45,000							\$0			\$0

Park Audit

General Information

Park Name:	Lenane Park
Location:	2600 Bonansinga Drive
Approximate Acreage:	6
General Condition:	1
Park Category:	Natural Resource Area
Seasonal Staff:	None Dedicated
Year Established:	1957
Year(s) of Major Improvements:	0
Predominant Use:	Picnic
Estimated Replacement \$:	\$19,500
Wheelchair Accessible:	Yes

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Lenane Park	\$0	\$0	\$0	\$0		\$0	\$0		\$0

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign 1							\$0			\$0
Age:	2							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$500							\$0			\$0

ROADS/RETAINING											
Type:	420 x 22 ft Asphalt Road							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0

PARKING/PATHS											
Type:	2,000 sq ft Asphalt Parking							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$4,000							\$0			\$0

Park Audit
General Information

Park Name:	Leon Bailey Park	
Location:	637 Elm	
Approximate Acreage:	0.5	
General Condition:	Good	PARK CATEGORY KEY:
Park Category:	Mini Park	Mini Park
Seasonal Staff:	None Dedicated	Decretive/Historical
Year Established:	1960	Sports Complex
Year(s) of Major Improvements:	1990	Park Trail/Greenway
Predominant Use:	Playground	Natural Resource Area
Estimated Replacement \$:	\$31,600	Neighborhood Park
Wheelchair Accessible:	No	Community Park
	-	Special Use Area

Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Leon Bailey Park	\$29,800	\$0	\$0	\$0	\$0	\$29,800	\$0		\$29,800

<u>LANDSCAPING/SIGNS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	1 Sign							\$0			\$0
Age:	12							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$1,800							\$0			\$0

<u>PLAYGROUNDS</u>											
Type:	5 to 12	Replace Playground	\$25,000					\$25,000			\$25,000
Age:	30							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

<u>OTHER</u>											
Type:	Benches (4)	Replace Benches	\$4,800					\$4,800			\$4,800
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,800							\$0			\$0

Park Audit

General Information

Park Name:	Madison Park	
Location:	2400 Maine Street	
Approximate Acreage:	8	
General Condition:	2	Mini Park
Park Category:	Neighborhood	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1880	Park Trail/Greenway
Year(s) of Major Improvements:	1975, 1995, 2001	Natural Resource Area
Predominant Use:	Picnic/Playground	Neighborhood Park
Estimated Replacement \$:	\$374,600	Community Park
Wheelchair Accessible:	No	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Madison Park	\$19,000	\$0	\$0	\$0		\$19,000	\$76,000		\$95,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	2 Signs (24th & Maine (Lrg)/24th St. (Sm))							\$0			\$0
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0

PATHS/SIDEWALKS											
Type:	Brick Sidewalk Maine to 24th 600' X 6' ft							\$0			\$0
Age:	50							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$40,000							\$0			\$0

Type:	Concrete Sidewalk 1200' X 5' ft							\$0			\$0
Age:	5							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0

ELECTRICAL/LIGHTS											
Type:	3 Electrical pedestals (N of Courts)							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

<u>SPECIAL FEATURES</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	Estimated <u>Cost</u>
Type:	Musselmen Memorial							\$0			\$0
Age:	35							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0
<u>WATER</u>											
Type:	City							\$0			\$0
Age:	2							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$3,500							\$0			\$0
<u>SANITARY</u>											
Type:	City							\$0			\$0
Age:	30							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5-12 and 2-5							\$0			\$0
Age:	10 and 15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$70,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	3 tennis courts	Resurface 2 Courts	\$ 14,000					\$14,000			\$14,000
Age:	30 - Surface 15	Repair Tennis Fence	\$ 5,000					\$5,000			\$5,000
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$110,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	Asphalt Drive 14000 sq ft/520 sq yds	Resurface Road						\$0	\$52,000	2021	\$52,000
Age:	1994 16 years							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$52,000							\$0			\$0

		Item in Need of Maintenance/									Estimated
<u>PARKING</u>	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	Asphalt - 6,500 sq ft/240 sq yd	Resurface Parking						\$0	\$24,000	2021	\$24,000
Age:	1994 16 years							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$24,000							\$0			\$0
<u>OTHER</u>											
Type:	Park Benches (4)							\$0			\$0
Age:	25							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,600							\$0			\$0
Type:	Bike Rack							\$0			\$0
Age:	1							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$1,000							\$0			\$0

Park Audit

General Information

Park Name: Moorman Park

Location: 1608 Moorman Park Road

Approximate Acreage: 80

General Condition: 2

Park Category: Community Park

Seasonal Staff: 2

Year Established: 1985

Year(s) of Major Improvements: 1996

Predominant Use: Picnic/Trails/Mini Golf/Softball

Estimated Replacement \$: \$1,416,800

Wheelchair Accessible: Yes

PARK CATEGORY KEY:

- Mini Park
- Decretive/Historical
- Sports Complex
- Park Trail/Greenway
- Natural Resource Area
- Neighborhood Park
- Community Park
- Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

										Estimated
										Cost
Moorman Park										\$735,800

		Item in Need of Maintenance/								Estimated	
LANDSCAPING/SIGNS	General Information	Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Cost
Type:	Park Sign (1)							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0

PARKING/PATHS											
Type:	60,000 sq ft. Parking Asphalt	Restripe Shelter/Fishing Lots		\$5,000				\$5,000			\$5,000
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$80,000							\$0			\$0

Type:	35,000 sq ft. Parking Tar & Chip (Ballfield)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0

PARKING/PATHS											
Type:	4,000 ft gravel walking path							\$0			\$0
Age:	18							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$12,000							\$0			\$0

<u>ROADS/RETAINING</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	Estimated <u>Cost</u>
Type:	6000' x 24' Asphalt Road	Resurface 1500' (Dam to Large Shelter	\$105,000					\$105,000			\$105,000
Age:	20	Resurface 1300' (Large Shelter to Dam)				\$95,000		\$95,000			\$95,000
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$240,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	Security Lights (5)							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Moorman Lake							\$0			\$0
Age:	30							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$400,000							\$0			\$0
Type:	Lake Fountain							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
Type:	Fishing Docks (2)	Replace Railing		\$8,000				\$8,000			\$8,000
Age:	30							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$60,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountains 6							\$0			\$0
Age:	20	Replace 2 at Ballfields	\$8,500					\$8,500			\$8,500
General Condition:	Average	Replace 1 at Horseshoe courts		\$4,500				\$4,500			\$4,500
Estimated Replacement \$:	\$27,000							\$0			\$0

PLAYGROUNDS	General Information	Item in Need of Maintenance/									Estimated	
		Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Cost	
Type:	5 to 12	Replace Playground						\$0			\$0	
Age:	30							\$0			\$0	
General Condition:	4							\$0			\$0	
Estimated Replacement \$:	\$65,000							\$0			\$0	
<u>DIAMONDS/FIELDS</u>												
Type:	Ball Field Upper Moorman (Lighted)	Fence Replacement						\$0	\$35,000	2020	\$35,000	
Age:	25	Lighting Upgrade						\$0	\$200,000	2020	\$200,000	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$140,000							\$0			\$0	
-												
Type:	Ball Field Moorman Main (Lighted)	Lighting Upgrade						\$0	\$200,000	2019	\$200,000	
Age:	25	Fence Replacement						\$0	\$35,000	2019	\$35,000	
General Condition:	2							\$0			\$0	
Estimated Replacement \$:	\$140,000							\$0			\$0	
Type:	Tennis Courts (4) Lighted	Resurface Courts (4)						\$0	\$30,000	2019	\$30,000	
Age:	25							\$0			\$0	
General Condition:	1							\$0			\$0	
Estimated Replacement \$:	\$180,000							\$0			\$0	
Type:	Archery Range							\$0			\$0	
Age:	25							\$0			\$0	
General Condition:	1							\$0			\$0	
Estimated Replacement \$:	\$15,000							\$0			\$0	
Type:	Disc Golf (18 Holes)							\$0			\$0	
Age:	12							\$0			\$0	
General Condition:	1							\$0			\$0	
Estimated Replacement \$:	\$15,000							\$0			\$0	
<u>DIAMONDS/FIELDS</u>												
Type:	Horseshoe Courts	Repair/Replacement Fence					\$5,000	\$5,000			\$5,000	
Age:	30							\$0			\$0	
General Condition:	1							\$0			\$0	
Estimated Replacement \$:	\$6,000							\$0			\$0	

<u>OTHER</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Benches (4 at N. side Lake)	Replace Benches					\$4,800	\$4,800			\$4,800
Age:	20							\$0			\$0
General Condition	2							\$0			\$0
Estimated Replacement \$	\$4,800							\$0			\$0

Park Audit

General Information

Park Name:	Parker Heights Park
Location:	2251 N. 5th Street
Approximate Acreage.:	38
General Condition:	2
Park Category:	Natural Resource Area
Seasonal Staff:	None Dedicated
Year Established:	1916
Year(s) of Major Improvements:	None
Predominant Use:	Picnic/Walking/Hiking
Estimated Replacement \$:	\$278,600
Wheelchair Accessible:	

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition

- 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Parker Heights Park	\$8,000	\$0	\$0	\$0	\$15,000	\$23,000	\$0	\$0	\$23,000

Item in Need of Maintenance/

LANDSCAPING/SIGNS

General Information

Repair/Replacement

Type:	2 Entrance Signs (Bonansanga/5th St.)							\$0			\$0
Age:	1							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$3,600.00							\$0			\$0

PARKING/PATHS

Type:								\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

ROADS/RETAINING

Type:	4100 ft. x 24 ft tar and chip							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$55,000.00							\$0			\$0

ROADS/RETAINING

Type:	2,200 ft stone retaining wall	Slope Stabilization	\$8,000					\$8,000			\$8,000
Age:	70	Rock Wall Repair 100'					\$15,000	\$15,000			\$15,000
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$220,000.00							\$0			\$0

Park Audit

General Information

Park Name:	Quinsippi Island	
Location:	1010 Quinsippi Island Road	
Approximate Acreage:	135	
General Condition:	2	Mini Park
Park Category:	Community Park	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1960	Park Trail/Greenway
Year(s) of Major Improvements:	1975	Natural Resource Area
Predominant Use:	Picnic/Playground	Neighborhood Park
Estimated Replacement \$:	\$4,948,300	Community Park
Wheelchair Accessible:	-	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Quinsippi Island	\$0	\$3,500	\$10,000	\$13,500	\$0	\$27,000	\$950,000	\$0	\$977,000

LANDSCAPING/SIGNS	General Information	Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$1,800							\$0			\$0

PARKING/PATHS											
Type:	Parking 12,000 sq ft Tar and Chip							\$0			\$0
Age:	8							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0

Type:	Parking 75,000 sq ft gravel							\$0			\$0
Age:	18							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0

ROADS/RETAINING											
Type:	4,500 x 22 Asphalt - Road	Repair 100' x 24' E end of Bridge			\$10,000			\$10,000			\$10,000
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$160,000							\$0			\$0

<u>ROADS/RETAINING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	1,600 x 22 Tar and Chip - Road							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0
Type:	1,000 x 22 Gravel - Road							\$0			\$0
Age:	Jan-00							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0
Type:	Bridge 560 ft	Bridge Repairs						\$0	\$950,000	2020	\$950,000
Age:	140							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$4,600,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	Security Light - Ameren Rental							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Flag Pole							\$0			\$0
Age:	30							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0
Type:	Dedication Plaque Potawatomi							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
Type:	Light House							\$0			\$0
Age:	30							\$0			\$0
General Condition:	\$1							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0

WATER/SANITARY		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	City Water Service	Add Curb Stop Valves (3)				\$9,000		\$9,000			\$9,000
Age:	20							\$0			\$0
General Condition:	\$1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain	Replace with ADA compliant Fountain				\$4,500		\$4,500			\$4,500
Age:	20							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
PLAYGROUNDS											
Type:	5 to 12	Replace Safety Surface		\$3,500				\$3,500			\$3,500
Age:	12							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$45,000							\$0			\$0
DIAMONDS/FIELDS											
Type:	None							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

Park Audit

General Information

Park Name:	Reservoir Park
Location:	2249 Chestnut
Approximate Acreage	9.5
General Condition:	2
Park Category:	Community Park
Seasonal Staff:	None Dedicated
Year Established:	1936
Year(s) of Major Improvements:	1936, 2002, 2008
Predominant Use:	Tennis/Picnic/Playground
Estimated Replacement \$:	\$730,000
Wheelchair Accessible:	

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Reservoir Park	\$3,500	\$0	\$4,500	\$0	\$15,000	\$23,000	\$30,000	\$0	\$53,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	4 Signs (24th and Maine/24th St.)							\$0			\$0
Age:	12, 4 Greeman							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

Type:	Landscaping							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$8,500							\$0			\$0

PATHS/SIDEWALKS

Type:	Parking 11,000 sq ft concrete							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0

PATHS/SIDEWALKS

Type:	Concrete SW 1,950' x 5' LF/9,750 sq. ft.							\$0			\$0
Age:	8							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	3 Decorative Security Lights							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0
Type:	Electrical Panels Tennis Courts (south)							\$0			\$0
Age:	8							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
Type:	Electrical Panels Shelter (North)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Chain Link Fence 250							\$0			\$0
Age:	10							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
Type:	Greeman Dedication Plaque							\$0			\$0
Age:	4							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$2,000							\$0			\$0
<u>WATER</u>											
Type:	City Water							\$0			\$0
Age:	30							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>PATHS/SIDEWALKS</u>											
Type:	Drinking Fountain (3)	Replace S. Drinking Fountain			\$4,500			\$4,500			\$4,500
Age:	8							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$13,500							\$0			\$0

<u>SANITARY</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	City Sewer							\$0			\$0
Age:	30							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5-12 and 2-5	Safety Surface Replacement	\$3,500					\$3,500			\$3,500
Age:	2003 and 1996							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$70,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	9 tennis courts/Lighted	Resurface 4 Court						\$0	\$30,000	2017	\$30,000
Age:	3 ct 2008, 4 ct 1970, 2 ct 1996	Resurface 2 Court					\$15,000	\$15,000			\$15,000
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$400,000							\$0			\$0
Type:	Tennis Practice Wall/Court							\$0			\$0
Age:	10							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0
Type:	Horse Shoe Courts							\$0			\$0
Age:	1998							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	Asphalt Drive 250 ft x 20							\$0			\$0
Age:	2002							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

		Item in Need of Maintenance/						Estimated			
<u>PARKING</u>	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	Concrete - 11,800 sq ft/440 sq yds							\$0			\$0
Age:	2001 North, 2003 South							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$45,000							\$0			\$0
<u>OTHER</u>											
Type:	Trash/Dumpster Enclosure							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$3,500							\$0			\$0

Park Audit

General Information

Park Name:	Riverview Park	
Location:	1001 N. 2nd Street	
Approximate Acreage:	24	
General Condition:	2	Mini Park
Park Category:	Neighborhood Park	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1895	Park Trail/Greenway
Year(s) of Major Improvements:	1996	Natural Resource Area
Predominant Use:	Picnic/Playground	Neighborhood Park
Estimated Replacement \$:	\$1,226,100	Community Park
Wheelchair Accessible:	-	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Riverview Park	\$0	\$15,000	\$10,800	\$60,000	\$0	\$85,800	\$193,000	\$0	\$278,800

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (1)							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$1,800							\$0			\$0

PARKING/PATHS											
Type:	5,600 sq ft Asphalt (Parking)	Resurface						\$0	\$18,000	2019	\$18,000
Age:	20							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$18,000							\$0			\$0

Type:	750 ft x 6' Brick (Sidewalk)	Replace 450' with Concrete on Bluff		\$15,000				\$15,000			\$15,000
Age:	80							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$40,000							\$0			\$0

PARKING/PATHS											
Type:	450' x 5' Concrete (Sidewalk)							\$0			\$0
Age:	80							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$7,000							\$0			\$0

<u>ROADS/RETAINING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	2500 ft x 22 Asphalt (Road)	Resurface 1,500 (main park)						\$0	\$90,000	2019	\$90,000
Age:	20	Resurface N/S Drives 1,400'						\$0	\$85,000	2020	\$85,000
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$140,000							\$0			\$0
Type:	Retaining Wall at Overlook							\$0			\$0
Age:	80							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$240,000							\$0			\$0
Type:	1,600 ft. Retaining Wall Road							\$0			\$0
Age:	80							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$160,000							\$0			\$0
<u>ELECTRICAL/LIGHTS</u>											
Type:	Security Lights (5) - Rental							\$0			\$0
Age:	18							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
Type:	Statue Light (2)							\$0			\$0
Age:	25							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$4,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	General Clark Statue							\$0			\$0
Age:	90							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$500,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

<u>WATER/SANITARY</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Drinking Fountain							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5 to 12	Replace System				\$60,000		\$60,000			\$60,000
Age:	20							\$0			\$0
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$60,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Basketball Court							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0
<u>OTHER</u>											
Type:	Park Benches (9)	Replace Benches			\$10,800			\$10,800			\$10,800
Age:	50							\$0			\$0
General Condition	2							\$0			\$0
Estimated Replacement \$	\$10,800							\$0			\$0

Park Audit

General Information

Park Name: South Park
Location: 1500 S. 12th
Approximate Acreage: 105
General Condition: Average
Park Category: Community Park
Seasonal Staff: None Dedicated
Year Established: 1895
Year(s) of Major Improvements: 1919, 1998
Predominant Use: Picnic/Walking
Estimated Replacement \$: \$1,305,800
Wheelchair Accessible: -

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
South Park	\$23,000	\$75,000	\$70,000	\$0	\$85,000	\$253,000	\$82,200	\$0	\$335,200

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (3)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$5,400							\$0			\$0

PARKING/PATHS											
Type:	Parking 12,000 sq ft Asphalt							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$40,000							\$0			\$0

Type:	675 ft x 8 Multi-purpose trail							\$0			\$0
Age:	3							\$0			\$0
General Condition:	Good							\$0			\$0
Estimated Replacement \$:	\$17,000							\$0			\$0

PARKING/PATHS											
Type:	2,500' x 5' Sidewalk	Repair 200' near Pond	\$5,000					\$5,000			\$5,000
Age:	15							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>									<u>Estimated</u>	
			<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>	
Type:	Walking Bridge 20' Wooding N. Pond	Repair/Replacement					\$10,000	\$10,000			\$10,000	
Age:	25							\$0			\$0	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$10,000							\$0			\$0	
<u>ELECTRICAL/LIGHTS</u>												
Type:	6 Security Lights Rental							\$0			\$0	
Age:	20							\$0			\$0	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$0							\$0			\$0	
Type:	Electrical Panel and Pedestal							\$0			\$0	
Age:	20							\$0			\$0	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$15,000							\$0			\$0	
<u>SPECIAL FEATURES</u>												
Type:	Ponds with Dams (2)							\$0			\$0	
Age:	30							\$0			\$0	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$150,000							\$0			\$0	
<u>WATER/SANITARY</u>												
Type:	City Water	Replace/Add ADA Drinking Fountains (3)	\$13,000					\$13,000			\$13,000	
Age:	5							\$0			\$0	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$10,000							\$0			\$0	
Type:	City Sewer and Septic	Engineering Sanitary Replacement	\$5,000					\$5,000			\$5,000	
Age:	10 and 80	Replace Sanitary Large Shelter		\$75,000				\$75,000			\$75,000	
General Condition:	Average							\$0			\$0	
Estimated Replacement \$:	\$20,000							\$0			\$0	
<u>PLAYGROUNDS</u>												
Type:	2 to 5 and 5 to 12	Replace 5-12 System			\$70,000			\$70,000			\$70,000	
Age:	6 and 18							\$0			\$0	
General Condition:	Good and Poor							\$0			\$0	
Estimated Replacement \$:	\$90,000							\$0			\$0	

<u>DIAMONDS/FIELDS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Baseball Field							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$30,000							\$0			\$0
Type:	Tennis Courts (4) Lighted							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$180,000							\$0			\$0
Type:	1/4 Court Basketball (North)							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0
Type:	Horseshoe Courts							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	8200' x 24' Asphalt	Repair 1000' section					\$75,000	\$75,000			\$75,000
Age:	20	Repair 1000' section						\$0	\$75,000	2017	\$75,000
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$480,000							\$0			\$0
Type:	1,400 ft Stone Retaining Wall							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$210,000							\$0			\$0
<u>OTHER</u>											
Type:	Park Bench (6 Pond area/ 1 Upper)	Replace Benches at Ponds						\$0	\$7,200	2017	\$7,200
Age:	20 Ponds / 2 Upper							\$0			\$0
General Condition:	Poor / Good							\$0			\$0
Estimated Replacement \$	\$8,400							\$0			\$0

Park Audit

General Information

Park Name:

Sunset Park

Location:

200 Cedar Street

Approximate Acreage:

18

General Condition:

1

Park Category:

Natural Resource Area

Seasonal Staff:

None Dedicated

Year Established:

1918

Year(s) of Major Improvements:

Predominant Use:

Picnic/Scenic View

Estimated Replacement \$:

\$203,600

Wheelchair Accessible:

-

PARK CATEGORY KEY:

Mini Park

Decretive/Historical

Sports Complex

Park Trail/Greenway

Natural Resource Area

Neighborhood Park

Community Park

Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition:

Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition:

Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

Wheelchair Accessible:		Special Use Area								Estimated	
										Cost	

Park Audit

General Information

Park Name:	Villa Kathrine	
Location:	532 Gardner Expressway	
Approximate Acreage:	4	
General Condition:	2	Mini Park
Park Category:	Decretive/Historical	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1975	Park Trail/Greenway
Year(s) of Major Improvements:	1996	Natural Resource Area
Predominant Use:	Scenic Overlook/Visitor Center	Neighborhood Park
Estimated Replacement \$:	\$110,000	Community Park
Wheelchair Accessible:	-	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Villa Kathrine Park	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (1)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$3,500							\$0			\$0

PARKING/PATHS											
Type:	Parking 15,000 sq ft Asphalt							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$35,000							\$0			\$0

Type:	Sidewalk 600' x 5'							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0

ELECTRICAL/LIGHTS											
Type:	4 Decorative Light Poles							\$0			\$0
Age:	18							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$8,000							\$0			\$0

<u>SPECIAL FEATURES</u>	<u>General Information</u>	Item in Need of Maintenance/									Estimated
		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	Great River Road Kiosk							\$0			\$0
Age:	18							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$16,000							\$0			\$0
Type:	Great River Road Sign							\$0			\$0
Age:	8							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$3,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water/Sewer							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain							\$0			\$0
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	110' x 24', 110' x 15' Asphalt							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0

Park Audit		
General Information		
Park Name:	Washington Park	
Location:	101 N. 5th Street	
Approximate Acreage:	8	
General Condition:	2	Mini Park
Park Category:	Decretive/Historical	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1835	Park Trail/Greenway
Year(s) of Major Improvements:	1921, 2006, 2008, 2010	Natural Resource Area
Predominant Use:	Decretive/Historical	Neighborhood Park
Estimated Replacement \$:	\$1,885,500	Community Park
Wheelchair Accessible:		Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Washington Park	\$5,000	\$0	\$0	\$0	\$0	\$5,000	\$0	\$0	\$5,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign							\$0			\$0
Age:	15							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$5,000							\$0			\$0

Type:	Park Landscaping							\$0			\$0
Age:	8							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$25,000							\$0			\$0

PARKING/PATHS											
Type:	Sidewalk 3200' x 8'	Repair 100' (2 sections 40' NE & 60' SW)	\$5,000					\$5,000			\$5,000
Age:	50							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$65,000							\$0			\$0

ELECTRICAL/LIGHTS											
Type:	7 Decorative Area Lights							\$0			\$0
Age:	70							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$32,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Park Electrical Service							\$0			\$0
Age:	2							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$180,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Lincoln Plaza & Sculpture							\$0			\$0
Age:	3 / 75							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$850,000							\$0			\$0
Type:	John Wood Statue							\$0			\$0
Age:	80							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$120,000							\$0			\$0
Type:	GAR Monument							\$0			\$0
Age:	80							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$80,000							\$0			\$0
Type:	Lincoln Debate Boulder							\$0			\$0
Age:	80							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$120,000							\$0			\$0
Type:	Flag Pole							\$0			\$0
Age:	50							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$50,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water							\$0			\$0
Age:	5							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

<u>WATER/SANITARY</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Park Interactive Fountain							\$0			\$0
Age:	3							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$300,000							\$0			\$0
Type:	Drinking Fountain							\$0			\$0
Age:	6							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$4,500							\$0			\$0
<u>OTHER</u>											
Type:	Park Benches (17)							\$0			\$0
Age:	2							\$0			\$0
General Condition	Good							\$0			\$0
Estimated Replacement \$	\$19,000							\$0			\$0

Park Audit

General Information

Park Name:	Wavering Park	
Location:	3600 Wavering Park Road	
Approximate Acreage:	47	
General Condition:	1	Mini Park
Park Category:	Community	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1985	Park Trail/Greenway
Year(s) of Major Improvements:	1986	Natural Resource Area
Predominant Use:	Community Park	Neighborhood Park
Estimated Replacement \$:	\$532,000	Community Park
Wheelchair Accessible:	-	Special Use Area

Condition

1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.

2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.

3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.

4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.

5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Wavering Park	\$0	\$114,500	\$26,000	\$10,500	\$0	\$151,000	\$235,000	\$0	\$386,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (2) Pool Sign (1)	Repair Pool Sign Stone				\$7,000		\$7,000			\$7,000
Age:	15							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

PARKING/PATHS			2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	75,000 sq. ft. Asphalt 31,000 Tar & Chip	Stripping Waver Pool/Ballfield/39th			\$12,000			\$12,000			\$12,000
Age:	15	Resurface Tar/Chip Shelter Lot		\$25,000				\$25,000			\$25,000
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$90,000							\$0			\$0

Type:	Sidewalk 2000'x 5'	Repair 200' at Bridge to Shelter Parking			\$2,000			\$2,000			\$2,000
Age:	18							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0

ELECTRICAL/LIGHTS			2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Security Light 6 (Rental)							\$0			\$0
Age:								\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

<u>SPECIAL FEATURES</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Estimated Cost</u>
Type:	Wavering Memorial Area	Repair Stone Monument			\$12,000			\$12,000			\$12,000
Age:	30							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City Water							\$0			\$0
Age:	20							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
Type:	Drinking Fountain (3)							\$0			\$0
Age:	20	Replace Fountain Ballfield ADA		\$4,500				\$4,500			\$4,500
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$1,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	5 to 12	Replace Safety Surface (Woodchip)				\$3,500		\$3,500			\$3,500
Age:	12							\$0			\$0
General Condition:	Average							\$0			\$0
Estimated Replacement \$:	\$65,000							\$0			\$0
<u>DIAMONDS/FIELDS</u>											
Type:	Softball	Lighting Replacement						\$0	\$200,000	2021	\$200,000
Age:	30	Fence Replacement						\$0	\$35,000	2021	\$35,000
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$140,000							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	3,000' x22 Asphalt 330' x 22 A2	Repair Bridge Abutment		\$15,000				\$15,000			\$15,000
Age:	20	Repair Road at Bridge		\$40,000				\$40,000			\$40,000
General Condition:	3							\$0			\$0
Estimated Replacement \$:	\$85,000							\$0			\$0
<u>OTHER</u>											
Type:	Walking Bridge	Remove Bridge		\$30,000				\$30,000			\$30,000
Age:	30							\$0			\$0
General Condition	5							\$0			\$0
Estimated Replacement \$	\$110,000							\$0			\$0

Park Audit

General Information

Park Name:	Westview Park	
Location:	3126 Harrison	
Approximate Acreage:	6	
General Condition:	2	Mini Park
Park Category:	Neighborhood Park	Decretive/Historical
Seasonal Staff:	None Dedicated	Sports Complex
Year Established:	1965	Park Trail/Greenway
Year(s) of Major Improvements:		Natural Resource Area
Predominant Use:	Neighborhood Park	Neighborhood Park
Estimated Replacement \$:	\$9,800	Community Park
Wheelchair Accessible:	-	Special Use Area

Condition

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5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Westview Park	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	Park Sign (1)							\$0			\$0
Age:	15							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$1,800							\$0			\$0

DIAMONDS/FIELDS											
Type:	Soccer							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$6,000							\$0			\$0

ROADS/RETAINING											
Type:	Access Road (Gravel) 650' x 12'							\$0			\$0
Age:	40							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$2,000							\$0			\$0

Park Audit

General Information

Park Name: Women's City Club Park
Location: 1550 Maine Street
Approximate Acreage: 4
General Condition: Average
Park Category: Decretive/Historical
Seasonal Staff: None Dedicated
Year Established: 1947
Year(s) of Major Improvements:
Predominant Use: Special Use Facility/Neighborhood Park
Estimated Replacement \$: \$111,500
Wheelchair Accessible: -

PARK CATEGORY KEY:

Mini Park
Decretive/Historical
Sports Complex
Park Trail/Greenway
Natural Resource Area
Neighborhood Park
Community Park
Special Use Area

Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Women's City Club	\$0	\$0	\$12,000	\$0	\$0	\$12,000	\$0		\$12,000

LANDSCAPING/SIGNS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	None							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0

PARKING/PATHS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	YR	Estimated Cost
Type:	1,400 sq. ft. parking							\$0			\$0
Age:	20							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$2,500							\$0			\$0

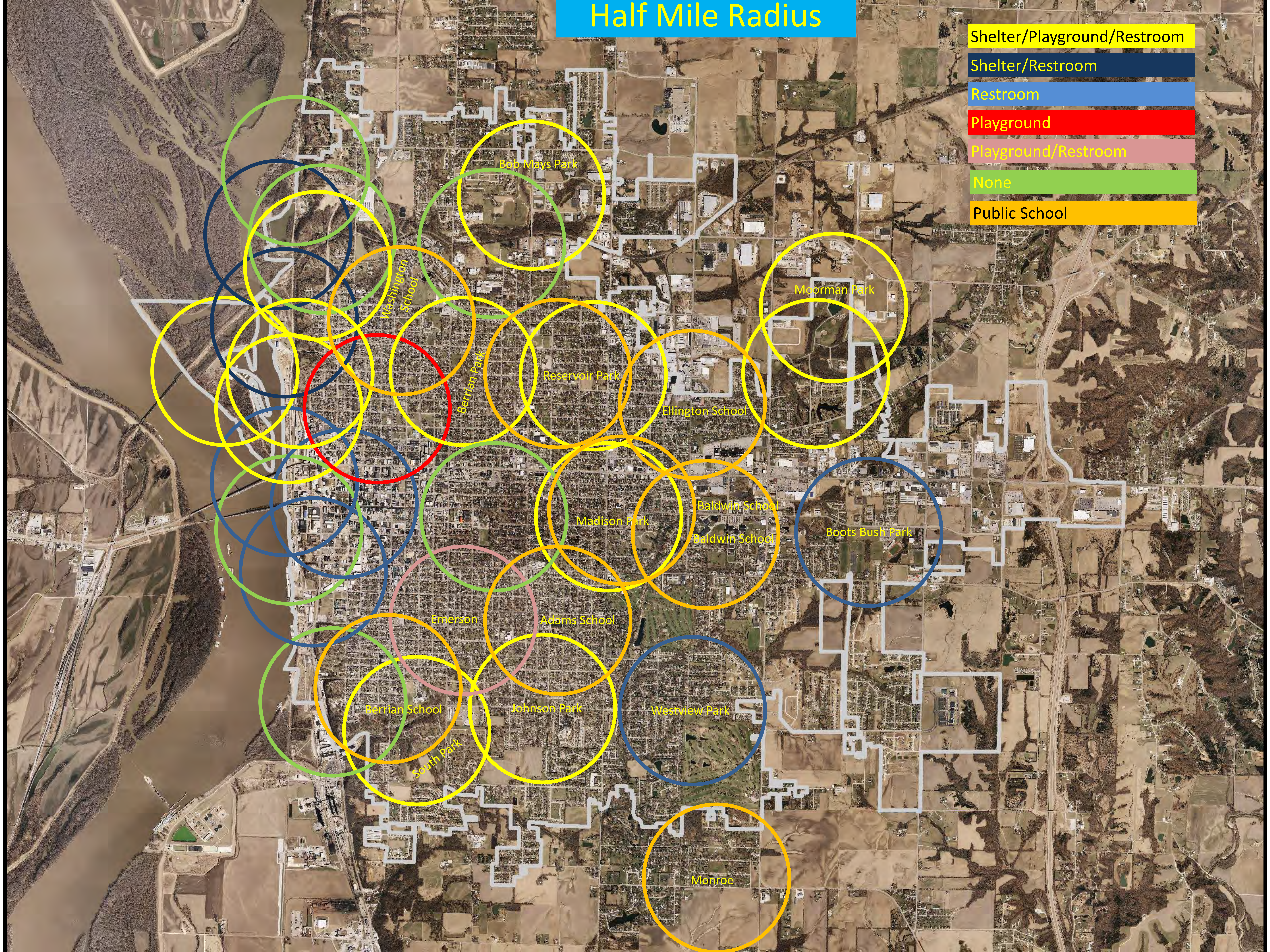
Type:	350' x 8' Brick	Repair/Replace			\$12,000			\$12,000			\$12,000
Age:	100							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$20,000							\$0			\$0

Type:	300' x 5' Brick							\$0			\$0
Age:	30							\$0			\$0
General Condition:	2							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0

<u>ELECTRICAL/LIGHTS</u>	<u>General Information</u>	Item in Need of Maintenance/									Estimated
		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>YR</u>	<u>Cost</u>
Type:	2 Area Lights/ 2 Rental Security Lights							\$0			\$0
Age:	10							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$9,000							\$0			\$0
<u>SPECIAL FEATURES</u>											
Type:	Fountain Basin							\$0			\$0
Age:	100							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$15,000							\$0			\$0
<u>WATER/SANITARY</u>											
Type:	City							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$10,000							\$0			\$0
<u>PLAYGROUNDS</u>											
Type:	None							\$0			\$0
Age:								\$0			\$0
General Condition:								\$0			\$0
Estimated Replacement \$:	\$0							\$0			\$0
<u>ROADS/RETAINING</u>											
Type:	800' x 22' Asphalt							\$0			\$0
Age:	20							\$0			\$0
General Condition:	1							\$0			\$0
Estimated Replacement \$:	\$45,000							\$0			\$0
<u>OTHER</u>											
Type:								\$0			\$0
Age:								\$0			\$0
General Condition								\$0			\$0
Estimated Replacement \$	\$0							\$0			\$0

Half Mile Radius

- Shelter/Playground/Restroom
- Shelter/Restroom
- Restroom
- Playground
- Playground/Restroom
- None
- Public School



Appendix E: Facilities and Equipment

1. Facility Audit
2. Westview Audit
3. Equipment Replacement Schedules:
 - A. Westview
 - B. Parks
 - C. Technology

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost	Total Value
All America Park RR/Storage/Concessions	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$208,000
All American Park Shelter	\$0	\$0	\$0	\$45,000	\$0	\$45,000	\$0	\$45,000	\$100,000
Maintenance 1	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$135,000
Maint. One Storage Shed	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$43,500
Batting Cage Complex	\$0	\$15,000	\$0	\$0	\$0	\$15,000	\$0	\$15,000	\$612,000
Berrian Restroom	\$0	\$0	\$0	\$3,000	\$0	\$3,000	\$4,000	\$7,000	\$86,000
Berrian Shelter	\$0	\$0	\$4,000	\$0	\$0	\$4,000	\$0	\$4,000	\$63,000
Bob Mays Shelter/Restroom	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$264,500
Boots Bush Concession	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$41,000
Boots Bush Restroom	\$6,000	\$80,000	\$0	\$0	\$0	\$86,000	\$0	\$86,000	\$71,500
Clat Adams Gazebo	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$114,000
Clat Adams Restroom	\$0	\$40,000	\$0	\$0	\$0	\$40,000	\$0	\$40,000	\$179,500
Emerson Community Center	\$93,000	\$15,000	\$50,000	\$0	\$30,000	\$188,000	\$0	\$188,000	\$3,316,000
Gardner Shelter	\$0	\$0	\$0	\$0	\$5,000	\$5,000	\$0	\$5,000	\$102,000
Gardner Restroom	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$81,500
Indian Mounds Storage	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$85,000
Indian Mounds Pool	\$62,000	\$0	\$0	\$0	\$0	\$62,000	\$0	\$62,000	\$1,476,000
Island Storage (Museum)	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$152,000
Johnson Restroom	\$0	\$9,000	\$0	\$0	\$0	\$9,000	\$0	\$9,000	\$112,000
Johnson Park Shelter	\$0	\$0	\$12,000	\$4,000	\$0	\$16,000	\$0	\$16,000	\$70,000
Kesler Restroom	\$0	\$0	\$4,500	\$0	\$0	\$4,500	\$0	\$4,500	\$191,000
Kesler Shelter	\$800	\$2,500	\$0	\$0	\$0	\$3,300	\$0	\$3,300	\$40,000
Log Cabin Village Smoke House	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$82,000
Log Cabin Village Corn Crib	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$92,000
Log Cabin Village Call Cabin	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$92,000
Log Cabin Village Herleman Cabin	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$92,000
Log Cabin Village Clat Adams Cabin	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$92,000
Log Cabin Village Fraser Cabin	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$92,000
Log Cabin Village Church	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$102,000
Madison Park Shelter	\$0	\$0	\$0	\$4,000	\$0	\$4,000	\$0	\$4,000	\$65,000
Madison Restroom	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$97,000
Moorman Main Concession	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$41,000

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost	Total Value
<u>Moorman North Restroom</u>	\$4,000	\$0	\$0	\$0	\$0	\$4,000	\$0	\$4,000	\$113,000
<u>Moorman Small Shelter</u>	\$0	\$70,000	\$0	\$0	\$0	\$70,000	\$0	\$70,000	\$63,000
<u>Moorman Large Shelter</u>	\$0	\$0	\$120,000	\$0	\$0	\$120,000	\$0	\$120,000	\$125,000
<u>Moorman Medium Shelter</u>	\$70,000	\$0	\$0	\$0	\$0	\$70,000	\$0	\$70,000	\$72,000
<u>Moorman Upper East Restroom</u>	\$4,000	\$0	\$0	\$0	\$0	\$4,000	\$0	\$4,000	\$113,000
<u>Moorman Ballfield Restroom</u>	\$0	\$4,000	\$0	\$0	\$0	\$4,000	\$0	\$4,000	\$125,000
<u>Q-Island Large Shelter</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$5,000	\$5,000	\$102,000
<u>Q-Island Small Shelter</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$25,000	\$25,000	\$81,000
<u>Q-Island Restrooms</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$5,000	\$5,000	\$96,500
<u>Reservoir Shelter</u>	\$3,500	\$0	\$0	\$0	\$0	\$3,500	\$0	\$3,500	\$381,000
<u>Reservoir Restroom</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$71,000
<u>Reservoir Maintenance Shed</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$28,000
<u>Reservoir Tennis Building</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$35,000
<u>Riverview Shelter</u>	\$0	\$0	\$0	\$4,000	\$0	\$4,000	\$0	\$4,000	\$90,000
<u>Riverview Restroom</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$4,000	\$4,000	\$73,000
<u>Skyride Shed</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$127,000
<u>South Park Tennis Restroom</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$68,500
<u>South Park Ballfield Restroom</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$68,500
<u>South Park Pond Shelter/Restroom</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$96,000
<u>South Park Large Shelter/Restroom</u>	\$0	\$6,000	\$0	\$0	\$0	\$6,000	\$0	\$6,000	\$676,000
<u>South Park Small Shelter</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$60,000
<u>South Park Band Stand</u>	\$30,000	\$0	\$0	\$0	\$0	\$30,000	\$0	\$30,000	\$152,000
<u>South Park Maintenance Building (#2)</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$82,500
<u>South Park Gazebo</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$24,000
<u>South Park Warming Hut</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$25,000
<u>Washington Park Bandstand</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$393,000
<u>Washington Park Restroom</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$301,500
<u>Wavering Ballfield Concession</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$43,000
<u>Wavering Maintenance 3 Building</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$86,000
<u>Wavering Restroom</u>	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$125,000
<u>Wavering Large Shelter</u>	\$0	\$0	\$0	\$0	\$0	\$6,000	\$0	\$6,000	\$110,000
<u>Wavering Small Shelter</u>	\$0	\$0	\$0	\$0	\$0	\$3,000	\$0	\$3,000	\$70,000

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost	Total Value
Wavering Aquatic Center	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$3,344,000
Sub Total	\$273,300	\$241,500	\$190,500	\$60,000	\$35,000	\$809,300	\$43,000	\$852,300	\$15,811,000

Licensed Facilities									
Quincy Art Center	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$1,039,000
Villa Kathrine	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$997,000
Women's City Club	\$0	\$0	\$30,000	\$0	\$0	\$30,000	\$0	\$30,000	\$812,000
Sub Total	\$0	\$0	\$30,000	\$0	\$0	\$30,000	\$0	\$30,000	\$2,848,000

Art Keller Marina - Enterprise Funds									
Art Keller Guard House	\$0	\$0	\$0	\$0	\$0	\$0	\$1,500	\$1,500	\$31,500
Art Keller Restrooms	\$0	\$0	\$0	\$0	\$0	\$0	\$1,500	\$1,500	\$52,000
Art Keller Gas Dock	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$232,500
Art Keller Storage Shed	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$5,000
Art Keller AA Dock	\$10,000	\$0	\$0	\$0	\$0	\$10,000	\$0	\$10,000	\$192,000
Art Keller BB Dock	\$10,000	\$0	\$2,000	\$45,000	\$0	\$57,000	\$0	\$57,000	\$150,000
Art Keller CC Dock	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$188,000
Art Keller A Dock	\$0	\$0	\$12,000	\$0	\$0	\$12,000	\$0	\$12,000	\$181,000
Art Keller B Dock	\$0	\$0	\$0	\$10,000	\$0	\$10,000	\$0	\$10,000	\$190,000
Art Keller C Dock	\$0	\$0	\$0	\$10,000	\$0	\$10,000	\$0	\$10,000	\$184,500
Art Keller D Dock	\$0	\$0	\$0	\$10,000	\$0	\$10,000	\$0	\$10,000	\$193,000
Art Keller E Dock	\$0	\$0	\$320,000	\$0	\$0	\$320,000	\$0	\$320,000	\$140,000
Art Keller F Dock	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$140,000
Art Keller G Dock	\$0	\$45,000	\$0	\$10,000	\$0	\$55,000	\$0	\$55,000	\$152,000
Art Keller H Dock	\$0	\$0	\$0	\$10,000	\$0	\$10,000	\$0	\$10,000	\$143,000
Art Keller I Dock	\$0	\$0	\$0	\$10,000	\$0	\$10,000	\$0	\$10,000	\$151,000
Sub-Total	\$20,000	\$45,000	\$334,000	\$105,000	\$0	\$504,000	\$3,000	\$507,000	\$2,325,500

Grand Total	\$293,300	\$286,500	\$554,500	\$165,000	\$35,000	\$1,343,300	\$46,000	\$1,389,300	\$20,984,500
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Facility Audit
General Information
 Facility Name: All America Park RR/Storage/Concessions
 Location: 1301 Bonansanga Drive
 Approximate Sq. Ft.: 3600 s.f. (70'x45') All
 General Condition: 2
 Seasons: Spring, Summer, Fall
 Hours: 30 Minute before Sunrise - 11:00 p.m.
 Year Built: 1994
 Year(s) of Major Renovations: None
 Type of Construction: Concrete Block/Asphalt Shingle Roof
 Estimated Replacement \$: \$208,000
 Number of Stories: 2
 Current Primary Type of Use: Restroom/Storage & Concessions (Ski Club)
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
All America Park RR/Storage/Concessions	\$0	\$0	\$0	\$0	\$0	\$0	\$0 \$0	\$0

<u>HVAC</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	None							\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

<u>PLUMBING</u>										
Type:	City Water Service							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

<u>RESTROOMS</u>										
Type:	1U/2T men's, 3T Women's, 1 Lav each side							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

ROOF	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Type:	Asphalt Shingles							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Concrete Block							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 AMP/ 2 Florescent							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Painted Concrete Block							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	Septic							\$0	\$0	\$0
Age:	17							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
Type:	Storage Room 5' x 20'							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Slab/Blocks							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0

<u>SECURITY</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Metal Doors w/Lock M,W,Storage							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$9,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:	45' x 25' Storage Garage (Ski Club)							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
Type:	10' x 45' Covered Deck/Concession							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0

Facility Name: All American Park Shelter
Location: 1301 Bonansanga Drive
Approximate Sq. Ft.: 2,625 (75' x 35')
General Condition: 2
Seasons: Spring, Summer, Fall
Hours: 30 Minute before Sunrise - 11:00 p.m.
Year Built: 1975
Year(s) of Major Renovations: None
Type of Construction: Wood Frame/Asphalt Shingle Roof
Estimated Replacement \$: \$100,000
Number of Stories: 1
Current Primary Type of Use: Picnic Shelter
Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated Cost
All American Park Shelter	\$0	\$0	\$0	\$45,000	\$0	\$45,000	\$0	\$45,000

ROOF	Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated Cost
Type:	Stained Wood Sheathing/Asphalt Shingle						\$0	\$0	\$0
Age:	4						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$10,000						\$0	\$0	\$0

EXTERIOR/WINDOWS		<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated Cost
Type:	Stained Wood Frame/Truss						\$0	\$0	\$0
Age:	37						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$3,000						\$0	\$0	\$0

INTERIOR/FINISHES		<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated Cost
Type:	Stained Wood Frame/Truss						\$0	\$0	\$0
Age:	37						\$0	\$0	\$0
General Condition:	3						\$0	\$0	\$0
Estimated Replacement \$:	\$3,000						\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ELECTRICAL/LIGHTING										
Type:	100 amp, 8 outlets, 6 CFL Lights	Electrical Upgrade				\$5,000		\$5,000	\$0	\$5,000
Age:	37							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood Support/Truss							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0
Type:	Reinforced Concrete Slab/Footing	Replace Floor				\$40,000		\$40,000	\$0	\$40,000
Age:	37							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
SECURITY										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0
OTHER										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Maintenance 1
 Location: 1419 Bonansinga Drive
 Approximate Sq. Ft.: 2,450 (70' x 35')
 General Condition: 2
 Seasons: All
 Hours: When Maint. Staff are Present
 Year Built: 1975
 Year(s) of Major Renovations: None
 Type of Construction: Metal Skin/Wood From/ Metal Roof
 Estimated Replacement \$: \$135,000
 Number of Stories: 1
 Current Primary Type of Use: Park Maintenance Facility
 Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Maintenance 1	\$0	\$0	\$0	\$0		\$0	\$0	\$0

<u>HVAC</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Propane Heat							\$0	\$0	\$0
Age:	4							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$13,000							\$0	\$0	\$0

<u>PLUMBING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	City Water Service							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

<u>RESTROOMS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	1T, 1 Lav							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,000							\$0	\$0	\$0

ROOF	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Type:	Metal							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Metal/Factory Finish							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	200 AMP Service, 8 fl, 10 outlets							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Metal/Wood Frame							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	Septic							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Frame/Roof Truss/Concrete Slab							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$65,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Alarm System							\$0	\$0	\$0
Age:	15							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Maint. One Storage Shed
 Location: 1419 Bonansinga Drive
 Approximate Sq. Ft.: 600 (30' x 20')
 General Condition: 2
 Seasons: All
 Hours: When Maint. Worker are present
 Year Built: 1960
 Year(s) of Major Renovations: None
 Type of Construction: Metal Skin/Frame
 Estimated Replacement \$: \$43,500
 Number of Stories: 1
 Current Primary Type of Use: Maint/Vehicle Storage
 Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Maint. One Storage Shed	\$0	\$0	\$0	\$0		\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Metal Sheets							\$0	\$0	\$0
Age:	52							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

<u>EXTERIOR/WINDOWS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Metal Sheets/Painted							\$0	\$0	\$0
Age:	52							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

<u>ELECTRICAL/LIGHTING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Security Light							\$0	\$0	\$0
Age:	52							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$500							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Metal							\$0	\$0	\$0
Age:	52							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Slab/Metal Frame							\$0	\$0	\$0
Age:	52							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Alarm Sensors							\$0	\$0	\$0
Age:	15							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Audit
General Information

Facility Name: Quincy Art Center
Location: 1515 Jersey Street
Approximate Sq. Ft.: 12,000 160'x40'
General Condition: 2
Seasons: All
Hours: 9 a.m. - 4 p.m. M-F
Year Built: 1870/1990
Year(s) of Major Renovations: 1990
Type of Construction: Wood Frame
Estimated Replacement \$: \$1,039,000
Number of Stories: 2
Current Primary Type of Use: Art Museum/Education
Wheelchair Accessible: Yes



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Quincy Art Center	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>HVAC</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	HP, AC, 1 Gas Fur.							\$0	\$0	\$0
Age:	22							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$80,000							\$0	\$0	\$0

<u>PLUMBING</u>										
Type:	City Water/Drinking Fountains/Sinks							\$0	\$0	\$0
Age:	22							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$50,000							\$0	\$0	\$0

Type:	Hot water heaters							\$0	\$0	\$0
Age:	22							\$0	\$0	\$0
General Condition:	\$2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

<u>RESTROOMS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	1U/1T men's, 2T Women's, 1 Lav each side							\$0	\$0	\$0
Age:	22							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
<u>ROOF</u>										
Type:	Fiberglass Shingle							\$0	\$0	\$0
Age:	2-Oct							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Wood/Dryvet/Windows							\$0	\$0	\$0
Age:	100/20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$100,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	200 AMP/Lighting/Outlets							\$0	\$0	\$0
Age:	22							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$80,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Drywall/Paint/Carpet							\$0	\$0	\$0
Age:	22							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$80,000							\$0	\$0	\$0
Type:	Interior Doors							\$0	\$0	\$0
Age:	22							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	22							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

<u>SANITARY/CUSTODIAL</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Utility/Storage Rooms 6							\$0	\$0	\$0
Age:	22							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Footing/Wood Frame							\$0	\$0	\$0
Age:	150/22							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$500,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Steel Doors w/Locks (4)							\$0	\$0	\$0
Age:	22							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Name: Batting Cage Complex
Location: 1608 Moorman Park Road
Approximate Sq. Ft.: 1200 sq ft. Concession (40'x30')
General Condition: 2
Seasons: Summer
Hours: 11:00 - 7:00
Year Built: 2002
Year(s) of Major Renovations: None
Type of Construction: Concrete/Frame Building
Estimated Replacement \$: \$612,000
Number of Stories: 1
Current Primary Type of Use: Concessions
Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Batting Cage Complex	\$0	\$15,000	\$0	\$0	\$0	\$15,000	\$0	\$15,000

<u>HVAC</u>		<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:		1 Window AC							\$0	\$0	\$0
Age:		6							\$0	\$0	\$0
General Condition:		2							\$0	\$0	\$0
Estimated Replacement \$:		\$3,000							\$0	\$0	\$0
<u>PLUMBING</u>											
Type:		City Water							\$0	\$0	\$0
Age:		6							\$0	\$0	\$0
General Condition:		2							\$0	\$0	\$0
Estimated Replacement \$:		\$15,000							\$0	\$0	\$0
Type:		1 HW Heater, Wash sink							\$0	\$0	\$0
Age:		6							\$0	\$0	\$0
General Condition:		2							\$0	\$0	\$0
Estimated Replacement \$:		\$5,000							\$0	\$0	\$0

<u>RESTROOMS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	1T, 1L (M), 1T, 1L (W)							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>ROOF</u>										
Type:	Metal							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Dryvet, 6 Anderson Windows							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
Type:	Concession Window (2)							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Fiberglass Panels							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	200 Amp, 4 Flr4							\$0		\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

STRUCTURE/FOUNDATION	General Information	Item in Need of Maintenance/ Repair/Replacement								Estimated
			2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Cost
Type:	Concrete Footing/Wood Frame							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$90,000							\$0	\$0	\$0
SECURITY										
Type:	Steel Doors w/locks (4)							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
SECURITY										
Type:	Video Recorder/Cameras							\$0	\$0	\$0
Age:	5							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
OTHER										
Type:	Concession Deck/Pergola							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
Type:	Miniature Golf Course	Replace course carpet		\$15,000				\$15,000	\$0	\$15,000
Age:	7							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$210,000							\$0	\$0	\$0
Type:	Batting Cage w/4 Machines							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$150,000							\$0	\$0	\$0

Facility Name: Berrian Restroom
Location: 1128 N. 12th Street
Approximate Sq. Ft.: 504 (28' x 18')
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1975
Year(s) of Major Renovations: None
Type of Construction: Wood Frame/Asphalt Shingle Roof
Estimated Replacement \$: \$86,000
Number of Stories: 1
Current Primary Type of Use: Restroom & Maintenance Storage
Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

							Estimated		
	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>	
Berrian Restroom	\$0	\$0	\$0	\$3,000	\$0	\$3,000	\$4,000	\$0	\$7,000

<u>Item in Need of Maintenance/Repair/Replacement</u>			<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
PLUMBING										
Type:	City Water							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
RESTROOMS										
Type:	2 Toilet, 2 Lav (1 each side m/w)							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
ROOF										
Type:	Asphalt Shingles	Replace Roof Shingles				\$3,000		\$3,000	\$0	\$3,000
Age:	20							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>EXTERIOR/WINDOWS</u>										
Type:	Painted wood siding							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Painted Concrete Block							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp Service/2 CFL Lights	Upgrade Electrical Service						\$0	\$4,000	\$4,000
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	36							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
Type:	Maint. Storage 10 x 14							\$0	\$0	\$0
Age:	36							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Slab/Concrete Block							\$0	\$0	\$0
Age:	36							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Video DVR Recorder/Cameras							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$13,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated Cost
SECURITY Type: Age: General Condition: Estimated Replacement \$:	Steel Doors w/locks (2)							\$0	\$0	\$0
	36							\$0	\$0	\$0
	2							\$0	\$0	\$0
	\$5,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Berrian Shelter
 Location: 1200 N. 13th Street
 Approximate Sq. Ft.: 1,260 (36' x 35')
 General Condition: 2
 Seasons: Spring, Summer, Fall
 Hours: 30 Min. before SR -11:00 pm
 Year Built: 1975
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Slab/Metal Roof
 Estimated Replacement \$: \$63,000
 Number of Stories: 1
 Current Primary Type of Use: Picnic Shelter
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Berrian Shelter	\$0	\$0	\$4,000	\$0		\$4,000	\$0	\$4,000

ROOF		General Information	Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:		Metal Roof							\$0	\$0
Age:		15							\$0	\$0
General Condition:		2							\$0	\$0
Estimated Replacement \$:		\$5,000							\$0	\$0
EXTERIOR/WINDOWS										
Type:		Stained Wood							\$0	\$0
Age:		20							\$0	\$0
General Condition:		2							\$0	\$0
Estimated Replacement \$:		\$2,000							\$0	\$0
INTERIOR/FINISHES										
Type:		Stained Wood							\$0	\$0
Age:		20							\$0	\$0
General Condition:		2							\$0	\$0
Estimated Replacement \$:		\$2,000							\$0	\$0

<u>ELECTRICAL/LIGHTING</u>		Item in Need of Maintenance/ <u>Repair/Replacement</u>		<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017-2021</u>	Estimated <u>Cost</u>	
Type:	100 Amp Service 4 outlet 1 HPS Light	Update Electric - Timer/CFI				\$4,000			\$4,000	\$0	\$4,000
Age:	37								\$0	\$0	\$0
General Condition:	2								\$0	\$0	\$0
Estimated Replacement \$:	\$4,000								\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>											
Type:	None								\$0	\$0	\$0
Age:									\$0	\$0	\$0
General Condition:									\$0	\$0	\$0
Estimated Replacement \$:	\$0								\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>											
Type:	Concrete Slab/Wood Frame								\$0	\$0	\$0
Age:	37								\$0	\$0	\$0
General Condition:	2								\$0	\$0	\$0
Estimated Replacement \$:	\$50,000								\$0	\$0	\$0
<u>SECURITY</u>											
Type:									\$0	\$0	\$0
Age:									\$0	\$0	\$0
General Condition:									\$0	\$0	\$0
Estimated Replacement \$:	\$0								\$0	\$0	\$0
<u>OTHER</u>											
Type:									\$0	\$0	\$0
Age:									\$0	\$0	\$0
General Condition:									\$0	\$0	\$0
Estimated Replacement \$:									\$0	\$0	\$0

Facility Name: Bob Mays Shelter/Restroom
Location: 2533 N. 18th Street
Approximate Sq. Ft.: 2,450 (70'x35') All, 390 (23'x17')-RR/Storage
General Condition: 2
Seasons: Spring, Summer, Fall
Hours: 30 Minute before Sunrise - 11:00 p.m.
Year Built: 2008
Year(s) of Major Renovations: None
Type of Construction: Steel Frame/Steel Roof/Concrete Block
Estimated Replacement \$: \$264,500
Number of Stories: 1
Current Primary Type of Use: Picnic Shelter and Restrooms
Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Bob Mays Shelter/Restroom	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

		Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
<u>PLUMBING</u>		<u>General Information</u>								
Type:	City Water Service							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
Type:	Tankless Electric Hot water							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	\$2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>RESTROOMS</u>										
Type:	1U/1T men's, 2T Women's, 1 Lav each side							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

ROOF	Item in Need of Maintenance/									Estimated
	General Information	Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Cost
Type:	24 Gauge Standing Seam Metal Roof							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Steel Frame/Concrete Block/Concrete Floor							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	200 AMP Service LED Lighting/GFI Outlets							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Powder Coated Steel/Concrete Block							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
Type:	Composite/Concrete lap RR Ext. Wall N.							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	Lift Station to Sanitary Sewer							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
Type:	Custodial Room 4'x17'							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

STRUCTURE/FOUNDATION	General Information	Item in Need of Maintenance/ Repair/Replacement								Estimated
			<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type:	Concrete Footing/Block/Steel Frame							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$120,000							\$0	\$0	\$0

Facility Name: Boots Bush Concession
Location: 4234 Maine
Approximate Sq. Ft.: 200 (20' x 10')
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1985
Year(s) of Major Renovations: None
Type of Construction: Concrete Block/Concrete Slab
Estimated Replacement \$: \$41,000
Number of Stories: 2
Current Primary Type of Use: Concession/Field Scoring
Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Boots Bush Concession	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>HVAC</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Type:	A/C Roof Mounted							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
ROOF										
Type:	Flat Membrane							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Painted Block							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

EXTERIOR/WINDOWS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:	Concession Window							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Painted Block							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
ELECTRICAL/LIGHTING										
Type:	Sub Panel, 12 Outlets, 1 FL, 1 Sec							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
SANITARY/CUSTODIAL										
Type:	City Sewer							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Concrete Footing/Block Walls/Slab Floor							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
SECURITY										
Type:	Steel Doors w/Locks (2)							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
OTHER										
Type:	Floor Safe							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

Facility Name: Boots Bush Restroom
Location: 4234 Maine
Approximate Sq. Ft.: 264 (22' x 12')
General Condition: 2
Seasons: Spring, Summer, Fall
Hours: 30 Minute before Sunrise - 11:00 p.m.
Year Built: 1975
Year(s) of Major Renovations: None
Type of Construction: Brick/Flat Roof
Estimated Replacement \$: \$71,500
Number of Stories: 1
Current Primary Type of Use: Picnic Shelter
Wheelchair Accessible:



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Boots Bush Restroom	\$6,000	\$80,000	\$0	\$0	\$0	\$86,000	\$0	\$86,000

Item in Need of Maintenance/ Repair/Replacement										Estimated Cost
			2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Cost
PLUMBING										
Type:	City Water							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
RESTROOMS										
Type:	1T, 1U, 1 L (M), 2T, 1L (W)	Replace Restroom		\$80,000				\$80,000	\$0	\$80,000
Age:	37	Engineering Study for replace or Renovate	\$6,000					\$6,000	\$0	\$6,000
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
ROOF										
Type:	Flat Tar Roof							\$0	\$0 2018	\$0
Age:	37							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>EXTERIOR/WINDOWS</u>										
Type:	Brick							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Glazed Block							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 amp, 2 CFL each side - 2 CFL Sec.							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete/footing/Brick							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Steel Doors w/Locks (3)							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$7,500							\$0	\$0	\$0
<u>OTHER</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Name: Clat Adams Gazebo
Location: 201 N. Front Street
Approximate Sq. Ft.: 45'x45' Hex (1426 sq ft)
General Condition: 2
Seasons: Spring, Summer, Fall
Hours: 30 Minute before Sunrise - 11:00 p.m.
Year Built: 1993
Year(s) of Major Renovations: None
Type of Construction: Steel Frame/Metal Roof
Estimated Replacement \$: \$114,000
Number of Stories: 1
Current Primary Type of Use: Picnic/Wedding
Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Clat Adams Gazebo	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Standing Seam metal Roof							\$0	\$0	\$0
Age:	19							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

<u>EXTERIOR/WINDOWS</u>										
Type:	Painted Metal							\$0	\$0	\$0
Age:	19							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Type:	Concrete Slab Floor							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

<u>ELECTRICAL/LIGHTING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Sub-Panel 4 GFI, 200 W MH (1)	-						\$0	\$0	\$0
Age:	19							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Footing/Steel Frame							\$0	\$0	\$0
Age:	19							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$65,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0
<u>OTHER</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Name: Clat Adams Restroom
Location: 201 N. Front Street
Approximate Sq. Ft.: 900 30'x30' Hex
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1993
Year(s) of Major Renovations: None
Type of Construction: Brick/Block/Wood
Estimated Replacement \$: \$179,500
Number of Stories: 1
Current Primary Type of Use: Restroom
Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Clat Adams Restroom	\$0	\$40,000	\$0	\$0	\$0	\$40,000	\$0	\$40,000

		<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
<u>PLUMBING</u>										
Type:	City Water							\$0	\$0	\$0
Age:	19							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>RESTROOMS</u>										
Type:	1T, 1U 1L (M), 2T, 1L (W)							\$0	\$0	\$0
Age:	19							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
<u>ROOF</u>										
Type:	Metal Roof							\$0	\$0	\$0
Age:	19							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>EXTERIOR/WINDOWS</u>										
Type:	Brick/Wood/6 Cupola Windows							\$0	\$0	\$0
Age:	19							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Glazed Block/Wood							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp Service/2 FL Lights							\$0		\$0
Age:	19							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	19							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
Type:	Maint. Storage 10 x 15							\$0	\$0	\$0
Age:	19							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Slab/Brick/Wood							\$0	\$0	\$0
Age:	19							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$50,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Steel Doors w/locks (3)							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$7,500							\$0	\$0	\$0

<u>OTHER</u>		Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	Wood Deck	Replace Deck		\$40,000				\$40,000	\$0	\$40,000
Age:	19							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Emerson Community Center
 Location: 1310 Washington Street
 Approximate Sq. Ft.: 37,000
 General Condition: 3
 Seasons: Spring, Summer, Fall
 Hours: 30 Min. before SR -11:00 pm
 Year Built: 1900/1925
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Slab/Metal Roof
 Estimated Replacement \$: \$3,316,000
 Number of Stories: 3
 Current Primary Type of Use: Picnic Shelter
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated Cost	
Emerson Community Center	\$93,000	\$15,000	\$50,000	\$0	\$30,000	\$188,000	\$0	\$0	\$188,000

<u>HVAC</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	16 HP, 2 AC, 3 Gas Fur.							\$0	\$0	\$0
Age:	Var. 2-19 years							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$170,000							\$0	\$0	\$0

<u>PLUMBING</u>										
Type:	City Water Service							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

<u>RESTROOMS</u>										
Type:	1U/2T men's, 6T Women's, 1 Lav each side							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0

ROOF	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Type:	Fiberglass Shingle/Flat Membrane	Replace Flat Roof Section	\$75,000					\$75,000	\$0	\$75,000
Age:	20							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$100,000							\$0	\$0	\$0
ROOF										
Type:	Gutters/Downspouts	Replace Gutter/Downspouts	\$18,000					\$18,000	\$0	\$18,000
Age:	20							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$18,000							\$0	\$0	\$0
EXTERIOR										
Type:	Brick/Wood	Tuck pointing			\$45,000			\$45,000	\$0	\$45,000
Age:	100	Repair Parapet Wall SW			\$5,000			\$5,000	\$0	\$5,000
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$100,000							\$0	\$0	\$0
WINDOWS										
Type:	95 Windows							\$0	\$0	\$0
Age:	100							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$250,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Plas. Walls, Carp./Wood/Terrazzo Floors							\$0	\$0	\$0
Age:	Var. 15,20,85							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$150,000							\$0	\$0	\$0
ELECTRICAL/LIGHTING										
Type:	4 Panels Fl Lts, outlets	Lighting Upgrades		\$15,000				\$15,000	\$0	\$15,000
Age:	Var. 8/40							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$120,000							\$0	\$0	\$0
SANITARY/CUSTODIAL										
Type:	Maint Room 30x20							\$0	\$0	\$0
Age:	100							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0

<u>SANITARY/CUSTODIAL</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	City Sewer							\$0	\$0	\$0
Age:	60							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Foundation/Brick Structure	Foundation Sidewalk Replacement					\$30,000	\$30,000	\$0	\$30,000
Age:	112/85							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	7 Doors w/Looks							\$0	\$0	\$0
Age:	Var. 2-40							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$25,000							\$0	\$0	\$0
-										
Type:	Video Security System							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$13,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:	Lift							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$35,000							\$0	\$0	\$0
Type:	Gym							\$0	\$0	\$0
Age:	50							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$250,000							\$0	\$0	\$0

Facility Name: Gardner Shelter
Location: 1831 N. 3rd
Approximate Sq. Ft.: 2,275 (65' x 35')
General Condition: 2
Seasons: Spring, Summer, Fall
Hours: 30 Minute before Sunrise - 11:00 p.m.
Year Built: 1975
Year(s) of Major Renovations: None
Type of Construction: Wood Frame/Asphalt Shingle Roof
Estimated Replacement \$: \$102,000
Number of Stories: 1
Current Primary Type of Use: Picnic Shelter
Wheelchair Accessible:



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Gardner Shelter	\$0	\$0	\$0	\$0	\$5,000	\$5,000	\$0	\$5,000

Item in Need of Maintenance/ Repair/Replacement		2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF									
Type:	Stained Wood Sheathing/Asphalt Shingle						\$0	\$0	\$0
Age:	37						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$10,000						\$0	\$0	\$0

EXTERIOR/WINDOWS									
Type:	Stained Wood Frame/Truss						\$0	\$0	\$0
Age:	37						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$2,000						\$0	\$0	\$0

INTERIOR/FINISHES									
Type:	Stained Wood Frame/Truss						\$0	\$0	\$0
Age:	2						\$0	\$0	\$0
General Condition:	3						\$0	\$0	\$0
Estimated Replacement \$:	\$2,000						\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ELECTRICAL/LIGHTING										
Type:	100 amp, 8 outlets, 6 CFL Lights	Electrical Upgrade					\$5,000	\$5,000	\$0	\$5,000
Age:	37							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood Support/Truss							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0
Type:	Reinforced Concrete Slab/Footing							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
SECURITY										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0
OTHER										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Name: Gardner Restroom
Location: 1831 N. 3rd
Approximate Sq. Ft.: 300 (25' x 12')
General Condition: 2
Seasons: Spring, Summer, Fall
Hours: 30 Minute before Sunrise - 11:00 p.m.
Year Built: 1975
Year(s) of Major Renovations: None
Type of Construction: Wood Frame/Asphalt Shingle Roof
Estimated Replacement \$: \$81,500
Number of Stories: 1
Current Primary Type of Use: Picnic Shelter
Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Gardner Restroom	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>		<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Asphalt Shingle							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

<u>PLUMBING</u>										
Type:	City Water							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

Type:	Electric Hot Water (Tank)							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,500							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>RESTROOMS</u>										
Type:	2T, 2L (1 each side M/W)							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Brick							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Painted Block							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 amp, 4 MH Lights							\$0	\$0	\$0
Age:	25							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Frame/Brick							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
Type:	Reinforced Concrete Slab/Footing							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Steel Doors w/Locks (2)							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0

<u>OTHER</u>	Item in Need of Maintenance/ Repair/Replacement							Estimated	
		<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Indian Mounds Storage
 Location: Indian Mounds Road
 Approximate Sq. Ft.: 2,450 (70' x 35')
 General Condition: 2
 Seasons: All
 Hours: No Public Hours
 Year Built: 1967
 Year(s) of Major Renovations: None
 Type of Construction: Concrete Block
 Estimated Replacement \$: \$85,000
 Number of Stories: 1
 Current Primary Type of Use: Park Maintenance Facility
 Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Indian Mounds Storage	\$0	\$0	\$0	\$0		\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Fiberglass Shingle/Wood Frame							\$0	\$0	\$0
Age:	15							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

<u>EXTERIOR/WINDOWS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Painted Concrete Block							\$0	\$0	\$0
Age:	44							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Concrete Block							\$0	\$0	\$0
Age:	44							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

STRUCTURE/FOUNDATION	General Information	Item in Need of Maintenance/ Repair/Replacement						Estimated	
			2012	2013	2014	2015	2016	Sum 1-5	2017-2021 Cost
Type:	Concrete Foundation/Floor/Block							\$0	\$0
Age:	44							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$70,000							\$0	\$0
SECURITY									
Type:	Door W/Lock							\$0	\$0
Age:	30							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0
OTHER									
Type:								\$0	\$0
Age:								\$0	\$0
General Condition:								\$0	\$0
Estimated Replacement \$:								\$0	\$0

Facility Audit
General Information
 Facility Name: Indian Mounds Pool
 Location: 1400 S. 5th Street
 Approximate Sq. Ft.: 3800 Basin, 2600 Bathhouse, 840 Filter
 General Condition: 2
 Seasons: Summer
 Hours: 11:00 - 7:00
 Year Built: 2002
 Year(s) of Major Renovations: None
 Type of Construction: Concrete
 Estimated Replacement \$: \$1,476,000
 Number of Stories: 1
 Current Primary Type of Use: Swimming
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Indian Mounds Pool	\$62,000	\$0	\$0	\$0	\$0	\$62,000	\$0	\$62,000

<u>HVAC</u>		<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Window AC								\$0	\$0	\$0
Age:	10								\$0	\$0	\$0
General Condition:	2								\$0	\$0	\$0
Estimated Replacement \$:	\$2,000								\$0	\$0	\$0
<u>PLUMBING</u>											
Type:	City Water								\$0	\$0	\$0
Age:	10								\$0	\$0	\$0
General Condition:	2								\$0	\$0	\$0
Estimated Replacement \$:	\$15,000								\$0	\$0	\$0
Type:	Spray fountains/Water Circulation								\$0	\$0	\$0
Age:	10								\$0	\$0	\$0
General Condition:	2								\$0	\$0	\$0
Estimated Replacement \$:	\$100,000								\$0	\$0	\$0

PLUMBING	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Type:	2 HW Heater, Wash sink							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$7,000							\$0	\$0	\$0
<u>RESTROOMS</u>										
Type:	3T, 3U, 2L (M), 6T, 2L (W), 4 Shwrs ea side							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$80,000							\$0	\$0	\$0
<u>ROOF</u>										
Type:	Asphalt Shingles							\$0	\$0	\$0
Age:	15							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Concrete Block							\$0	\$0	\$0
Age:	10 Bath/50 Filter							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Concession Window (2)							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Painted Concrete Block							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	400 Amp, 8 Flr, 6 MH							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$120,000							\$0	\$0	\$0

SANITARY/CUSTODIAL	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Type:	City Sewer							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Bathhouse - Concrete Footing/Block							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$150,000							\$0	\$0	\$0
Type:	Filter Bldg - Concrete Footing/Block							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0
Type:	Basin - Concrete Footing/Concrete Sides	Replace deck drains	\$62,000					\$62,000	\$0	\$62,000
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$500,000							\$0	\$0	\$0
SECURITY										
Type:	Steel Doors w/locks (5)							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
Type:	750' Black vinyl chain link fence							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$50,000							\$0	\$0	\$0
Type:	Video Recorder/Cameras							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0

<u>OTHER</u>	Item in Need of Maintenance/									Estimated
	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type:	DE Filter and Feature Pumps							\$0	\$0	\$0
Age:	30							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$200,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:	Disinfection/Controller							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$80,000							\$0	\$0	\$0
Type:	Water Features (Frog/Umbrella)							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0

Facility Name: Island Storage (Museum)
Location: 1009 Quinsippi Island Road
Approximate Sq. Ft.: 3200, 80'x40'
General Condition: 2
Seasons: Sp, Su, Fa
Hours: No Public Hours
Year Built: 1968
Year(s) of Major Renovations: None
Type of Construction: Metal Frame/Roof/Floats
Estimated Replacement \$: \$152,000
Number of Stories: 1
Current Primary Type of Use: Storage
Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Island Storage (Museum)	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Fiberglass Shingle							\$0	\$0	\$0
Age:	44							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$12,000							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>										
Type:	Concert Block Walls/Concrete Floor							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

<u>EXTERIOR/WINDOWS</u>										
Type:	Painted Concrete Block							\$0	\$0	\$0
Age:	44							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

		Item in Need of Maintenance/							Estimated	
<u>ELECTRICAL/LIGHTING</u>	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type:	100 Amp							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete footing/Floor/Block Walls							\$0	\$0	\$0
Age:	44							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$120,000							\$0	\$0	\$0

Facility Name: Johnson Restroom
Location: 1901 Harrison Street
Approximate Sq. Ft.: 600 (40' x 15')
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1975
Year(s) of Major Renovations: None
Type of Construction: Brick/Block/Asphalt Shingle Roof
Estimated Replacement \$: \$112,000
Number of Stories: 1
Current Primary Type of Use: Restroom & Maintenance Storage
Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Johnson Restroom	\$0	\$9,000	\$0	\$0	\$0	\$9,000	\$0	\$9,000

Item in Need of Maintenance/ Repair/Replacement										<u>Estimated Cost</u>
<u>PLUMBING</u>			<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	
Type:	City Water							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>RESTROOMS</u>										
Type:	2 Toilet, 2 Lav (1 each side m/w)							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>ROOF</u>										
Type:	Asphalt Shingles	Replace Roof Shingles		\$3,000				\$3,000	2017	\$3,000
Age:	15	Repair Soffit/Fascia		\$6,000				\$6,000	\$0	\$6,000
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>EXTERIOR/WINDOWS</u>										
Type:	Painted Brick							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Painted Concrete Block							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp Service/2 CFL Lights							\$0		\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
Type:	Maint. Storage 10 x 15							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Slab/Brick/Concrete Block							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Steel Doors w/locks (2)							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0

<u>OTHER</u>	Item in Need of Maintenance/ Repair/Replacement		<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	Covered Area							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Johnson Park Shelter
 Location: 1901 Harrison Street
 Approximate Sq. Ft.: 1,600 (40' x 40')
 General Condition: 2
 Seasons: Spring, Summer, Fall
 Hours: 30 Min. before SR -11:00 pm
 Year Built: 1975
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Slab/Metal Roof
 Estimated Replacement \$: \$70,000
 Number of Stories: 1
 Current Primary Type of Use: Picnic Shelter
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Johnson Park Shelter	\$0	\$0	\$12,000	\$4,000	\$0	\$16,000	\$0	\$16,000

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Fiberglass Shingle/Wood Rafters							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

<u>EXTERIOR/WINDOWS</u>										
Type:	Stained Wood							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>										
Type:	Stained Wood							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp Service 2 Lt, 6 outlets	Update Electric - Timer/CFI				\$4,000		\$4,000	\$0	\$4,000
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	None							\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Slab/Wood Frame	Replace Floor			\$12,000			\$12,000	\$0	\$12,000
Age:	36							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0
<u>OTHER</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Audit
General Information

Facility Name: Kesler Restroom
Location: 801 Bonansinga Drive
Approximate Sq. Ft.: 30'x30' (900 sq ft)
General Condition: 2
Seasons: Spring, Summer, Fall
Hours: 30 Minute before Sunrise - 11:00 p.m.
Year Built: 1985
Year(s) of Major Renovations: None
Type of Construction: Block/Wood Exterior/Fiberglass Shingles
Estimated Replacement \$: \$191,000
Number of Stories: 1
Current Primary Type of Use: Restroom
Wheelchair Accessible: Yes



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Kesler Restroom	\$0	\$0	\$4,500	\$0	\$0	\$4,500	\$0	\$4,500

PLUMBING		General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Type:		City Water							\$0	\$0	\$0
Age:		27							\$0	\$0	\$0
General Condition:		2							\$0	\$0	\$0
Estimated Replacement \$:		\$15,000							\$0	\$0	\$0
SANITARY											
Type:		Lift Station to City Sewer							\$0	\$0	\$0
Age:		27							\$0	\$0	\$0
General Condition:		2							\$0	\$0	\$0
Estimated Replacement \$:		\$20,000							\$0	\$0	\$0
RESTROOMS											
Type:		2T,1U, 1L (M)/3T, 1L (W)							\$0	\$0	\$0
Age:		27							\$0	\$0	\$0
General Condition:		2							\$0	\$0	\$0
Estimated Replacement \$:		\$10,000							\$0	\$0	\$0

CUSTODIAL	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Type:	8' x 12' (120 sq ft)							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
ROOF										
Type:	Asphalt Shingle Roof/4 skylights							\$0	\$0	\$0
Age:	4							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Painted wood Siding over Concrete Block							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
-										
Type:	Glazed Block to 7' - Stained wood							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
Type:	Concrete Slab Floor							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
ELECTRICAL/LIGHTING										
Type:	100 AMP 4 CFL Lights int. 2 Ext.							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Concrete Footing, Block/Wood Frame							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$70,000							\$0	\$0	\$0

<u>SECURITY</u>	Item in Need of Maintenance/									Estimated
	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type:	4 Steel Doors w/locks							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:	60'x50' Concrete Deck	Repair/Replace Railing			\$4,500			\$4,500	\$0	\$4,500
Age:	50							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0

Facility Name: Kesler Shelter
Location: 701 Bonansinga Drive
Approximate Sq. Ft.: 35'x20' (700 sq ft)
General Condition: 2
Seasons: Spring, Summer, Fall
Hours: 30 Minute before Sunrise - 11:00 p.m.
Year Built: 1995
Year(s) of Major Renovations: None
Type of Construction: Steel Frame/Wood Sheathing/Shingles
Estimated Replacement \$: \$40,000
Number of Stories: 1
Current Primary Type of Use: Picnic
Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Kesler Shelter	\$800	\$2,500	\$0	\$0	\$0	\$3,300	\$0	\$3,300

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Asphalt Shingle Roof							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

EXTERIOR/WINDOWS

Type:	Steel Frame/No Windows	Paint/Stain Surfaces	\$400					\$400	\$0	\$400
Age:	17							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

INTERIOR/FINISHES

Type:	Steel Frame/2x6 Exposed Wood Sheathing	Paint/Stain Surfaces	\$400					\$400	\$0	\$400
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

<u>ELECTRICAL/LIGHTING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	100 AMP/4 Outlets/MH Lighting	Electrical Upgrades GFI/Timer		\$2,500				\$2,500	\$0	\$2,500
Age:	17							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	None							\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Footing, Floor/Steel Frame							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Log Cabin Village Smoke House
 Location: 1009 Quinsippi Island Road
 Approximate Sq. Ft.: 150 15'x10'
 General Condition: 2
 Seasons: Sp, Su, Fa
 Hours: 24/7 - April-October
 Year Built: 1850
 Year(s) of Major Renovations: None
 Type of Construction: Limestone Masonry
 Estimated Replacement \$: \$82,000
 Number of Stories: 1
 Current Primary Type of Use: Historical
 Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Log Cabin Village Smoke House	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Wood Frame/Wood Shingles							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Foundation/Stone Walls							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$80,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Log Cabin Village Corn Crib
 Location: 1009 Quinsippi Island Road
 Approximate Sq. Ft.: 800 40'x20'
 General Condition: 3
 Seasons: Sp, Su, Fa
 Hours: 24/7 - April-October
 Year Built: 1850
 Year(s) of Major Renovations: None
 Type of Construction: Log Construction
 Estimated Replacement \$: \$92,000
 Number of Stories: 1
 Current Primary Type of Use: Historical
 Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Log Cabin Village Corn Crib	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Wood Frame/Wood Shingles							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Logs							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$90,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Log Cabin Village Call Cabin
 Location: 1009 Quinsippi Island Road
 Approximate Sq. Ft.: 400 20'x20'
 General Condition: 3
 Seasons: Sp, Su, Fa
 Hours: 24/7 - April-October
 Year Built: 1850
 Year(s) of Major Renovations: None
 Type of Construction: Log Cabin
 Estimated Replacement \$: \$92,000
 Number of Stories: 1
 Current Primary Type of Use: Historical
 Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Log Cabin Village Call Cabin	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Wood Frame/Wood Shingles							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

<u>STRUCTURE/FOUNDATION</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Wood Logs							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$90,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Log Cabin Village Herleman Cabin
 Location: 1009 Quinsippi Island Road
 Approximate Sq. Ft.: 400 20'x20'
 General Condition: 3
 Seasons: Sp, Su, Fa
 Hours: 24/7 - April-October
 Year Built: 1850
 Year(s) of Major Renovations: None
 Type of Construction: Log Cabin
 Estimated Replacement \$: \$92,000
 Number of Stories: 1
 Current Primary Type of Use: Historical
 Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	Estimated <u>Cost</u>
Log Cabin Village Herleman Cabin	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	Wood Frame/Wood Shingles							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Logs							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$90,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Log Cabin Village Clat Adams Cabin
 Location: 1009 Quinsippi Island Road
 Approximate Sq. Ft.: 400 20'x20'
 General Condition: 3
 Seasons: Sp, Su, Fa
 Hours: 24/7 - April-October
 Year Built: 1850
 Year(s) of Major Renovations: None
 Type of Construction: Log Cabin
 Estimated Replacement \$: \$92,000
 Number of Stories: 1
 Current Primary Type of Use: Historical
 Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Log Cabin Village Clat Adams Cabin	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Wood Frame/Wood Shingles							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Logs							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$90,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Log Cabin Village Fraser Cabin
 Location: 1009 Quinsippi Island Road
 Approximate Sq. Ft.: 400 20'x20'
 General Condition: 3
 Seasons: Sp, Su, Fa
 Hours: 24/7 - April-October
 Year Built: 1850
 Year(s) of Major Renovations: None
 Type of Construction: Log Cabin
 Estimated Replacement \$: \$92,000
 Number of Stories: 1
 Current Primary Type of Use: Historical
 Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Log Cabin Village Fraser Cabin	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Wood Frame/Wood Shingles							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

<u>STRUCTURE/FOUNDATION</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Wood Logs							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$90,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Log Cabin Village Church
 Location: 1009 Quinsippi Island Road
 Approximate Sq. Ft.: 600 30'x20'
 General Condition: 3
 Seasons: Sp, Su, Fa
 Hours: 24/7 - April-October
 Year Built: 1850
 Year(s) of Major Renovations: None
 Type of Construction: Log Cabin
 Estimated Replacement \$: \$102,000
 Number of Stories: 1
 Current Primary Type of Use: Historical
 Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
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	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Log Cabin Village Church	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Wood Frame/Wood Shingles							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Logs							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$100,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Madison Park Shelter
 Location: 2400 Maine Street
 Approximate Sq. Ft.: 1,400 (40' x 35')
 General Condition: 2
 Seasons: Spring, Summer, Fall
 Hours: 30 Min. before SR -11:00 pm
 Year Built: 1975
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Slab/Metal Roof
 Estimated Replacement \$: \$65,000
 Number of Stories: 1
 Current Primary Type of Use: Picnic Shelter
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Madison Park Shelter	\$0	\$0	\$0	\$4,000	\$0	\$4,000	\$0	\$4,000

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Fiberglass Shingle/Wood Rafters							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Stained Wood							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Stained Wood							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp Service 2 Lt, 6 outlets	Update Electric - Timer/CFI				\$4,000		\$4,000	\$0	\$4,000
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	None							\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Slab/Wood Frame							\$0	\$0	\$0
Age:	36							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$55,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0
<u>OTHER</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Madison Restroom
 Location: 2400 Maine Street
 Approximate Sq. Ft.: 600 (40' x 15')
 General Condition: 2
 Seasons: All
 Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
 Year Built: 1975
 Year(s) of Major Renovations: None
 Type of Construction: Brick/Block/Asphalt Shingle Roof
 Estimated Replacement \$: \$97,000
 Number of Stories: 1
 Current Primary Type of Use: Restroom & Maintenance Storage
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
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Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Madison Restroom	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

		<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
<u>PLUMBING</u>										
Type:	City Water							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
<u>RESTROOMS</u>										
Type:	2 Toilet, 2 Lav (1 each side m/w)							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
<u>ROOF</u>										
Type:	Metal Roof							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>EXTERIOR/WINDOWS</u>										
Type:	Painted Brick							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Painted Concrete Block							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp Service/2 CFL Lights							\$0		\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
Type:	Maint. Storage 10 x 15							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Slab/Brick/Concrete Block							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$25,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Steel Doors w/locks (2)							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0

Facility Name: Moorman Main Concession
Location: 1215 N. 39th Street
Approximate Sq. Ft.: 200 (20' x 10')
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1985
Year(s) of Major Renovations: None
Type of Construction: Concrete Block/Concrete Slab
Estimated Replacement \$: \$41,000
Number of Stories: 2
Current Primary Type of Use: Concession/Field Scoring
Wheelchair Accessible: Unknown



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Moorman Main Concession	\$0	\$0	\$0	\$0		\$0	\$0	\$0

<u>HVAC</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Type:	A/C Roof Mounted							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

<u>ROOF</u>										
Type:	Flat Roof							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

<u>EXTERIOR/WINDOWS</u>										
Type:	Painted Block							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

INTERIOR/FINISHES	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:	Concession Window							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Painted Block							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
ELECTRICAL/LIGHTING										
Type:	Sub Panel, 12 Outlets, 1 FL, 1 Sec							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
SANITARY/CUSTODIAL										
Type:	City Sewer							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Concrete Footing/Block							\$0	\$0	\$0
Age:	21							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
SECURITY										
Type:	Steel Doors w/Locks (2)							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
OTHER										
Type:	Floor Safe							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

Facility Name: Moorman North Restroom
Location: 1608 Moorman Park Road
Approximate Sq. Ft.: 750 (30' x 25')
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1985
Year(s) of Major Renovations: None
Type of Construction: Brick/Fiberglass shingle
Estimated Replacement \$: \$113,000
Number of Stories: 1
Current Primary Type of Use: Restroom
Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated Cost	
Moorman North Restroom	\$4,000	\$0	\$0	\$0	\$0	\$4,000	\$0	\$0	\$4,000

		<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated Cost
<u>PLUMBING</u>										
Type:	City Water							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

<u>RESTROOMS</u>										
Type:	4 T, 1 L (W), 2 T, 2 U, 1 L (M), 1 T, 1 L (ADA)	Replace Flush Valves	\$4,000					\$4,000	\$0	\$4,000
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

<u>ROOF</u>										
Type:	Asphalt Shingles/Wood Frame/4 skylights							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>EXTERIOR/WINDOWS</u>										
Type:	Brick							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Glazed Block							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	200 Amp/8 HPS 4 ea side, 4 Fl Ext. 6 outlets							\$0		\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
Type:	Maint. Storage 144 sq. ft. (6' x 24')							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Brick/Concrete Footing/Floor							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Steel Doors w/locks (3)							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0

Facility Name: Moorman Small Shelter
Location: 790 Moorman Park Road
Approximate Sq. Ft.: 3100 (Irregular)
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1985
Year(s) of Major Renovations: None
Type of Construction: Timber Frame/Concrete Slab
Estimated Replacement \$: \$63,000
Number of Stories: 1
Current Primary Type of Use: Picnic Shelter
Wheelchair Accessible: Unknown



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Moorman Small Shelter	\$0	\$70,000	\$0	\$0	\$0	\$70,000	\$0	\$70,000

<u>ROOF</u>		<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2016-2020</u>	<u>Estimated Cost</u>
Type:	Wood Rafters/Asphalt Shingles								\$0	\$0	\$0
Age:	2								\$0	\$0	\$0
General Condition:	2								\$0	\$0	\$0
Estimated Replacement \$:	\$10,000								\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>											
Type:	Wood/Stained								\$0	\$0	\$0
Age:	27								\$0	\$0	\$0
General Condition:	2								\$0	\$0	\$0
Estimated Replacement \$:	\$2,000								\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>											
Type:	Wood/Stained								\$0	\$0	\$0
Age:	27								\$0	\$0	\$0
General Condition:	2								\$0	\$0	\$0
Estimated Replacement \$:	\$2,000								\$0	\$0	\$0

ELECTRICAL/LIGHTING		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2016-2020	Estimated Cost
Type:	General Information	100 Amp Sub-Panel, 8 GFI outlets, 2 HPS						\$0	\$0	\$0
Age:		27						\$0	\$0	\$0
General Condition:		2						\$0	\$0	\$0
Estimated Replacement \$:		\$4,000						\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Timber Frame/Concrete Footing/Slab	Replace Shelter		\$70,000				\$70,000	\$0	\$70,000
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$45,000							\$0	\$0	\$0
SECURITY										
Type:	None							\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0
OTHER										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Name: Moorman Large Shelter
Location: 1608 Moorman Park Road
Approximate Sq. Ft.: 3100 (Irregular)
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1985
Year(s) of Major Renovations: None
Type of Construction: Timber Frame/Concrete Slab
Estimated Replacement \$: \$125,000
Number of Stories: 1
Current Primary Type of Use: Storage
Wheelchair Accessible: Unknown



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Moorman Large Shelter	\$0	\$0	\$120,000	\$0		\$120,000	\$0	\$120,000

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>Sum 1-5</u>	<u>2016-2020</u>	<u>Estimated Cost</u>
Type:	Wood Rafters/Fiberglass Shingles						\$0	\$0	\$0
Age:	2						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$20,000						\$0	\$0	\$0

<u>EXTERIOR/WINDOWS</u>									
Type:	Wood/Stained						\$0	\$0	\$0
Age:	27						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$4,000						\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>									
Type:	Wood/Stained						\$0	\$0	\$0
Age:	27						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$4,000						\$0	\$0	\$0

<u>ELECTRICAL/LIGHTING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>		<u>Sum 1-5</u>	<u>2016-2020</u>	<u>Estimated Cost</u>
Type:	200 Amp, 24 GFI outlets, 4 HPS							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0

STRUCTURE/FOUNDATION

Type:	Timber Frame/Concrete Footing/Slab	Replace Shelter			\$120,000			\$120,000	\$0	\$120,000
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$85,000							\$0	\$0	\$0

OTHER

Type:	Brick Fire pit/Grill							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Facility Name: Moorman Medium Shelter
Location: 1608 Moorman Park Road
Approximate Sq. Ft.: 1646 (Irregular)
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1985
Year(s) of Major Renovations: None
Type of Construction: Timber Frame/Concrete Slab
Estimated Replacement \$: \$72,000
Number of Stories: 1
Current Primary Type of Use: Storage
Wheelchair Accessible: Unknown



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Moorman Medium Shelter	\$70,000	\$0	\$0	\$0	\$0	\$70,000	\$0	\$70,000

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>Sum 1-5</u>	<u>2016-2020</u>	<u>Estimated Cost</u>
Type:	Wood Rafters/Asphalt Shingles						\$0		\$0
Age:	27						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$8,000						\$0	\$0	\$0

<u>EXTERIOR/WINDOWS</u>									
Type:	Wood/Stained						\$0	\$0	\$0
Age:	27						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$2,000						\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>									
Type:	Wood/Stained						\$0	\$0	\$0
Age:	27						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$2,000						\$0	\$0	\$0

<u>ELECTRICAL/LIGHTING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>		<u>Sum 1-5</u>	<u>2016-2020</u>	<u>Estimated Cost</u>
Type:	100 Amp, 16 GFI outlets, 2 HPS							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Timber Frame/Concrete Footing/Slab	Replace Shelter	\$70,000					\$70,000	\$0	\$70,000
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$50,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:	Brick Fire pit/Grill							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Facility Name: Moorman Upper East Restroom
Location: 1608 Moorman Park Road
Approximate Sq. Ft.: 750 (30' x 25')
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1985
Year(s) of Major Renovations: None
Type of Construction: Brick/Fiberglass shingle
Estimated Replacement \$: \$113,000
Number of Stories: 1
Current Primary Type of Use: Restroom
Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
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Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

							Estimated	
	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Moorman Upper East Restroom	\$4,000	\$0	\$0	\$0	\$0	\$4,000	\$0	\$4,000

<u>PLUMBING</u>		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	City Water							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

<u>RESTROOMS</u>										
Type:	4 T, 1 L (W), 2 T, 2 U, 1 L (M), 1 T, 1 L (ADA)	Replace Flush Valves	\$4,000					\$4,000	\$0	\$4,000
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

<u>ROOF</u>										
Type:	Asphalt Shingles/Wood Frame/4 skylights							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>EXTERIOR/WINDOWS</u>										
Type:	Brick							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Glazed Block							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	200 Amp/8 HPS 4 ea side, 4 Fl Ext. 6 outlets							\$0		\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
Type:	Maint. Storage 144 sq. ft. (6' x 24')							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Brick/Concrete Footing/Floor							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Steel Doors w/locks (3)							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Moorman Ballfield Restroom
 Location: 1215 N. 39th Street
 Approximate Sq. Ft.: 1000 (40' x 25')
 General Condition: 2
 Seasons: All
 Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
 Year Built: 1985
 Year(s) of Major Renovations: None
 Type of Construction: Brick/Fiberglass shingle
 Estimated Replacement \$: \$125,000
 Number of Stories: 1
 Current Primary Type of Use: Restroom & Maintenance Storage
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
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Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>	
Moorman Ballfield Restroom	\$0	\$4,000	\$0	\$0	\$0	\$4,000	\$0	\$0	\$4,000

<u>Item in Need of Maintenance/Repair/Replacement</u>			<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
PLUMBING										
Type:	City Water							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
RESTROOMS										
Type:	4 T, 1 L (W), 2 T, 3 U, 1 L (M)	Replace Flush Valves		\$4,000				\$4,000	\$0	\$4,000
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
ROOF										
Type:	Asphalt Shingles/Wood Frame/4 skylights							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>EXTERIOR/WINDOWS</u>										
Type:	Brick							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Painted Concrete Block							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp/4 Fl 2 ea side, 4 Fl Ext. 10 outlets							\$0		\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
Type:	Maint. Storage 144 sq. ft. (6' x 24')							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Brick/Concrete Footing/Floor							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Steel Doors w/locks (3)							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0

Facility Name: Q-Island Large Shelter
Location: 1100 Quinsippi Island Road
Approximate Sq. Ft.: 2,275 (65' x 35')
General Condition: 2
Seasons: Spring, Summer, Fall
Hours: 30 Minute before Sunrise - 11:00 p.m.
Year Built: 1975
Year(s) of Major Renovations: None
Type of Construction: Wood Frame/Asphalt Shingle Roof
Estimated Replacement \$: \$102,000
Number of Stories: 1
Current Primary Type of Use: Picnic Shelter
Wheelchair Accessible:



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
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 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Q-Island Large Shelter	\$0	\$0	\$0	\$0	\$0	\$0	\$5,000	\$5,000

<u>ROOF</u>		<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Stained Wood Sheathing/Asphalt Shingle							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

<u>EXTERIOR/WINDOWS</u>										
Type:	Stained Wood Frame/Truss							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>										
Type:	Stained Wood Frame/Truss							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ELECTRICAL/LIGHTING										
Type:	100 amp, 5 GFI outlets, 6 CFL Lights	Electrical Upgrade						\$0	\$5,000	\$5,000
Age:	37							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0

STRUCTURE/FOUNDATION

Type:	Concrete Footing/Wood Support/Truss							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$80,000							\$0	\$0	\$0

OTHER

Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Name: Q-Island Small Shelter
Location: 1100 Quinsippi Island Road
Approximate Sq. Ft.: 1,750 (50' x 35')
General Condition: 2
Seasons: Spring, Summer, Fall
Hours: 30 Minute before Sunrise - 11:00 p.m.
Year Built: 1975
Year(s) of Major Renovations: None
Type of Construction: Wood Frame/Asphalt Shingle Roof
Estimated Replacement \$: \$81,000
Number of Stories: 1
Current Primary Type of Use: Picnic Shelter
Wheelchair Accessible:



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated Cost
Q-Island Small Shelter	\$0	\$0	\$0	\$0	\$0	\$0	\$25,000	\$25,000

ROOF		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated Cost
Type:	Stained Wood Sheathing/Asphalt Shingle							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0

EXTERIOR/WINDOWS										
Type:	Stained Wood Frame/Truss							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

INTERIOR/FINISHES										
Type:	Stained Wood Frame/Truss							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ELECTRICAL/LIGHTING										
Type:	100 amp, 7 GFI outlets, 4 CFL Lights	Electrical Upgrade						\$0	\$5,000	2017 \$5,000
Age:	37							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood Support/Truss							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$50,000							\$0	\$0	\$0
Type:	Reinforced Concrete Slab/Footing	Replace Floor						\$0	\$20,000	2017 \$20,000
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
SECURITY										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0
OTHER										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Name: Q-Island Restrooms
Location: 1100 Quinsippi Island Road
Approximate Sq. Ft.: 150 (15' x 10') 2 Structures M/W
General Condition: 2
Seasons: Spring, Summer, Fall
Hours: 30 Minute before Sunrise - 11:00 p.m.
Year Built: 1975
Year(s) of Major Renovations: None
Type of Construction: Wood Frame/Asphalt Shingle Roof
Estimated Replacement \$: \$96,500
Number of Stories: 1
Current Primary Type of Use: Picnic Shelter
Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Q-Island Restrooms	\$0	\$0	\$0	\$0	\$0	\$0	\$5,000	\$5,000

		<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
<u>ROOF</u>										
Type:	Asphalt Shingle							\$0	\$0	\$0
Age:	35							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>PLUMBING</u>										
Type:	City Water							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
<u>SANITARY</u>										
Type:	Septic							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$18,500							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
RESTROOMS										
Type:	4 wc, 1 Lav (W) 2 wc, 1 Lav (M)							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Stained Wood Siding							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Stained Wood Frame							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
ELECTRICAL/LIGHTING										
Type:	100 amp, 5 outlets, 4 CFL Lights	Electrical Upgrade						\$0	\$5,000 2017	\$5,000
Age:	25							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood Frame							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
Type:	Reinforced Concrete Slab/Footing							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$12,000							\$0	\$0	\$0
SECURITY										
Type:	Steel Doors w/Locks (2)							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0

Facility Name: Reservoir Shelter
Location: 2230 Cedar Street
Approximate Sq. Ft.: 4,400 (80' x 55')
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1936
Year(s) of Major Renovations: None
Type of Construction: Stone Structure/Shingle Roof/Slab
Estimated Replacement \$: \$381,000
Number of Stories: 1
Current Primary Type of Use: Picnic Shelter
Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Reservoir Shelter	\$3,500	\$0	\$0	\$0	\$0	\$3,500	\$0	\$3,500

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Fiberglass Shingle/Wood Framing							\$0	\$20,000 2021	\$20,000
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Stone/Wood Painted Soffits							\$0	\$0	\$0
Age:	75							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp Service/MH Lighting	Upgrade Electric GFI/Timer Outlets	\$3,500					\$3,500	\$0	\$3,500
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>								<u>Estimated</u>
			<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type:	Stone/Painted Ceiling							\$0	\$0	\$0
Age:	36							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	800 s.f. Storage and Mechanical							\$0	\$0	\$0
Age:	75							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Footing/Limestone Masonry							\$0	\$0	\$0
Age:	75							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$300,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	None							\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0
<u>OTHER</u>										
Type:	Stone fireplace							\$0	\$0	\$0
Age:	75							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Reservoir Restroom
 Location: 2249 Chestnut
 Approximate Sq. Ft.: 560 (28' x 20')
 General Condition: 2
 Seasons: All
 Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
 Year Built: 1998
 Year(s) of Major Renovations: None
 Type of Construction: Stone Structure/Shingle Roof/Slab
 Estimated Replacement \$: \$71,000
 Number of Stories: 1
 Current Primary Type of Use: Restroom & Maintenance Storage
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Reservoir Restroom	\$0	\$0	\$0	\$0		\$0	\$0	\$0

		<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
<u>PLUMBING</u>		<u>General Information</u>								
Type:	City Water							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>RESTROOMS</u>										
Type:	1 toilet 1 lav each side/m/f, elec. WH							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>ROOF</u>										
Type:	Wood Rafter/ Asphalt Shingles							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

EXTERIOR/WINDOWS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Type:	Dryvet/Brick Veneer							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$25,000							\$0	\$0	\$0
ELECTRICAL/LIGHTING										
Type:	100 Amp Service/2 ft FL Lighting							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Fiberglass Panel							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
SANITARY/CUSTODIAL										
Type:	80 s.f. Storage and Mechanical							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
Type:	City Sanitary							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood Frame/Concrete Slab							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0
SECURITY										
Type:	Doors w/Locks (3)							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$7,500							\$0	\$0	\$0

Facility Name: Reservoir Maintenance Shed
Location: 2249 Chestnut
Approximate Sq. Ft.: 300 (20' x 15')
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1970
Year(s) of Major Renovations: None
Type of Construction: Concrete Block/Slab
Estimated Replacement \$: \$28,000
Number of Stories: 1
Current Primary Type of Use: Maintenance Storage
Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Reservoir Maintenance Shed	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Wood Frame/ Asphalt Shingles							\$0	\$0	\$0
Age:	41							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Concrete Block/Wood - Painted							\$0	\$0	\$0
Age:	41							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp, 4 outlets							\$0	\$0	\$0
Age:	41							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>								<u>Estimated</u>
			<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type:	Concrete Block - Unfinished							\$0	\$0	\$0
Age:	41							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	300 Custodial/Maintenance Storage							\$0	\$0	\$0
Age:	41							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Block/Concrete Slab							\$0	\$0	\$0
Age:	41							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Reservoir Tennis Building
 Location: 2230 Cedar Street
 Approximate Sq. Ft.: 828 (36' x 23')
 General Condition: 2
 Seasons: All
 Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
 Year Built: 1990
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Concrete Slab
 Estimated Replacement \$: \$35,000
 Number of Stories: 1
 Current Primary Type of Use: Storage
 Wheelchair Accessible: Unknown



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Reservoir Tennis Building	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Asphalt Shingles							\$0	\$0	\$0
Age:	21							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Wood/Painted/4 Windows							\$0	\$0	\$0
Age:	21							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp, 6 outlets, 1 FI light							\$0	\$0	\$0
Age:	21							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Wood/Painted							\$0	\$0	\$0
Age:	36							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Frame/Concrete Stab							\$0	\$0	\$0
Age:	21							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	None							\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0
<u>OTHER</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Name: Riverview Shelter
Location: 1001 N. 2nd Street
Approximate Sq. Ft.: 1,750 (50' x 35')
General Condition: 2
Seasons: Spring, Summer, Fall
Hours: 30 Min. before SR -11:00 pm
Year Built: 1975
Year(s) of Major Renovations: None
Type of Construction: Wood Frame/Slab/Metal Roof
Estimated Replacement \$: \$90,000
Number of Stories: 1
Current Primary Type of Use: Picnic Shelter
Wheelchair Accessible:



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Riverview Shelter	\$0	\$0	\$0	\$4,000		\$4,000	\$0	\$4,000

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Shingle Roof							\$0	\$0
Age:	15							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0

<u>EXTERIOR/WINDOWS</u>									
Type:	Stained Wood							\$0	\$0
Age:	20							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0

<u>INTERIOR/FINISHES</u>									
Type:	Stained Wood							\$0	\$0
Age:	20							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	2017-2021	Estimated Cost
<u>ELECTRICAL/LIGHTING</u>									
Type:	100 Amp Service 4 outlet 2 CFLight	Update Electric - Timer/CFI				\$4,000		\$4,000	\$0
Age:	37							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0
<u>SANITARY/CUSTODIAL</u>									
Type:	None							\$0	\$0
Age:								\$0	\$0
General Condition:								\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0
<u>STRUCTURE/FOUNDATION</u>									
Type:	Wood Frame/Truss							\$0	\$0
Age:	36							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$50,000							\$0	\$0
Type:	Concrete Footing/Floor							\$0	\$0
Age:	36							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0
<u>SECURITY</u>									
Type:								\$0	\$0
Age:								\$0	\$0
General Condition:								\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0
<u>OTHER</u>									
Type:								\$0	\$0
Age:								\$0	\$0
General Condition:								\$0	\$0
Estimated Replacement \$:								\$0	\$0

Facility Name: Riverview Restroom
Location: 1001 N. 2nd Street
Approximate Sq. Ft.: 504 (28' x 18')
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1975
Year(s) of Major Renovations: None
Type of Construction: Wood Frame/Asphalt Shingle Roof
Estimated Replacement \$: \$73,000
Number of Stories: 1
Current Primary Type of Use: Restroom & Maintenance Storage
Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>	
Riverview Restroom	\$0	\$0	\$0	\$0	\$0	\$0	\$4,000	\$0	\$4,000

<u>PLUMBING</u>		<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	City Water							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

<u>RESTROOMS</u>										
Type:	1T, 1U,1L(M)/ 1T, 1L(W)							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0

<u>ROOF</u>										
Type:	Asphalt Shingles							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>EXTERIOR/WINDOWS</u>										
Type:	Painted wood siding							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Painted Concrete Block							\$0	\$0	\$0
Age:	36							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp Service/2 CFL Lights	Upgrade Electrical Service						\$0	\$4,000	\$4,000
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	36							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
Type:	Maint. Storage 10 x 14							\$0	\$0	\$0
Age:	36							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Slab/Concrete Block							\$0	\$0	\$0
Age:	36							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Steel Doors w/locks (2)							\$0	\$0	\$0
Age:	36							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Skyride Shed
 Location: 1009 Quinsippi Island Road
 Approximate Sq. Ft.: 1800, 30'x60'
 General Condition: 2
 Seasons: Sp, Su, Fa
 Hours: 24/7 - April-October
 Year Built: 1968
 Year(s) of Major Renovations: None
 Type of Construction: Metal Frame/Roof
 Estimated Replacement \$: \$127,000
 Number of Stories: 1
 Current Primary Type of Use: Storage
 Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Skyride Shed	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Metal							\$0	\$0	\$0
Age:	44							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>										
Type:	Metal							\$0	\$0	\$0
Age:	44							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

<u>EXTERIOR/WINDOWS</u>										
Type:	Metal							\$0	\$0	\$0
Age:	44							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

<u>ELECTRICAL/LIGHTING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	100 Amp, 2 Lts, 4 2Outlets							\$0	\$0	\$0
Age:	44							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Metal Frame/Concrete Footing/Floor							\$0	\$0	\$0
Age:	44							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$90,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: South Park Tennis Restroom
 Location: 1331 S. 11th Street
 Approximate Sq. Ft.: 375 (25' x 15')
 General Condition: 2
 Seasons: All
 Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
 Year Built: 1998
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Asphalt Shingle Roof
 Estimated Replacement \$: \$68,500
 Number of Stories: 1
 Current Primary Type of Use: Restroom
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
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 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
South Park Tennis Restroom	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>PLUMBING</u>		<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	City Water							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

<u>RESTROOMS</u>		<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	2 Toilets, 2 Lav's (1 Each Side M/W)							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0

Type:	Electric Hot Water (tank)							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,500							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>ROOF</u>										
Type:	Asphalt Shingles							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Painted wood siding							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Fiberglass Panels							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp Service/2 MH Lights/2 outlets							\$0		\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
Type:	Maint. Storage 5 x 15							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Frame/Concrete Footing/Floor							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
SECURITY	Type:	Steel Doors w/locks (3)						\$0	\$0	\$0
	Age:	13						\$0	\$0	\$0
	General Condition:	2						\$0	\$0	\$0
	Estimated Replacement \$:	\$5,000						\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: South Park Ballfield Restroom
 Location: 1500 S. 12th Street
 Approximate Sq. Ft.: 375 (25' x 15')
 General Condition: 2
 Seasons: All
 Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
 Year Built: 1998
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Asphalt Shingle Roof
 Estimated Replacement \$: \$68,500
 Number of Stories: 1
 Current Primary Type of Use: Restroom
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
South Park Ballfield Restroom	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
PLUMBING										
Type:	City Water							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
RESTROOMS										
Type:	2 Toilets, 2 Lav's (1 Each Side M/W)							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
Type:	Electric Hot Water (tank)							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,500							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>ROOF</u>										
Type:	Asphalt Shingles							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Painted wood siding							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Fiberglass Panels							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp Service/2 MH Lights							\$0		\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
Type:	Maint. Storage 5 x 15							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Frame/Concrete Footing/Floor							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
SECURITY	Type:	Steel Doors w/locks (3)						\$0	\$0	\$0
	Age:	13						\$0	\$0	\$0
	General Condition:	2						\$0	\$0	\$0
	Estimated Replacement \$:	\$5,000						\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: South Park Pond Shelter/Restroom
 Location: 8th & R.J. Peters Drive
 Approximate Sq. Ft.: 1,350 (45' x 30')
 General Condition: 2
 Seasons: Spring, Summer, Fall
 Hours: 30 Min. before SR -11:00 pm Spr, Su, Fall.
 Year Built: 1998
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Asphalt Shingle Roof
 Estimated Replacement \$: \$96,000
 Number of Stories: 1
 Current Primary Type of Use: Picnic Shelter/Restroom
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked, displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
South Park Pond Shelter/Restroom	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

		<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
PLUMBING										
Type:	City Water							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
RESTROOMS										
Type:	2 Toilets, 2 Lav's (1 Each Side M/W)							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
Type:	Electric Hot Water (tank)							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,500							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>ROOF</u>										
Type:	Asphalt Shingles							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Painted wood siding							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Fiberglass Panels RR/Painted Wood							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp 2 MH, 2 FL 3 GFI Outlets							\$0		\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
Type:	Maint. Storage 4 x 8							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Frame/Concrete Footing/Floor							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
<u>SECURITY</u> Type: Age: General Condition: Estimated Replacement \$:	Steel Doors w/locks (3)							\$0	\$0	\$0
	13							\$0	\$0	\$0
	2							\$0	\$0	\$0
	\$7,500							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: South Park Large Shelter/Restroom
 Location: 1500 S. 12th Street
 Approximate Sq. Ft.: 6,650 (95' x 70')
 General Condition: 2
 Seasons: Spring, Summer, Fall
 Hours: 30 Min. before SR -11:00 pm Spr, Su, Fall.
 Year Built: 1917
 Year(s) of Major Renovations: None
 Type of Construction: Brick/Tile Roof
 Estimated Replacement \$: \$676,000
 Number of Stories: 1
 Current Primary Type of Use: Picnic Shelter/Restroom
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked, displaced sidewalks, floors or

							Estimated		
	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>	
South Park Large Shelter/Restroom	\$0	\$6,000	\$0	\$0	\$0	\$6,000	\$0	\$6,000	

PLUMBING		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	City Water							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

RESTROOMS			<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	2T, 2U, 1 L (M), 4T 1L (W)							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$12,000							\$0	\$0	\$0

Type:	Electric Hot Water (tank) (2)							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF										
Type:	Clay Tile Roof/Metal Truss							\$0	\$0	\$0
Age:	50							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$200,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Brick							\$0	\$0	\$0
Age:	92							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Brick/Plaster Ceiling							\$0	\$0	\$0
Age:	92							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
ELECTRICAL/LIGHTING										
Type:	100 Amp 2 MH, 2 SV, 2 Fl. Lights, 8 Outlets	Upgrade Electric (GFI). Timer		\$6,000				\$6,000		\$6,000
Age:	30							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
SANITARY/CUSTODIAL										
Type:	Septic							\$0	\$0	\$0
Age:	92							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
Type:	Maint. Storage 18 x 12							\$0	\$0	\$0
Age:	92							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Brick/Concrete Footing/Floor							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$350,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
SECURITY Type: Age: General Condition: Estimated Replacement \$:	Steel Doors w/locks (4)							\$0	\$0	\$0
	13							\$0	\$0	\$0
	2							\$0	\$0	\$0
	\$10,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: South Park Small Shelter
 Location: 1500 S. 12th Street
 Approximate Sq. Ft.: 1,000 (50' x 20')
 General Condition: 2
 Seasons: Spring, Summer, Fall
 Hours: 30 Min. before SR -11:00 pm
 Year Built: 1955
 Year(s) of Major Renovations: None
 Type of Construction: Brick Frame/Slab/Metal Roof
 Estimated Replacement \$: \$60,000
 Number of Stories: 1
 Current Primary Type of Use: Picnic Shelter
 Wheelchair Accessible:



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
South Park Small Shelter	\$0	\$0	\$0	\$0		\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Metal Roof							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$18,000							\$0	\$0	\$0

<u>EXTERIOR/WINDOWS</u>										
Type:	Brick							\$0	\$0	\$0
Age:	55							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>										
Type:	Brick							\$0	\$0	\$0
Age:	55							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp Service 6 outlet 2 CFLight							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	None							\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Brick/Concrete Footing/Floor							\$0	\$0	\$0
Age:	55							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: South Park Band Stand
 Location: 1500 S. 12th Street
 Approximate Sq. Ft.: 900 (30' x 30')
 General Condition: 2
 Seasons: Spring, Summer, Fall
 Hours: 30 Min. before SR -11:00 pm
 Year Built: 1919
 Year(s) of Major Renovations: None
 Type of Construction: Brick /Tile Roof
 Estimated Replacement \$: \$152,000
 Number of Stories: 1
 Current Primary Type of Use: Picnic Shelter
 Wheelchair Accessible:



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
South Park Band Stand	\$30,000	\$0	\$0	\$0	\$0	\$30,000	\$0	\$30,000

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Clay Tile	Repair/Replacement	\$30,000					\$30,000	\$0	\$30,000
Age:	60							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0

EXTERIOR/WINDOWS

Type:	Brick							\$0	\$0	\$0
Age:	92							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

INTERIOR/FINISHES

Type:	Brick							\$0	\$0	\$0
Age:	92							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	2017-2021	Estimated Cost
<u>ELECTRICAL/LIGHTING</u>									
Type:	60 amp Sub 4 outlets, 2 MH Light							\$0	\$0
Age:	15							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0
<u>SANITARY/CUSTODIAL</u>									
Type:	None							\$0	\$0
Age:								\$0	\$0
General Condition:								\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0
<u>STRUCTURE/FOUNDATION</u>									
Type:	Brick/Concrete Footing							\$0	\$0
Age:	92							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$100,000							\$0	\$0
Type:	Concrete Floor							\$0	\$0
Age:	92							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0
<u>SECURITY</u>									
Type:								\$0	\$0
Age:								\$0	\$0
General Condition:								\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0
<u>OTHER</u>									
Type:								\$0	\$0
Age:								\$0	\$0
General Condition:								\$0	\$0
Estimated Replacement \$:								\$0	\$0

Facility Audit
General Information
 Facility Name: South Park Maintenance Building (#2)
 Location: 1331 S. 11th Street
 Approximate Sq. Ft.: 750 (30' x 25')
 General Condition: 2
 Seasons: Spring, Summer, Fall
 Hours: 30 Min. before SR -11:00 pm Spr, Su, Fall.
 Year Built: 1998
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Asphalt Shingle Roof
 Estimated Replacement \$: \$82,500
 Number of Stories: 1
 Current Primary Type of Use: Maintenance
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked, displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
South Park Maintenance Building (#2)	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

		<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
<u>PLUMBING</u>										
Type:	City Water							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
Type:	Electric Hot Water (tank)							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,500							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF										
Type:	Metal							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Painted Metal							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Painted Metal/Exposed Framing							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
ELECTRICAL/LIGHTING										
Type:	100 Amp 2 MH Ext, 6 FL Int 9 GFI Outlets							\$0		\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood Frame/Concrete Footing/Floor							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$25,000							\$0	\$0	\$0
SECURITY										
Type:	Steel Ent. Door, 2 Garage Doors							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
Other										
Type:	Gas/Diesel Fuel Tanks 500 gal ea.							\$0	\$0	\$0
Age:	5							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$16,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: South Park Gazebo
 Location: 1500 S. 12th Street
 Approximate Sq. Ft.: 150 (16' x 16') 10 Sides
 General Condition: 2
 Seasons: Spring, Summer, Fall
 Hours: 30 Min. before SR -11:00 pm
 Year Built: 1998
 Year(s) of Major Renovations: None
 Type of Construction: Brick Frame/Slab/Tile Roof
 Estimated Replacement \$: \$24,000
 Number of Stories: 1
 Current Primary Type of Use: Picnic Shelter
 Wheelchair Accessible:



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
South Park Gazebo	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Wood							\$0	\$0
Age:	13							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0

<u>EXTERIOR/WINDOWS</u>									
Type:	Painted Wood							\$0	\$0
Age:	13							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0

<u>INTERIOR/FINISHES</u>									
Type:	Painted Wood							\$0	\$0
Age:	13							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016		2017-2021	Estimated Cost
<u>ELECTRICAL/LIGHTING</u>										
Type:	200 amp, 2 MV Lights,							\$0	\$0	\$0
Age:	15							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	None							\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Supports/Concrete Footing							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$12,000							\$0	\$0	\$0
Type:	Concrete Floor							\$0	\$0	\$0
Age:	13							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0
<u>OTHER</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: South Park Warming Hut
 Location: 1500 S. 12th Street
 Approximate Sq. Ft.: 400 (20' x 20') 12 Sides
 General Condition: 2
 Seasons: Spring, Summer, Fall
 Hours: 30 Min. before SR -11:00 pm
 Year Built: 1998
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Slab/Wood Roof
 Estimated Replacement \$: \$25,000
 Number of Stories: 1
 Current Primary Type of Use: Picnic Shelter
 Wheelchair Accessible:



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
South Park Warming Hut	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Wood							\$0	\$0
Age:	13							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0

EXTERIOR/WINDOWS

Type:	Stained Wood/11 Windows							\$0	\$0
Age:	13							\$0	\$0
General Condition:	3							\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0

INTERIOR/FINISHES

Type:	Stained Wood							\$0	\$0
Age:	13							\$0	\$0
General Condition:	3							\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	2017-2021	Estimated Cost
<u>ELECTRICAL/LIGHTING</u>									
Type:	400 amp, 12 Florescent Lights, Elect Heat							\$0	\$0
Age:	13							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0
<u>SANITARY/CUSTODIAL</u>									
Type:	None							\$0	\$0
Age:								\$0	\$0
General Condition:								\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0
<u>STRUCTURE/FOUNDATION</u>									
Type:	Wood Supports/Concrete Footing							\$0	\$0
Age:	13							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$12,000							\$0	\$0
Type:	Concrete Floor							\$0	\$0
Age:	13							\$0	\$0
General Condition:	2							\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0
<u>SECURITY</u>									
Type:								\$0	\$0
Age:								\$0	\$0
General Condition:								\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0
<u>OTHER</u>									
Type:								\$0	\$0
Age:								\$0	\$0
General Condition:								\$0	\$0
Estimated Replacement \$:								\$0	\$0

Facility Audit
General Information
 Facility Name: Villa Kathrine
 Location: 532 Gardner Expressway
 Approximate Sq. Ft.: 2600
 General Condition: 2
 Seasons: All
 Hours: 9 a.m. - 4 p.m. M-Sat, 1-4 Sun.
 Year Built: 1900
 Year(s) of Major Renovations: Various
 Type of Construction: Wood Frame/Stucco
 Estimated Replacement \$: \$997,000
 Number of Stories: 2
 Current Primary Type of Use: Visitor Center/Museum/Offices
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Villa Kathrine	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>HVAC</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	AC / Gas Fur.							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0

<u>PLUMBING</u>										
Type:	City Water/Drinking Fountains/Sinks							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0

Type:	Hot water heaters							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	\$2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

<u>RESTROOMS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	1T, 1L (M), 1T, 1L (W)							\$0	\$0	\$0
Age:	30							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
<u>ROOF</u>										
Type:	Membrane Roof							\$0	\$0	\$0
Age:	5							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Stucco/Custom Windows							\$0	\$0	\$0
Age:	110							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$140,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp/Historic Lighting							\$0	\$0	\$0
Age:	30							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Plaster/Wood/Tile							\$0	\$0	\$0
Age:	110							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Limestone Footing/Wood Frame							\$0	\$0	\$0
Age:	110							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$350,000							\$0	\$0	\$0

SECURITY	Item in Need of Maintenance/									Estimated
	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type:	Custom Doors w/Locks (2)							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
SECURITY										
Type:	Alarm System							\$0	\$0	\$0
Age:	15							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
OTHER										
Type:	Reflecting Pool/Custom Tile							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$50,000							\$0	\$0	\$0
Type:	Custom Roof Turrets							\$0	\$0	\$0
Age:	110							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
Type:	Custom Interior Columns/Details							\$0	\$0	\$0
Age:	30							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$150,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Washington Park Bandstand
 Location: 101 N. 5th Street
 Approximate Sq. Ft.: 2400 sq ft. (35'x35')
 General Condition: 2
 Seasons: Summer
 Hours: 30 Min. before SR -11:00 pm
 Year Built: 1920
 Year(s) of Major Renovations: None
 Type of Construction: Concrete
 Estimated Replacement \$: \$393,000
 Number of Stories: 2
 Current Primary Type of Use: Events/Performances
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Washington Park Bandstand	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
PLUMBING		General Information								
Type:	City Water							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
ROOF										
Type:	Metal							\$0	\$0	\$0
Age:	11							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Limestone/Dryvet, 15 Windows							\$0	\$0	\$0
Age:	90/12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Brick/Limestone/Dryvet							\$0	\$0	\$0
Age:	90/12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	200 Amp, 4 FL							\$0		\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	Basement Utility Room 1200 sq ft							\$0	\$0	\$0
Age:	90							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Footing/Limestone Found.							\$0	\$0	\$0
Age:	90							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$150,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Steel Door w/Lock							\$0	\$0	\$0
Age:	1							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Washington Park Restroom
 Location: 101 N. 5th Street
 Approximate Sq. Ft.: 1700 sq ft. Concession (42'x42')
 General Condition: 2
 Seasons: Summer
 Hours: 30 Min. before SR -11:00 pm
 Year Built: 2007
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Masonry Veneer/Metal Rf
 Estimated Replacement \$: \$301,500
 Number of Stories: 1
 Current Primary Type of Use: Restroom/Information Kiosk
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Washington Park Restroom	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>PLUMBING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	City Water							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

Type:	2 Tankless water heaters							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,500							\$0	\$0	\$0

<u>RESTROOMS</u>										
Type:	1T, 1U, 2L (M), 2T, 2L (W)							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

ROOF	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Type:	Metal							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Dryvet/Masonry Veneer							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Fiberglass Panels							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp, 2 LED, 6 Security/ 12 outlets							\$0		\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
Type:	60 sq ft (4x15) Maint Room							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Concrete Footing/Wood Frame							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$140,000							\$0	\$0	\$0

<u>SECURITY</u>	Item in Need of Maintenance/									Estimated
	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type:	Steel Doors w/locks (3)							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:	Looking For Lincoln Information Panels							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

Facility Name: Wavering Ballfield Concession
Location: 1215 N. 39th Street
Approximate Sq. Ft.: 200 (20' x 10')
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1985
Year(s) of Major Renovations: None
Type of Construction: Concrete Block/Concrete Slab
Estimated Replacement \$: \$43,000
Number of Stories: 2
Current Primary Type of Use: Concession/Field Scoring
Wheelchair Accessible: Unknown



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Wavering Ballfield Concession	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>HVAC</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Type:	A/C Roof Mounted							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
ROOF										
Type:	Flat Roof							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Painted Block/Field Window							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Type:	Concession Window							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Painted Block							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	Sub Panel, 12 Outlets, 1 FL, 1 Sec							\$0	\$0	\$0
Age:	21							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Frame/Concrete Footing/Slab							\$0	\$0	\$0
Age:	21							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Steel Doors w/Locks (2)							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:	Floor Safe							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Wavering Maintenance 3 Building
 Location: 3710 Wavering Park Road
 Approximate Sq. Ft.: 2475 (45' x 55')
 General Condition: 2
 Seasons: All
 Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
 Year Built: 1995
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Metal Siding/Concrete Slab
 Estimated Replacement \$: \$86,000
 Number of Stories: 1
 Current Primary Type of Use: Storage
 Wheelchair Accessible: Unknown



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Wavering Maintenance 3 Building	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Metal Roof							\$0	\$0	\$0
Age:	17							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

EXTERIOR/WINDOWS

Type:	Metal Siding							\$0	\$0	\$0
Age:	17							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

INTERIOR/FINISHES

Type:	Wood Frame/Metal							\$0	\$0	\$0
Age:	17							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

<u>ELECTRICAL/LIGHTING</u>		Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	70 Amp Sub Panel, 20 outlets, 8 FL Lights							\$0	\$0	\$0
Age:	17							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Frame/Concrete Footing/Floor							\$0	\$0	\$0
Age:	16							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Alarm System/Sliding Door/Walk-in Door							\$0	\$0	\$0
Age:	16							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:	Gas/Diesel Fuel Tanks 500 gal ea.							\$0	\$0	\$0
Age:	7							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$16,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Wavering Restroom
 Location: 1215 N. 39th Street
 Approximate Sq. Ft.: 700 (35' x 20')
 General Condition: 2
 Seasons: All
 Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
 Year Built: 1985
 Year(s) of Major Renovations: None
 Type of Construction: Brick/Fiberglass shingle
 Estimated Replacement \$: \$125,000
 Number of Stories: 1
 Current Primary Type of Use: Restroom & Maintenance Storage
 Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Wavering Restroom	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
PLUMBING										
Type:	City Water							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
RESTROOMS										
Type:	4 T, 1 L (W), 2 T, 3 U, 1 L (M)							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
ROOF										
Type:	Asphalt Shingles/Wood Frame/4 skylights							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
<u>EXTERIOR/WINDOWS</u>										
Type:	Brick							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Painted Concrete Block							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp/4 Fl 2 ea side, 4 Fl Ext. 10 outlets							\$0		\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
Type:	Maint. Storage 144 sq. ft. (6' x 24')							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Brick/Concrete Footing/Floor							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Steel Doors w/locks (3)							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0

Facility Name: Wavering Large Shelter
Location: 3710 Wavering Park Road
Approximate Sq. Ft.: 2800 (70' x 40')
General Condition: 2
Seasons: All
Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
Year Built: 1975
Year(s) of Major Renovations: None
Type of Construction: Wood Frame/Concrete Slab
Estimated Replacement \$: \$110,000
Number of Stories: 1
Current Primary Type of Use: Storage
Wheelchair Accessible: Unknown



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Wavering Large Shelter	\$0	\$0	\$0	\$0		\$6,000	\$0	\$6,000

<u>HVAC</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>Sum 1-5</u>	<u>2016-2020</u>	<u>Estimated Cost</u>
Type:	None						\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

<u>PLUMBING</u>									
Type:	0						\$0	\$0	\$0
Age:	37						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$0						\$0	\$0	\$0

<u>RESTROOMS</u>									
Type:	None						\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:	\$0						\$0	\$0	\$0

ROOF	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016		2017-2020	Estimated Cost
Type:	Wood Rafters/Asphalt Shingles	Replace Shingles					\$6,000	\$6,000	\$0	\$6,000
Age:	15							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Wood/Stained							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Wood/Painted							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp, 16 GFI outlets, 3 MH Lights							\$0	\$0	\$0
Age:	5							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Frame/Concrete Footing/Slab							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$90,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	None							\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Wavering Small Shelter
 Location: 1215 N. 39th Street
 Approximate Sq. Ft.: 1440 (45' x 32')
 General Condition: 2
 Seasons: All
 Hours: 30 Min. before SR -11:00 pm Spr,Su,Fall.
 Year Built: 1980
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Concrete Slab
 Estimated Replacement \$: \$70,000
 Number of Stories: 1
 Current Primary Type of Use: Picnic Shelter
 Wheelchair Accessible: Unknown



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Wavering Small Shelter	\$0	\$0	\$0	\$0		\$3,000	\$0	\$3,000

HVAC	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:	None							\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

ROOF	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:	Asphalt Shingles	Replace Shingles					\$3,000	\$3,000	\$0	\$3,000
Age:	32							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

EXTERIOR/WINDOWS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:	Wood/Stained							\$0	\$0	\$0
Age:	32							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,500							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>								<u>Estimated</u>
			<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Cost</u>
Type:	Wood/Painted							\$0	\$0	\$0
Age:	32							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,500							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	Sub Panel, 10 GFI Outlets, 2 MH Lights							\$0	\$0	\$0
Age:	32							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Wood Frame/Concrete Footing/Slab							\$0	\$0	\$0
Age:	32							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$55,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	None							\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0
<u>OTHER</u>										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Facility Name: Wavering Aquatic Center
Location: 1410 Wavering Park Road
Approximate Sq. Ft.: 7600 Basin, 3700 Bathhouse, 1200 Filter
General Condition: 2
Seasons: Summer
Hours: 11:00 - 7:00
Year Built: 2002
Year(s) of Major Renovations: None
Type of Construction: Concrete
Estimated Replacement \$: \$3,344,000
Number of Stories: 1
Current Primary Type of Use: Swimming
Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Wavering Aquatic Center	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>HVAC</u>	<u>General Information</u>	<u>Item in Need of Maintenance/Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	2 Window AC							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0

<u>PLUMBING</u>										
Type:	City Water							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

Type:	Water Circulation							\$0	\$0	\$0
Age:	32							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$200,000							\$0	\$0	\$0

RESTROOMS	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Type:	2 HW Heater, Wash sink							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$7,000							\$0	\$0	\$0
RESTROOMS										
Type:	3T, 3U, 2L (M), 6T, 2L (W), 4 Shwrs ea side							\$0	\$0	\$0
Age:	32							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$50,000							\$0	\$0	\$0
ROOF										
Type:	Asphalt Shingles							\$0	\$0	\$0
Age:	15							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Concrete Block							\$0	\$0	\$0
Age:	32							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Concession Window (2)							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Painted Concrete Block							\$0	\$0	\$0
Age:	32							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
ELECTRICAL/LIGHTING										
Type:	400 Amp, 8 Flr, 4 MH							\$0		\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$120,000							\$0	\$0	\$0

SANITARY/CUSTODIAL	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Type:	City Sewer							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Bathhouse - Concrete Footing/Block							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$250,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Filter Bldg - Concrete Footing/Concrete Block							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$150,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Basin - Concrete Footing/Concrete Sides							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,500,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Diving Well - Concrete							\$0	\$0	\$0
Age:	32							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$250,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Kiddy Basin - Concrete							\$0	\$0	\$0
Age:	32							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$50,000							\$0	\$0	\$0
SECURITY										
Type:	Steel Doors w/locks (6)							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$12,000							\$0	\$0	\$0

<u>SECURITY</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Chain link fence							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0
Type:	Video Recorder/Cameras							\$0	\$0	\$0
Age:	5							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:	Water Slide w/pump							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$250,000							\$0	\$0	\$0
Type:	Sand Filter and Pumps							\$0	\$0	\$0
Age:	30							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$250,000							\$0	\$0	\$0
Type:	Disinfection/Controller							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$80,000							\$0	\$0	\$0
Type:	Concession Deck/Pergola							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0

Facility Audit
General Information

Facility Name: Women's City Club
 Location: 1550 Maine Street
 Approximate Sq. Ft.: 8000
 General Condition: 2
 Seasons: All
 Hours: No Public Hours
 Year Built: 1867
 Year(s) of Major Renovations: Various
 Type of Construction: Wood Frame/Siding
 Estimated Replacement \$: \$812,000
 Number of Stories: 2
 Current Primary Type of Use: Club Functions
 Wheelchair Accessible:



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Women's City Club	\$0	\$0	\$30,000	\$0	\$0	\$30,000	\$0	\$30,000

HVAC	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Type:	AC / Gas Fur.							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

PLUMBING	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Type:	City Water/Sinks							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0

Type:	Hot water heater							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	\$2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

<u>RESTROOMS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	1T, 1L 2ea							\$0	\$0	\$0
Age:	30							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
<u>ROOF</u>										
Type:	Fiberglass Shingle							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
<u>EXTERIOR/WINDOWS</u>										
Type:	Aluminum/Wood/40 Windows							\$0	\$0	\$0
Age:	Various							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$80,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp Outlets/Period Style Lighting							\$0	\$0	\$0
Age:	30							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Plaster/Wood/Tile/Custom Wall Paper							\$0	\$0	\$0
Age:	110							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$120,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	City Sewer							\$0	\$0	\$0
Age:	2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Limestone Footing/Wood Frame							\$0	\$0	\$0
Age:	110							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$300,000							\$0	\$0	\$0

<u>SECURITY</u>	<u>General Information</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type:	Doors w/Locks (3)							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:	Porch	Replace			\$30,000			\$30,000	\$0	\$30,000
Age:	30							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
Type:	Custom Mantels/Book Cases							\$0	\$0	\$0
Age:	150							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$150,000							\$0	\$0	\$0

Facility Name: Art Keller Guard House
Location: 1009 Quinsippi Island Road
Approximate Sq. Ft.: 144 (12'x12') 20' x 12' w/Covered Decks
General Condition: 2
Seasons: Sp, Su, Fa
Hours: 24/7 - April-October
Year Built: 2001
Year(s) of Major Renovations: None
Type of Construction: Wood Frame/Wood Skids
Estimated Replacement \$: \$31,500
Number of Stories: 1
Current Primary Type of Use: Marina Office/Attendant Station
Wheelchair Accessible: Unknown



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Art Keller Guard House	\$0	\$0	\$0	\$0		\$0	\$1,500	\$1,500

<u>HVAC</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Type:	Window A/C							\$0	\$0	\$0
Age:	5							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0

<u>PLUMBING</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Type:	City Water							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

<u>RESTROOMS</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Type:	None							\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0

ROOF	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:	Wood Rafters/Fiberglass Shingles	Replace						\$0	\$1,500	\$1,500
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,500							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Painted Wood Siding/6 Window							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Drywall/Paint							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
ELECTRICAL/LIGHTING										
Type:	100 Amp Sub-Panel, 2' FL L int, 6 outlets							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,500							\$0	\$0	\$0
SANITARY/CUSTODIAL										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood Frame/Wood Skids/Concrete Pad							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
SECURITY										
Type:	Door w/Lock							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$500							\$0	\$0	\$0

<u>OTHER</u>	Item in Need of Maintenance/									Estimated
	<u>General Information</u>	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Cost</u>
Type:	Video Recorder/5 Camera							\$0	\$0	\$0
Age:	7							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$13,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Art Keller Restrooms
 Location: 1009 Quinsippi Island Road
 Approximate Sq. Ft.: 216 (18'x12') 2 units M/W
 General Condition: 2
 Seasons: Sp, Su, Fa
 Hours: 24/7 - April-October
 Year Built: 1975
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Concrete Floor
 Estimated Replacement \$: \$52,000
 Number of Stories: 1
 Current Primary Type of Use: Restroom
 Wheelchair Accessible: Unknown



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
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 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
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Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Art Keller Restrooms	\$0	\$0	\$0	\$0		\$0	\$1,500	\$1,500

HVAC	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

PLUMBING										
Type:	City Water							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0

RESTROOMS										
Type:	1 T/1U,1L, Shower (M), 2T,1L,Shower (W)							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0

ROOF	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:	Wood Rafters/Fiberglass Panel	Replace						\$0	\$1,500	\$1,500
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Painted Wood Siding							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Painted Wood							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
ELECTRICAL/LIGHTING										
Type:	100 Amp Sub, 2 FL, Lights, 2 E. W. Heaters							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
SANITARY/CUSTODIAL										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood Frame/Concrete Foundation/Floor							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
SECURITY										
Type:	(2) Door w/Lock							\$0	\$0	\$0
Age:	37							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Art Keller Gas Dock
 Location: 1009 Quinsippi Island Road
 Approximate Sq. Ft.: 126 (14'x 9')
 General Condition: 2
 Seasons: Sp, Su, Fa
 Hours: 24/7 - April-October
 Year Built: 2000
 Year(s) of Major Renovations: None
 Type of Construction: Wood Frame/Concrete Floor
 Estimated Replacement \$: \$232,500
 Number of Stories: 1
 Current Primary Type of Use: Boat Fueling
 Wheelchair Accessible: Unknown



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
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Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Art Keller Gas Dock	\$0	\$0	\$0	\$0	\$0	\$0	\$0 \$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
PLUMBING		General Information								
Type:	City Water							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
ROOF										
Type:	Metal							\$0	\$0	\$0
Age:	11							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Fiberglass/Metal, 4 windows							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0

INTERIOR/FINISHES	General Information	Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:	Fiberglass/Metal							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
<u>ELECTRICAL/LIGHTING</u>										
Type:	100 Amp, 2 Lt/Pwr Ped's, w/GFI outlet							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,000							\$0	\$0	\$0
<u>SANITARY/CUSTODIAL</u>										
Type:	Sanitary Pump/Septic							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$20,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Metal							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
<u>SECURITY</u>										
Type:	Door w/Lock							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$500							\$0	\$0	\$0
<u>OTHER</u>										
Type:	2, 2,000 gal fuel tanks							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0
Type:	2, 2 pump fueling pumps							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$12,000							\$0	\$0	\$0

<u>OTHER</u>	<u>General Information</u>	<u>Item in Need of Maintenance/</u>						<u>Estimated</u>		
		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Cost</u>
Type:	2 Floating Docks 12'x100', 12'x70'							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:	Access Ramp, Shore to Docks							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$85,000							\$0	\$0	\$0

Facility Name: Art Keller Storage Shed
Location: 1009 Quinsippi Island Road
Approximate Sq. Ft.: 460, 100'x50', 23'x 20'
General Condition: 2
Seasons: Sp, Su, Fa
Hours: 24/7 - April-October
Year Built: 1995
Year(s) of Major Renovations: None
Type of Construction: Metal Frame/Roof/Floats
Estimated Replacement \$: \$5,000
Number of Stories: 1
Current Primary Type of Use: Boat Slips
Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Art Keller Storage Shed	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>ROOF</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Type:	Metal							\$0	\$0	\$0
Age:	17							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$500							\$0	\$0	\$0

<u>INTERIOR/FINISHES</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Type:	Metal							\$0	\$0	\$0
Age:	17							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$500							\$0	\$0	\$0

<u>STRUCTURE/FOUNDATION</u>	<u>General Information</u>	<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Type:	Wood Frame/Metal Sheets							\$0	\$0	\$0
Age:	17							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Facility Name: Art Keller AA Dock
Location: 1009 Quinsippi Island Road
Approximate Sq. Ft.: 7650, 170'x45' 28 20'x10' covered slips
General Condition: 2
Seasons: Sp, Su, Fa
Hours: 24/7 - April-October
Year Built: 1985
Year(s) of Major Renovations: None
Type of Construction: Metal Frame/Roof/Floats
Estimated Replacement \$: \$192,000
Number of Stories: 1
Current Primary Type of Use: Boat Slips
Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
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 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Art Keller AA Dock	\$10,000	\$0	\$0	\$0	\$0	\$10,000	\$0 \$0	\$10,000

		<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
<u>PLUMBING</u>		<u>General Information</u>								
Type:	City Water							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
<u>ROOF</u>										
Type:	Metal							\$0	\$0	\$0
Age:	11							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Wood Deck							\$0	\$0	\$0
Age:	15							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
ELECTRICAL/LIGHTING		General Information								
Type:	100 Amp Sub, 4 Lt, 3 GFI outlets							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Metal Frame/Encapsulated Floats							\$0	\$0	\$0
Age:	27/2							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$160,000							\$0	\$0	\$0
OTHER										
Type:	Wood Access Stairs/Ramp	Replace	\$10,000					\$10,000	\$0	\$10,000
Age:	27							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
Type:	Aluminum Gangway							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Art Keller BB Dock
 Location: 1009 Quinsippi Island Road
 Approximate Sq. Ft.: 4500, 100'x45' 16 20'x10' covered slips
 General Condition: 2
 Seasons: Sp, Su, Fa
 Hours: 24/7 - April-October
 Year Built: 1985
 Year(s) of Major Renovations: None
 Type of Construction: Metal Frame/Roof/Floats
 Estimated Replacement \$: \$150,000
 Number of Stories: 1
 Current Primary Type of Use: Boat Slips
 Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Art Keller BB Dock	\$10,000	\$0	\$2,000	\$45,000	\$0	\$57,000	\$0	\$57,000

		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
PLUMBING		General Information								
Type:	City Water							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
ROOF										
Type:	Metal							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Wood Deck							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0

ELECTRICAL/LIGHTING		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
<u>General Information</u>										
Type:	100 Amp Sub, 3 Lt, 3 GFI outlets	Replace Lighting			\$2,000			\$2,000	\$0	\$2,000
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Metal Frame/Foam Floats	Replace Floats				\$45,000		\$45,000	\$0	\$45,000
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$120,000							\$0	\$0	\$0
OTHER										
Type:	Wood Access Stairs/Ramp	Replace	\$10,000					\$10,000	\$0	\$10,000
Age:	27							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
Type:	Aluminum Gangway							\$0	\$0	\$0
Age:	27							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Facility Name: Art Keller CC Dock
Location: 1009 Quinsippi Island Road
Approximate Sq. Ft.: 9450, 135'x70' 16 30'x13' covered slips
General Condition: 2
Seasons: Sp, Su, Fa
Hours: 24/7 - April-October
Year Built: 2001
Year(s) of Major Renovations: None
Type of Construction: Metal Frame/Roof/Floats
Estimated Replacement \$: \$188,000
Number of Stories: 1
Current Primary Type of Use: Boat Slips
Wheelchair Accessible: Yes



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Art Keller CC Dock	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

		<u>Item in Need of Maintenance/ Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
<u>PLUMBING</u>		<u>General Information</u>								
Type:	City Water							\$0	\$0	\$0
Age:	11							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
<u>ROOF</u>										
Type:	Metal							\$0	\$0	\$0
Age:	11							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>										
Type:	Wood Deck							\$0	\$0	\$0
Age:	11							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$12,000							\$0	\$0	\$0

ELECTRICAL/LIGHTING		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:	General Information	200 Amp, 16 Lt/30 Amp, 6 Lt, GFI Pedestals						\$0	\$0	\$0
Age:		11						\$0	\$0	\$0
General Condition:		2						\$0	\$0	\$0
Estimated Replacement \$:		\$12,000						\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:		Metal Frame/Foam Floats						\$0	\$0	\$0
Age:		11						\$0	\$0	\$0
General Condition:		2						\$0	\$0	\$0
Estimated Replacement \$:		\$135,000						\$0	\$0	\$0
OTHER										
Type:		Wood Access Dock						\$0	\$0	\$0
Age:		11						\$0	\$0	\$0
General Condition:		2						\$0	\$0	\$0
Estimated Replacement \$:		\$10,000						\$0	\$0	\$0
Type:		600 sq ft Deck (40'x15')						\$0	\$0	\$0
Age:		11						\$0	\$0	\$0
General Condition:		2						\$0	\$0	\$0
Estimated Replacement \$:		\$10,000						\$0	\$0	\$0

Facility Audit
General Information
 Facility Name: Art Keller A Dock
 Location: 1009 Quinsippi Island Road
 Approximate Sq. Ft.: 7600, 95'x80' 6 14'x35', 6 14'x40' cov. slips
 General Condition: 2
 Seasons: Sp, Su, Fa
 Hours: 24/7 - April-October
 Year Built: 1970
 Year(s) of Major Renovations: None
 Type of Construction: Metal Frame/Roof/Floats
 Estimated Replacement \$: \$181,000
 Number of Stories: 1
 Current Primary Type of Use: Boat Slips
 Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Art Keller A Dock	\$0	\$0	\$12,000	\$0	\$0	\$12,000	\$0	\$12,000

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
PLUMBING		General Information								
Type:	City Water							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
ROOF										
Type:	Metal							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Wood Deck							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0

ELECTRICAL/LIGHTING		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
<u>General Information</u>										
Type:	200 Amp, 2 Lt, 12 Meters/Outlets	Replace Lighting			\$2,000			\$2,000	\$0	\$2,000
Age:	30							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$12,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Metal Frame/Foam Floats							\$0	\$0	\$0
Age:	42/10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$140,000							\$0	\$0	\$0
OTHER										
Type:	Wood Access Stairs/Ramp	Replace			\$10,000			\$10,000	\$0	\$10,000
Age:	42							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
Type:	Aluminum Gangway							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Facility Audit
General Information

Facility Name: Art Keller B Dock
Location: 1009 Quinsippi Island Road
Approximate Sq. Ft.: 8700, 145'x60' 10 13'x25', 10 13'x30' cov. slips
General Condition: 2
Seasons: Sp, Su, Fa
Hours: 24/7 - April-October
Year Built: 1970
Year(s) of Major Renovations: None
Type of Construction: Metal Frame/Roof/Floats
Estimated Replacement \$: \$190,000
Number of Stories: 1
Current Primary Type of Use: Boat Slips
Wheelchair Accessible: No



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	Estimated <u>Cost</u>
Art Keller B Dock	\$0	\$0	\$0	\$10,000	\$0	\$10,000	\$0	\$10,000

		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	Estimated <u>Cost</u>
PLUMBING										
Type:	City Water							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
ROOF										
Type:	Metal							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$7,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Concrete Deck							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0

ELECTRICAL/LIGHTING		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:	200 Amp, 4 Lt, 20 Meters/Outlets, 1 Curt.							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Metal Frame/Foam Floats							\$0	\$0	\$0
Age:	42/9							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$150,000							\$0	\$0	\$0
OTHER										
Type:	Wood Access Stairs/Ramp	Replace				\$10,000		\$10,000	\$0	\$10,000
Age:	42							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
Type:	Steel Gangway							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Facility Audit
General Information

Facility Name: Art Keller C Dock
Location: 1009 Quinsippi Island Road
Approximate Sq. Ft.: 8400, 140'x60' 12 10'x25', 12 10'x23' cov. slips
General Condition: 2
Seasons: Sp, Su, Fa
Hours: 24/7 - April-October
Year Built: 1970
Year(s) of Major Renovations: None
Type of Construction: Metal Frame/Roof/Floats
Estimated Replacement \$: \$184,500
Number of Stories: 1
Current Primary Type of Use: Boat Slips
Wheelchair Accessible: No



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	Estimated <u>Cost</u>
Art Keller C Dock	\$0	\$0	\$0	\$10,000	\$0	\$10,000	\$0	\$10,000

		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	Estimated <u>Cost</u>
PLUMBING										
Type:	City Water							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
ROOF										
Type:	Metal							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$7,500							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Concrete Deck							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
ELECTRICAL/LIGHTING		General Information								
Type:	100 Amp, 7 Lt, 6 Curt. Outlets							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Metal Frame/Foam Floats							\$0	\$0	\$0
Age:	42/7							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$150,000							\$0	\$0	\$0
OTHER										
Type:	Wood Access Stairs/Ramp	Replace				\$10,000		\$10,000	\$0	\$10,000
Age:	42							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
Type:	Steel Gangway							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Facility Name: Art Keller D Dock
Location: 1009 Quinsippi Island Road
Approximate Sq. Ft.: 8400, 120'x70' 7 15'x30', 7 15'x35' cov. slips
General Condition: 2
Seasons: Sp, Su, Fa
Hours: 24/7 - April-October
Year Built: 1970
Year(s) of Major Renovations: None
Type of Construction: Metal Frame/Roof/Floats
Estimated Replacement \$: \$193,000
Number of Stories: 1
Current Primary Type of Use: Boat Slips
Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Art Keller D Dock	\$0	\$0	\$0	\$10,000	\$0	\$10,000	\$0	\$10,000

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
PLUMBING		General Information								
Type:	City Water							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
ROOF										
Type:	Metal							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Concrete Deck							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0

ELECTRICAL/LIGHTING		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:	General Information	100 Amp, 16 Meter, 10 Lt, 10 Curt. Outlets						\$0	\$0	\$0
Age:		20						\$0	\$0	\$0
General Condition:		2						\$0	\$0	\$0
Estimated Replacement \$:		\$12,000						\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:		Metal Frame/Foam Floats						\$0	\$0	\$0
Age:		42/6						\$0	\$0	\$0
General Condition:		2						\$0	\$0	\$0
Estimated Replacement \$:		\$150,000						\$0	\$0	\$0
OTHER										
Type:		Wood Access Stairs/Ramp	Replace			\$10,000		\$10,000	\$0	\$10,000
Age:		42						\$0	\$0	\$0
General Condition:		3						\$0	\$0	\$0
Estimated Replacement \$:		\$10,000						\$0	\$0	\$0
Type:		Steel Gangway						\$0	\$0	\$0
Age:		42						\$0	\$0	\$0
General Condition:		2						\$0	\$0	\$0
Estimated Replacement \$:		\$4,000						\$0	\$0	\$0

Facility Audit
General Information

Facility Name: Art Keller E Dock
Location: 1009 Quinsippi Island Road
Approximate Sq. Ft.: 5000, 100'x50' 10 9'x20', 10 9'x23' cov. slips
General Condition: 2
Seasons: Sp, Su, Fa
Hours: 24/7 - April-October
Year Built: 1970
Year(s) of Major Renovations: None
Type of Construction: Metal Frame/Roof/Floats
Estimated Replacement \$: \$140,000
Number of Stories: 1
Current Primary Type of Use: Boat Slips
Wheelchair Accessible: No



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	Estimated <u>Cost</u>
Art Keller E Dock	\$0	\$0	\$320,000	\$0	\$0	\$320,000	\$0	\$320,000

		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	Estimated <u>Cost</u>
PLUMBING										
Type:	City Water							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
ROOF										
Type:	Metal							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Concrete Deck							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0

<u>ELECTRICAL/LIGHTING</u>		Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	Estimated <u>Cost</u>
Type:	100 Amp, 3 Lts, 2 Curt. Outlets							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
<u>STRUCTURE/FOUNDATION</u>										
Type:	Metal Frame/Foam Floats	Replace Dock			\$320,000			\$320,000	\$0	\$320,000
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$110,000							\$0	\$0	\$0
<u>OTHER</u>										
Type:	Wood Access Stairs/Ramp	Replace Access						\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
Type:	Steel Gangway							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Facility Name: Art Keller F Dock
Location: 1009 Quinsippi Island Road
Approximate Sq. Ft.: 4800, 120'x40' 24 9'x18' (irreg) cov. slips
General Condition: 2
Seasons: Sp, Su, Fa
Hours: 24/7 - April-October
Year Built: 1970
Year(s) of Major Renovations: None
Type of Construction: Metal Frame/Roof/Floats
Estimated Replacement \$: \$140,000
Number of Stories: 1
Current Primary Type of Use: Boat Slips
Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Art Keller F Dock	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
PLUMBING		General Information								
Type:	City Water							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
ROOF										
Type:	Metal							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Concrete Deck							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0

ELECTRICAL/LIGHTING		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:	100 Amp, 4 Lts, 4 Curt. Outlets							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Metal Frame/Foam Floats	Dock Eliminated in 2014						\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$110,000							\$0	\$0	\$0
OTHER										
Type:	Wood Access Stairs/Ramp							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
Type:	Steel Gangway							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Facility Name: Art Keller G Dock
Location: 1009 Quinsippi Island Road
Approximate Sq. Ft.: 5400, 120'x45' 24 9'x20' (irreg) cov. slips
General Condition: 2
Seasons: Sp, Su, Fa
Hours: 24/7 - April-October
Year Built: 1970
Year(s) of Major Renovations: None
Type of Construction: Metal Frame/Roof/Floats
Estimated Replacement \$: \$152,000
Number of Stories: 1
Current Primary Type of Use: Boat Slips
Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Art Keller G Dock	\$0	\$45,000	\$0	\$10,000	\$0	\$55,000	\$0	\$55,000

Item in Need of Maintenance/		2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
General Information		Repair/Replacement							
PLUMBING	Type:	City Water					\$0	\$0	\$0
	Age:	42					\$0	\$0	\$0
	General Condition:	2					\$0	\$0	\$0
	Estimated Replacement \$:	\$1,000					\$0	\$0	\$0
ROOF									
	Type:	Metal					\$0	\$0	\$0
	Age:	42					\$0	\$0	\$0
	General Condition:	2					\$0	\$0	\$0
	Estimated Replacement \$:	\$5,000					\$0	\$0	\$0
INTERIOR/FINISHES									
	Type:	Concrete Deck					\$0	\$0	\$0
	Age:	42					\$0	\$0	\$0
	General Condition:	2					\$0	\$0	\$0
	Estimated Replacement \$:	\$7,000					\$0	\$0	\$0

ELECTRICAL/LIGHTING		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Type:	100 Amp, 3 Lts, 4 Curt. Outlets							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Metal Frame/Foam Floats	Refloat		\$45,000				\$45,000	\$0	\$45,000
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$120,000							\$0	\$0	\$0
OTHER										
Type:	Wood Access Stairs/Ramp	Replace				\$10,000		\$10,000	\$0	\$10,000
Age:	42							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
Type:	Steel Gangway							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Facility Name: Art Keller H Dock
Location: 1009 Quinsippi Island Road
Approximate Sq. Ft.: 2700, 60'x45', 7 9'x20', 9'x23' cov. slips
General Condition: 2
Seasons: Sp, Su, Fa
Hours: 24/7 - April-October
Year Built: 1970
Year(s) of Major Renovations: None
Type of Construction: Metal Frame/Roof/Floats
Estimated Replacement \$: \$143,000
Number of Stories: 1
Current Primary Type of Use: Boat Slips
Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
Art Keller H Dock	\$0	\$0	\$0	\$10,000	\$0	\$10,000	\$0	\$10,000

		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2020</u>	<u>Estimated Cost</u>
PLUMBING		<u>General Information</u>								
Type:	City Water							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$1,000							\$0	\$0	\$0
ROOF										
Type:	Metal							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Concrete Deck							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0

ELECTRICAL/LIGHTING		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
<u>General Information</u>										
Type:	100 Amp, 6 meters, 3 Lts, 15 Curt. Outlets							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Metal Frame/Foam Floats							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$110,000							\$0	\$0	\$0
OTHER										
Type:	Wood Access Stairs/Ramp	Replace				\$10,000		\$10,000	\$0	\$10,000
Age:	42							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
Type:	Steel Gangway							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Facility Name: Art Keller I Dock
Location: 1009 Quinsippi Island Road
Approximate Sq. Ft.: 5000, 100'x50', 8 12'x24', 8 10'x20' cov. slips
General Condition: 2
Seasons: Sp, Su, Fa
Hours: 24/7 - April-October
Year Built: 1970
Year(s) of Major Renovations: None
Type of Construction: Metal Frame/Roof/Floats
Estimated Replacement \$: \$151,000
Number of Stories: 1
Current Primary Type of Use: Boat Slips
Wheelchair Accessible: No



Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or

	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Art Keller I Dock	\$0	\$0	\$0	\$10,000	\$0	\$10,000	\$0	\$10,000

Item in Need of Maintenance/		2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
Repair/Replacement									
PLUMBING	<u>General Information</u>								
Type:	City Water						\$0	\$0	\$0
Age:	42						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$1,000						\$0	\$0	\$0
<u>ROOF</u>									
Type:	Metal						\$0	\$0	\$0
Age:	42						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$5,000						\$0	\$0	\$0
<u>INTERIOR/FINISHES</u>									
Type:	Concrete Deck						\$0	\$0	\$0
Age:	42						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$6,000						\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2020	Estimated Cost
ELECTRICAL/LIGHTING		General Information								
Type:	100 Amp, 8 Lts, 4 Curt. Outlets							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Metal Frame/Foam Floats							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$120,000							\$0	\$0	\$0
OTHER										
Type:	Wood Access Stairs/Ramp	Replace				\$10,000		\$10,000	\$0	\$10,000
Age:	42							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
Type:	Steel Gangway							\$0	\$0	\$0
Age:	42							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0

Westview Audit
General Information

Facility Name: Mary Weems Barton Clubhouse/Proshop
Location: 2150 South 36th Street
Approximate Sq. Ft.: 8,500
General Condition: 2
Year Built: Early 1950's
Year(s) of Major Renovations: 2000
Type of Construction: Wood frame, brick/stucco siding shingle roof
Estimated Replacement \$: \$930,000
Wheelchair Accessible: Yes



Condition

- 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked, displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated Cost
Mary Weems Barton Clubhouse/Proshop	\$0	\$30,000	\$270,000	\$2,000	\$0	\$302,000	\$0	\$302,000

<u>HVAC</u>	Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated Cost
Type:	5-Carrier down flo horizontal gas model 58ray						\$0	\$0	\$0
Age:	11						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$40,000		\$20,000	\$20,000			\$40,000	\$0	\$40,000

<u>PLUMBING</u>									
Type:	City water service						\$0	\$0	\$0
Age:	50+						\$0	\$0	\$0
General Condition:	4						\$0	\$0	\$0
Estimated Replacement \$:	\$30,000						\$0	\$0	\$0

<u>RESTROOMS/LOCKER ROOMS</u>									
Type:	2U/2T men's, 3T Women's, 2 Lav each side						\$0	\$0	\$0
Age:	50+						\$0	\$0	\$0
General Condition:	4						\$0	\$0	\$0
Estimated Replacement \$:	\$250,000			\$250,000			\$250,000	\$0	\$250,000

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF										
Type:	Fiberglass shingles							\$0	\$0	\$0
Age:	7							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$35,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Brick/wood frame/stucco, concrete							\$0	\$0	\$0
Age:	50+							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$250,000							\$0	\$0	\$0
INTERIOR/FINISHES										
Type:	Carpet/tile flooring, paint, fixtures							\$0	\$0	\$0
Age:	Proshop - 11 yrs. Players Grill - 3 years							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$75,000							\$0	\$0	\$0
OTHER										
Type:	Interior painting	replacement				\$2,000		\$2,000	\$0	\$2,000
Age:	Carpet - partial	replacement		\$10,000				\$10,000	\$0	\$10,000
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Westview Audit
General Information

Building Name: Golf Car Barn
Approximate Sq. Ft.: 3,500
General Condition: 2
Year Built: 1981
Year(s) of Major Renovations: None
Type of Construction: Wood frame, metal siding
Estimated Replacement \$: \$82,000
Wheelchair Accessible: Yes



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked, displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Golf Car Barn	\$0	\$5,000	\$0	\$0	\$0	\$5,000	\$0	\$5,000

<u>HVAC</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

<u>PLUMBING</u>		<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	Non potable						\$0	\$0	\$0
Age:	30						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$2,000						\$0	\$0	\$0

<u>RESTROOMS</u>		<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF										
Type:	Metal roof							\$0	\$0	\$0
Age:	30							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$25,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood framing, concrete floor							\$0	\$0	\$0
Age:	30							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Metal siding							\$0	\$0	\$0
Age:	30							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$25,000							\$0	\$0	\$0
OTHER										
Type:	2- Overhead doors & lighting	replacement		\$5,000				\$5,000	\$0	\$5,000
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Westview Audit
General Information

Building Name: Maintenance Shop
Approximate Sq. Ft.: 2,500
General Condition: 2
Year Built: 1976
Year(s) of Major Renovations: None
Type of Construction: Wood frame, metal siding
Estimated Replacement \$: \$150,000
Wheelchair Accessible: Yes



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked, displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Maintenance Shop	\$0	\$0	\$0	\$10,000	\$0	\$10,000	\$0	\$10,000

<u>HVAC</u>		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	Ceiling mount gas heater							\$0	\$0	\$0
Age:	8							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0

<u>PLUMBING</u>										
Type:	City water service							\$0	\$0	\$0
Age:	35							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0

<u>RESTROOMS</u>										
Type:	1T & 1 Lav each for employees & public							\$0	\$0	\$0
Age:	35							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$50,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF										
Type:	Metal roof							\$0	\$0	\$0
Age:	35							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$25,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood frame, metal siding, concrete floor, elect.							\$0	\$0	\$0
Age:	35							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$50,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	2-walk in doors & 1 - overhead							\$0	\$0	\$0
Age:	10							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
OTHER										
Type:	2- Entrance doors & electrical updates	replacement				\$10,000		\$10,000	\$0	\$10,000
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Westview Audit
General Information

Building Name: Equipment Storage Shed
Approximate Sq. Ft.: 1,500
General Condition: 1
Year Built: 2005
Year(s) of Major Renovations: None
Type of Construction: Wood frame, metal siding
Estimated Replacement \$: \$50,000
Wheelchair Accessible: Yes



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Equipment Storage Shed	\$0	\$0	\$0	\$1,000	\$0	\$1,000	\$0	\$1,000

<u>HVAC</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

<u>PLUMBING</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

<u>RESTROOMS</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF										
Type:	Metal roof							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood frame, metal siding, concrete floor, elect.							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$25,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	1-walk in & 2 - overhead doors							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
OTHER										
Type:	1- Entrance door	replacement				\$1,000		\$1,000	\$0	\$1,000
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Westview Audit
General Information

Building Name: Chemical Storage Shed
Approximate Sq. Ft.: 400
General Condition: 2
Year Built: 1993
Year(s) of Major Renovations: None
Type of Construction: Wood frame, metal siding
Estimated Replacement \$: \$45,000
Wheelchair Accessible: Yes



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe .
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Chemical Storage Shed	\$3,000	\$0	\$0	\$0	\$0	\$3,000	\$0	\$3,000

<u>HVAC</u>	Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

<u>PLUMBING</u>		<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	City water & non potable water						\$0	\$0	\$0
Age:	18						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$5,000						\$0	\$0	\$0

<u>RESTROOMS</u>		<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF										
Type:	Metal roof							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood frame, metal siding, concrete floor, elect.							\$0	\$0	\$0
Age:	18							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$30,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	1- Walk in & overhead door							\$0	\$0	\$0
Age:	6							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
OTHER										
Type:	1- Entrance door, timed ventilation	replacement	\$3,000					\$3,000	\$0	\$3,000
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Westview Audit
General Information

Building Name: Pole Barn Storage Shed
Approximate Sq. Ft.: 850
General Condition: 2
Year Built: 1970
Year(s) of Major Renovations: None
Type of Construction: Wood frame, metal siding
Estimated Replacement \$: \$20,000
Wheelchair Accessible: Yes



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked, displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Pole Barn Storage Shed	\$0	\$0	\$0	\$0	\$5,000	\$5,000	\$0	\$5,000

<u>HVAC</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

<u>PLUMBING</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

<u>RESTROOMS</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF										
Type:	Metal roof							\$0	\$0	\$0
Age:	7							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood frame, metal siding, gravel floor							\$0	\$0	\$0
Age:	40							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Metal siding							\$0	\$0	\$0
Age:	40							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
OTHER										
Type:	Install concrete flooring	replacement					\$5,000	\$5,000	\$0	\$5,000
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Westview Audit
General Information

Building Name: #5 Shelter House
Approximate Sq. Ft.: 1,000
General Condition: 2
Year Built: 1971
Year(s) of Major Renovations: None
Type of Construction: Wood frame, fiberglass shingles
Estimated Replacement \$: \$36,000
Wheelchair Accessible: Yes



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked, displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
#5 Shelter House	\$0	\$0	\$0	\$0	\$1,000	\$1,000	\$0	\$1,000

<u>HVAC</u>	Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

<u>PLUMBING</u>	Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	City water lines for concession						\$0	\$0	\$0
Age:	40						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$3,000						\$0	\$0	\$0

<u>RESTROOMS</u>	Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF										
Type:	Fiberglass shingles							\$0	\$0	\$0
Age:	7							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$8,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood frame, shingles, concrete floor, elect.							\$0	\$0	\$0
Age:	40							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Concrete block wall at concession area							\$0	\$0	\$0
Age:	40							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$10,000							\$0	\$0	\$0
OTHER										
Type:	Paint & stain	Repair/Replacement					\$1,000	\$1,000	\$0	\$1,000
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Westview Audit
General Information

Building Name: #5 Restroom
Approximate Sq. Ft.: 1,000
General Condition: 2
Year Built: 1986
Year(s) of Major Renovations: None
Type of Construction: Brick, Shingle roof
Estimated Replacement \$: \$82,000
Wheelchair Accessible: Yes



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked, displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
#5 Restroom	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

<u>HVAC</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

<u>PLUMBING</u>		<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	City water line & sewer						\$0	\$0	\$0
Age:	25						\$0	\$0	\$0
General Condition:	1						\$0	\$0	\$0
Estimated Replacement \$:	\$15,000						\$0	\$0	\$0

<u>RESTROOMS</u>		<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	1 T & 1 Lav each for men and women						\$0	\$0	\$0
Age:	25						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$10,000						\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF										
Type:	Fiberglass shingles							\$0	\$0	\$0
Age:	7							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Brick , concrete floor, 2-sunlights							\$0	\$0	\$0
Age:	25							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$50,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Brick, sunlights							\$0	\$0	\$0
Age:	25							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
OTHER										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Westview Audit
General Information

Building Name: #22 Restroom
Approximate Sq. Ft.: 550
General Condition: 3
Year Built: 1971
Year(s) of Major Renovations: None
Type of Construction: Wood frame, shingle roof
Estimated Replacement \$: \$49,000
Wheelchair Accessible: None



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked, displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
#22 Restroom	\$500	\$0	\$0	\$0	\$0	\$500	\$0	\$500

<u>HVAC</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

<u>PLUMBING</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	City water line & sewer						\$0	\$0	\$0
Age:	40						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$10,000						\$0	\$0	\$0

<u>RESTROOMS</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	1 T & 1 Lav						\$0	\$0	\$0
Age:	40						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$5,000						\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF										
Type:	Fiberglass shingles							\$0	\$0	\$0
Age:	7							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$3,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood frame, siding, door							\$0	\$0	\$0
Age:	40							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Wood framing, concrete floor, electrical							\$0	\$0	\$0
Age:	40							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$25,000							\$0	\$0	\$0
OTHER										
Type:	Paint & stain	Repair/Replacement	\$500					\$500	\$0	\$500
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Westview Audit
General Information

Building Name: Pump Station
Approximate Sq. Ft.: 250
General Condition: 1
Year Built: 1991
Year(s) of Major Renovations: 2002
Type of Construction: Wood frame, shingle roof
Estimated Replacement \$: \$98,000
Wheelchair Accessible: None



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Pump Station	\$500	\$0	\$0	\$0	\$0	\$500	\$0	\$500

<u>HVAC</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	Ventilation Luver						\$0	\$0	\$0
Age:	9						\$0	\$0	\$0
General Condition:	1						\$0	\$0	\$0
Estimated Replacement \$:	\$2,000						\$0	\$0	\$0

<u>PLUMBING</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	Wet well & intake line						\$0	\$0	\$0
Age:	20						\$0	\$0	\$0
General Condition:	1						\$0	\$0	\$0
Estimated Replacement \$:	\$27,000						\$0	\$0	\$0

<u>RESTROOMS</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

Pump Station

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF										
Type:	Fiberglass shingles and scuttle							\$0	\$0	\$0
Age:	7							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$5,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood frame, shingle roof, concrete floor							\$0	\$0	\$0
Age:	9							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$40,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:	Wood frame, siding, windows, door							\$0	\$0	\$0
Age:	9							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
OTHER										
Type:	Paint & stain	Repair/Replacement	\$500					\$500	\$0	\$500
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Westview Audit
General Information

Building Name: Scorecard Shelter
Approximate Sq. Ft.: 125
General Condition: Deteriorating
Year Built: 1971
Year(s) of Major Renovations: None
Type of Construction: Wood frame, shingle roof
Estimated Replacement \$: \$6,000
Wheelchair Accessible: Yes



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Scorecard Shelter	\$0	\$0	\$0	\$0	\$0	\$0	\$500	\$500

<u>HVAC</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

<u>PLUMBING</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

<u>RESTROOMS</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:							\$0	\$0	\$0
Age:							\$0	\$0	\$0
General Condition:							\$0	\$0	\$0
Estimated Replacement \$:							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
ROOF										
Type:	Fiberglass shingles							\$0	\$0	\$0
Age:	7							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$2,000							\$0	\$0	\$0
STRUCTURE/FOUNDATION										
Type:	Wood frame, shingle roof, concrete floor							\$0	\$0	\$0
Age:	40							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$4,000							\$0	\$0	\$0
EXTERIOR/WINDOWS										
Type:								\$0	\$0	\$0
Age:								\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0
OTHER										
Type:	Will not be replaced when condition							\$0	\$500	\$500
Age:	becomes a 5 rating							\$0	\$0	\$0
General Condition:								\$0	\$0	\$0
Estimated Replacement \$:								\$0	\$0	\$0

Westview Audit
General Information

Building Name: Irrigation System
Approximate Sq. Ft.:
General Condition:
Year Built: 1990
Year(s) of Major Renovations: 2000, 2002, 2006
Type of Construction:
Estimated Replacement \$: \$875,000
Wheelchair Accessible:



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Irrigation System	\$20,000	\$35,000	\$6,000	\$0	\$0	\$61,000	\$795,000	\$856,000

<u>Pump Station</u>	Item in Need of Maintenance/ <u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type:	Flowronex VFD 1600 gpm						\$0	\$0	\$0
Age:	9						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$90,000						\$0	\$90,000	\$90,000

<u>Central Controller</u>									
Type:	Toro Site Pro						\$0	\$0	\$0
Age:	4						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$11,000						\$0	\$11,000	\$11,000

<u>Satellites</u>									
Type:	Toro E-Osmac						\$0	\$0	\$0
Age:	4						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$32,000						\$0	\$32,000	\$32,000

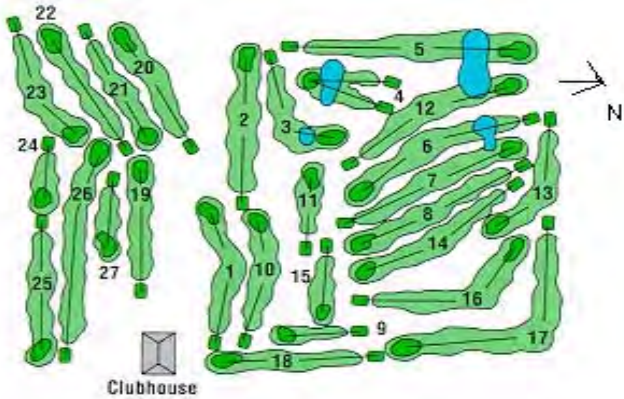
		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Piping										
Type:	Schedule 40 class 160 10-2"							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$650,000							\$0	\$650,000	\$650,000
Sprinkler Heads - 1-18 Tees										
Type:	Rainbird 700 Series							\$0	\$0	\$0
Age:	11							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$11,000							\$0	\$11,000	\$11,000
Sprinkler Heads - 19-27 Tees										
Type:	Rainbird 51 DR							\$0	\$0	\$0
Age:	20							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,000				\$6,000			\$6,000	\$0	\$6,000
Sprinkler Heads - Greens										
Type:	Rainbird 51 DR							\$0	\$500	\$500
Age:	20							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$15,000			\$15,000				\$15,000	\$0	\$15,000
Sprinkler Heads - Fairways										
Type:	Rainbird 91 DR	phase 1 - started in 2011 - \$20,000						\$0	\$500	\$500
Age:	20							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$60,000		\$20,000	\$20,000				\$40,000	\$0	\$40,000

Westview Audit
General Information

Building Name: Golf Course Bunkers
Approximate Sq. Ft.:
General Condition:
Year Built: 1990
Year(s) of Major Renovations: 1999
Type of Construction:
Estimated Replacement \$: \$87,500
Wheelchair Accessible:



#17 Greenside Bunker



Condition

- 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked, displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Golf Course Bunkers	\$4,900	\$16,500	\$8,400	\$0	\$0	\$29,800	\$0	\$29,800

Hole #1

	Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Type & Size	Greenside - 1,470 sq. ft.						\$0	\$0	\$0
Age:	12						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$4,900	\$4,900					\$4,900	\$0	\$4,900

Hole #2

	Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Fairway - 1,640 sq. ft.						\$0	\$0	\$0
Age:	12						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$4,100		\$4,100				\$4,100	\$0	\$4,100

Hole #2

	Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside - 970 sq. ft.						\$0	\$0	\$0
Age:	12						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Estimated Replacement \$:	\$3,200		\$3,200				\$3,200	\$0	\$3,200

Hole #3		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside - 570 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$1,800			\$1,800				\$1,800	\$0	\$1,800
Hole #4		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside - 975 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,200				\$3,200			\$3,200	\$0	\$3,200
Hole #5		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside - 1,620 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,300			\$4,300				\$4,300	\$0	\$4,300
Hole #6		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Fairway - 1,280 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,400				\$3,400			\$3,400	\$0	\$3,400
Hole #6		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside left - 935 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,100			\$3,100				\$3,100	\$0	\$3,100
Hole #6		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside right - 540 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	1							\$0	\$0	\$0
Estimated Replacement \$:	\$1,800				\$1,800			\$1,800	\$0	\$1,800
Hole #8		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Fairway - 1,280 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,400				\$3,400			\$3,400	\$0	\$3,400

Hole #9		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside - 1,110 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,400			\$3,400				\$3,400	\$0	\$3,400
Hole #10		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Fairway - 2,590 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,800				\$6,800			\$6,800	\$0	\$6,800
Hole #10		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside left - 1,640 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,200			\$4,200				\$4,200	\$0	\$4,200
Hole #10		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside right - 1,490 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,900				\$4,900			\$4,900	\$0	\$4,900
Hole #12		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside - 1,190 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,600			\$3,600				\$3,600	\$0	\$3,600
Hole #13		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside - 920 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,200				\$3,200			\$3,200	\$0	\$3,200
Hole #14		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside - 965 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,200				\$3,200			\$3,200	\$0	\$3,200

Hole #15		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside left - 1,070 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,500			\$3,500				\$3,500	\$0	\$3,500
Hole #15		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside right - 1,100 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,500				\$3,500			\$3,500	\$0	\$3,500
Hole #16		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Fairway - 1,340 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,800				\$3,800			\$3,800	\$0	\$3,800
Hole #16		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside - 1,220 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$4,400				\$4,400			\$4,400	\$0	\$4,400
Hole #17		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Fairway - 2,190 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$6,200				\$6,200			\$6,200	\$0	\$6,200
Hole #17		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Type & Size	Greenside - 1,170 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$3,600			\$3,600				\$3,600	\$0	\$3,600

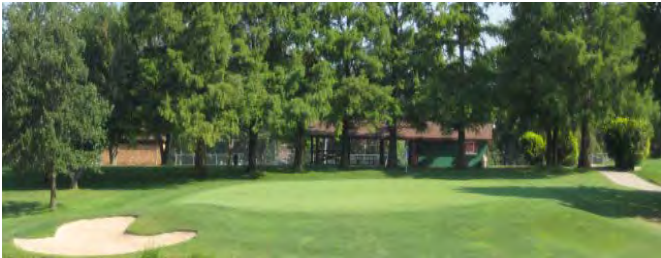
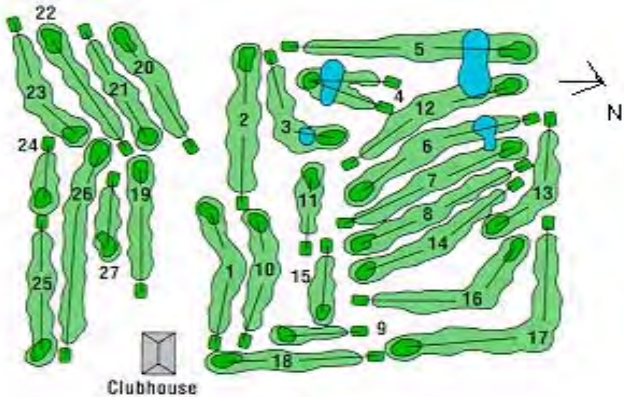
Westview Audit **General Information**

Building Name:
 Approximate Sq. Ft.:
 General Condition:
 Year Built:
 Year(s) of Major Renovations:
 Type of Construction:
 Estimated Replacement \$:
 Wheelchair Accessible:

Golf Course Greens

 2
 1949 & 1960
 None

 \$35,000 per green



#12 Green

Condition
 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
 2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
 3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
 4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
 5 = The facility or feature cannot be used and/or is unsafe.
 Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
 Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Golf Course Greens	\$3,000	\$35,000	\$0	\$0	\$0	\$38,000	\$0	\$38,000

Hole #1

		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Size:	8,655 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0

Hole #2

		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	6,644 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0

Hole #3

		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	8,321 sq. ft.	cypress roots invading green - pruning	\$1,000					\$1,000	\$0	\$1,000
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0

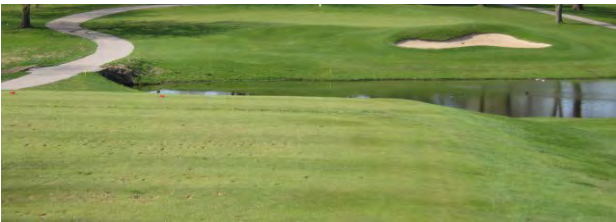
Hole #4		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	6,010 sq. ft.							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000			\$35,000				\$35,000	\$0	\$35,000
Hole #5		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	8,737 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #6		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	8,491 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #7		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	7, 386 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #8		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	8,329 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #9		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	5,728 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #10		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	7,772 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0

Hole #11		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	5,278 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #12		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	7,310 sq. ft.	cypress roots invading green - pruning	\$1,000					\$1,000	\$0	\$1,000
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #13		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	10,472 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #14		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	6,644 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #15		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	7,540 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #16		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	7,085 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #17		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	5,024 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0

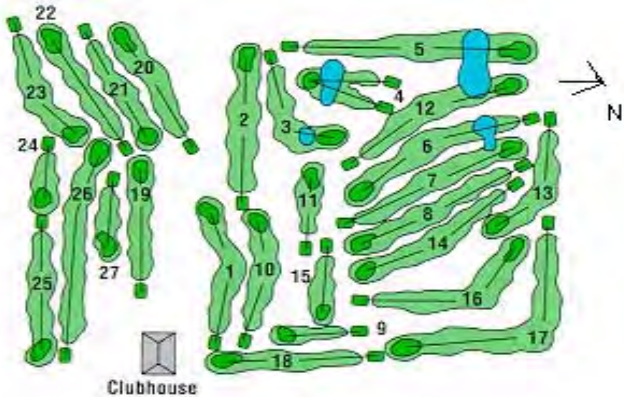
Hole #18		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	10,024 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #19		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	4,776 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #20		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	6,717 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #21		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	8087 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #22		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	5,214 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #23		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	5,942 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0
Hole #24		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	7,235 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$6,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$35,000							\$0	\$0	\$0

Westview Audit
General Information

Building Name: Golf Course Tee Complexes
Approximate Sq. Ft.:
General Condition: 2
Year Built: 1949 & 1960
Year(s) of Major Renovations: 1999
Type of Construction:
Estimated Replacement \$: \$7,000 per tee complex
Wheelchair Accessible:



#4 Tee Complex



Condition

- 1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.

Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.

Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked, displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Golf Course Tee Complexes	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0

Hole #1

	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Estimated Cost</u>
Size:	5,285 sq. ft.						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Turf Replacement:	\$3,000						\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000						\$0	\$0	\$0

Hole #2

	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	4,875 sq. ft.						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Turf Replacement:	\$3,000						\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000						\$0	\$0	\$0

Hole #3

	<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	6,532 sq. ft.						\$0	\$0	\$0
General Condition:	2						\$0	\$0	\$0
Turf Replacement:	\$3,000						\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000						\$0	\$0	\$0

Hole #4		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	12,922 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #5		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	3,210 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #6		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	5,416 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #7		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	4,880 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #8		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	5,685 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #9		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	7,120 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #10		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	7,425 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0

Hole #11		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	7,400 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #12		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	5,010 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #13		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	6,050 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #14		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	4,750 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #15		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	7,640 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #16		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	6,685 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #17		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	5,395 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0

Hole #18		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	6,560 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #19		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	2,589 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #20		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	4,032 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #21		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	3,657 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #22		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	2,108 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #23		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	5,418 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0
Hole #24		<u>Repair/Replacement</u>	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	<u>Cost</u>
Size:	2,627 sq. ft.							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Turf Replacement:	\$3,000							\$0	\$0	\$0
Est. Total Replacement \$:	\$7,000							\$0	\$0	\$0

Westview Audit
General Information

Parking Lot Condition: 3
Year Built: Upper Lot - 70's Lower Lot - 1999
Year(s) of Major Renovations: 2000 Upper Lot - slurry mix
Type of Construction: Blackto & seal overlay
Estimated Replacement \$: Upper Lot - \$150,000
Estimated Replacement \$: Lower Lot - \$100,000
Estimated Replacement \$: Maint. Lot - \$50,000
Car Path Condition: 4
Year Built: Various
Year(s) of Major Renovations: 2002
Estimated Replacement \$: \$335,000



Condition
1 = The facility or feature functions as intended and is in good condition. No repairs greater than \$2,000 are needed.
2 = The facility or feature functions as intended, but is in deteriorating condition, and may need some minor repairs, between \$2,000 and \$15,000.
3 = The facility or feature functions as intended, but is in deteriorating condition and needs repairs greater than \$15,000.
4 = The facility or feature does not fully function as intended or is in a highly noticeable deteriorating or damaged condition.
5 = The facility or feature cannot be used and/or is unsafe.
Good Condition: Facility or feature is free of significant peeling paint, rust, rot, cracked or displaced sidewalk or floors and everything works as intended – switches, electricity, water, other.
Deteriorating Condition: Facility or feature has some noticeable peeling paint, rust, rot, cracked , displaced sidewalks, floors or related problems however, everything works as intended – switches, electricity, water, other.

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Parking Lots & Car Paths	\$20,500	\$5,000	\$185,000	\$150,000	\$0	\$360,500	\$0	\$360,500

<u>Upper Parking Lot</u>		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type & Sq. Ft:	Asphalt & seal overlay - 43,500 sq. ft.							\$0	\$0	\$0
Age:	40							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$150,000							\$0	\$0	\$0

<u>Lower Parking Lot</u>		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type & Sq. Ft:	Asphalt & seal overlay - 27,500 sq. ft.							\$0	\$0	\$0
Age:	12							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$100,000							\$0	\$0	\$0

<u>Maintenance Parking Lot</u>		Item in Need of Maintenance/ Repair/Replacement	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>	<u>Sum 1-5</u>	<u>2017-2021</u>	Estimated <u>Cost</u>
Type & Sq. Ft:	Asphalt & seal overlay - 15,000 sq. ft.							\$0	\$0	\$0
Age:	8							\$0	\$0	\$0
General Condition:	2							\$0	\$0	\$0
Estimated Replacement \$:	\$50,000							\$0	\$0	\$0

		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Excellent Car Paths - 1 or 2 Condition										
Square Feet:	0 sq. ft.							\$0	\$0	\$0
Type:	Asphalt							\$0	\$0	\$0
General Condition:	1 or 2							\$0	\$0	\$0
Estimated Replacement \$:	\$0							\$0	\$0	\$0
Average Car Paths - 3 Condition										
Square Feet:	34,000 sq. ft.							\$0	\$0	\$0
Type:	Asphalt							\$0	\$0	\$0
General Condition:	3							\$0	\$0	\$0
Estimated Replacement \$:	\$150,000					\$150,000		\$150,000	\$0	\$150,000
Poor Car Paths - 4-5 Condition										
Square Feet:	42,000 sq. ft.							\$0	\$0	\$0
Type:	Asphalt							\$0	\$0	\$0
General Condition:	4 or 5							\$0	\$0	\$0
Estimated Replacement \$:	\$185,000				\$185,000			\$185,000	\$0	\$185,000
OTHER										
		Item in Need of Maintenance/ Repair/Replacement	2012	2013	2014	2015	2016	Sum 1-5	2017-2021	Estimated Cost
Optional - Upper lot sealing		Repair/Replacement	\$15,000					\$15,000	\$0	\$15,000
Lower Lot - Dumpster enclosure		New		\$5,000				\$5,000	\$0	\$5,000
Maintenance roadway - Sealing		Repair/Replacement	\$5,500					\$5,500	\$0	\$5,500
								\$0	\$0	\$0

EQUIPMENT DESCRIPTION	YEAR	MILEAGE/ HOURS	LOCATION/ ZONE	Note: For equipment tracked by hours - years are the expected years to reach the hour standard. Hours will be verified before equipment is programed for replacement.										
Golf Equipment				Std. Years	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021
#02 MERCURY MYSTIQUE	1998		GOLF	15		\$ 22,000								
MOWER JD1600T	2005	3,204	GOLF	6						\$ 26,000				
Greensmower	1999	3,232	GOLF	3			\$ 24,500			\$ 26,000			\$ 27,500	
Greensmower	2003	1,911	GOLF	3	\$ 23,500			\$ 25,000			\$ 26,500			\$ 28,000
Greensmower	2005	1,358	GOLF	3		\$ 24,000			\$ 25,500			\$ 27,000		
Greensmower	2006	1,112	GOLF	3			\$ 24,500							
Fairway mower	2001	2,375	GOLF	6						\$ 31,000				
Fairway mower	2001	2,296	GOLF	6	\$ 29,500						\$ 32,000			
Slope mower	1999	3,960	GOLF	7	\$ 20,000							\$ 25,000		
Slope mower	2000	3,371	GOLF	7		\$ 20,500							\$ 25,000	
Multi-Pro Sprayer	1998	3,193	GOLF	10	\$ 50,000									
Bunker Rake	2007	786	GOLF	5		\$ 15,000					\$ 17,000			
Truck 4x4	2000	70,000	GOLF	10		\$ 30,000								
Snow plow	2000	NA	GOLF	10		\$ 10,000								
Utility Tractor	1995	2,875	GOLF	20			\$ 35,000							
Aerifier	1995	NA	GOLF	10	\$ 15,000									
Aerifier	1998	NA	GOLF	10		\$ 15,000								
Lely spreader	1999	NA	GOLF	6						\$ 8,000				
Utility vehicle	1996	8,663	GOLF	10	\$ 15,000									
Utility vehicle	1999	6,868	GOLF	10		\$ 15,000								
Utility Vehicle	1999	6,795	GOLF	10			\$ 15,500							
Turbine blower	2008	NA	GOLF	5		\$ 10,000					\$ 12,000			
Yamaha Cars (20)	2008	NA	GOLF	6		\$ 50,000						\$ 45,000		
Yamaha Cars (20)	2009	NA	GOLF	6			\$ 50,000						\$ 45,000	
Yamaha Cars (20)	2010	NA	GOLF	6				\$ 50,000						\$ 46,000
Totals					\$153,000	\$211,500	\$149,500	\$75,000	\$25,500	\$91,000	\$87,500	\$97,000	\$97,500	\$74,000

EQUIPMENT DESCRIPTION	YEAR	LOCATION/ ZONE	Note: For equipment tracked by hours - years are the expected years to reach the hour standard. Hours will be verified before equipment is programed for replacement.												
PARKS/RECREATION			Est. Cost	Standard Years	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022
#03R DODGE DAKOTA 4X4	2003	ZONE 1	\$ 25,000	12				\$ 25,000							
#01-ZM 01 3/4 TON DODGE 4X2	2001	ZONE 1	\$ 25,000	15					\$ 25,000						
IMP BLOWER GIANT VAC	2001	ZONE 1	\$ 7,000	15					\$ 7,000						
MOWER TORO 4000D	2011	ZONE 1	\$ 47,000	4				\$47,000				\$47,000			
MOWER TORO 4000D	2007	ZONE 1	\$ 47,000	Backup											
MOWER EXMARK ZTR 72"	2010	ZONE 1	\$ 14,000	6					\$ 14,000						\$ 14,000
MOWER W/B EXMARK 48"	2004	ZONE 1	\$ 9,000	8	\$ 9,000								\$ 9,000		
TRACTOR JD5220	2002	ZONE 1	\$ 25,000	18									\$ 25,000		
TRAILER SNO BIRD	2001	ZONE 1	\$ 5,000	None											
#03-PM FORD F-250	2003	ZONE 2	\$ 25,000	12				\$ 25,000							
#99A 3/4TON DODGE 4X2	1999	ZONE 2	\$ 25,000	15			\$ 25,000								
IMP BLOWER GIANT VAC	2005	ZONE 2	\$ 7,000	15									\$ 7,000		
MOWER TORO 4000D	2009	ZONE 2	\$ 47,000	4		\$ 47,000				\$ 47,000				\$ 47,000	
MOWER TORO ZTR 72"	2008	ZONE 2	\$ 14,000	6			\$ 14,000						\$ 14,000		
MOWER EXMARK ZTR 72"	2010	ZONE 2	\$ 14,000	6					\$ 14,000						\$ 14,000
TRACTOR JD3520	2010	ZONE 2	\$ 25,000	18											
TRAILER SNO BIRD	2001	ZONE 2	\$ 25,000	None											
MOWER TORO ZTR 72"	2008	ZONE 2	\$ 14,000	6			\$ 14,000						\$ 14,000		
UTILITY VEHICLE (MULE)	2000	ZONE 2	\$ 16,000	15				\$ 16,000							
BOAT	2009	ZONE 2	\$ 8,000	20											
#06B GMC SIERRA 4x2 PICKUP	2006	ZONE 3	\$ 25,000	12							\$ 25,000				
FORD F350 4X4	2011	ZONE 3	\$ 32,000	15											
IMP BLOWER GIANT VAC	2003	ZONE 3	\$ 7,000	15							\$ 7,000				
IMP ENDLOADER ATTACHM	1997	ZONE 3	\$ 4,000	None						\$ 4,000					
MOWER TORO 4000D	2010	ZONE 3	\$ 47,000	4			\$ 47,000				\$ 47,000				\$ 47,000
MOWER EXMARK ZTR 66"	2008	ZONE 3	\$ 14,000	6			\$ 14,000							\$ 14,000	
MOWER W/B EXMARK 48"	2005	ZONE 3	\$ 9,000	8		\$ 9,000								\$ 9,000	
TRACTOR JD5200	1996	ZONE 3	\$ 25,000	18			\$ 25,000								
TRAILER HEAVY-DUTY DIVIP	1989	ZONE 3	\$ 8,000	None											
#09 Ford F-259 Super Duty	2009	ZONE 4	\$ 25,000	12										\$ 25,000	
MOWER EXMARK ZTR 72"	2010	ZONE 4	\$ 14,000	6						\$14,000					
TRAILER BUILT-RITE	2005	ZONE 4	\$ 5,000	None											
#M02 GMC VAN	2002	MECHANIC	\$ 20,000	12			\$ 20,000								
#06A FORD F250 W/UTILITY BED	2006	SUPPORT	\$ 35,000	12							\$ 35,000				
06C DODGE DAKOTA 4X4	2006	SUPPORT	\$ 22,000	12							\$ 22,000				
#47 INT'L DUMP TRUCK	1998	SUPPORT	\$ 45,000	12	\$ 45,000										
#07A DODGE 2500 4x4	2007	SUPPORT	\$ 30,000	12								\$ 30,000			
#00 1 TON DODGE	2000	SUPPORT	\$ 32,000	12		\$ 32,000									
CASE 580K BACKHOE	2004	SUPPORT	\$ 60,000	10			\$ 60,000								
JLG T350 LIFT	2011	SUPPORT	\$ 22,000	12											

EQUIPMENT DESCRIPTION	YEAR	LOCATION/ ZONE	Note: For equipment tracked by hours - years are the expected years to reach the hour standard. Hours will be verified before equipment is programed for replacement.												
PARKS/RECREATION			Est. Cost	Standard Years	2012	2013	2014	2015	2016	2017	2018	2019	2020	2021	2022
VERMEER CHIPPER	2000	SUPPORT	\$ 45,000	12	\$ 45,000										
IMP ENDLOADER ATTACHM	2002	SUPPORT	\$ 4,000	None											
TRAILER JET STAR	2000	SUPPORT	\$ 5,000	None											
TRAILER HEAVY-DUTY DIVIP	1989	SUPPORT	\$ 5,000	None											
TRAILER MAXI DUMP	1990	SUPPORT	\$ 5,000	None											
TRAILER MAXI DUMP	1990	SUPPORT	\$ 5,000	None											
TRAILER HOME MADE	1980	SUPPORT	\$ 5,000	None											
WELDER PORTABLE LINCOLN	1988	SUPPORT	\$ 5,000	None											
DUMP TRAILER	2009	SUPPORT	\$ 12,000	None											
TILLER TROY BUILT	1994	SUPPORT	\$ 5,000	None											
NORTH STAR SPLITTER	1999	SUPPORT	\$ 5,000	None											
FORKS QUICK ATTACH	2005	SUPPORT	\$ 4,000	None											
FORD F150 4x4	2010	RANGER	\$ 30,000	3		\$ 30,000				\$ 30,000				\$ 30,000	
#10 FORD F 250 SUPER DUTY	2010	CREWLEADER	\$ 30,000	12											\$ 30,000
JOHN DEERE GATOR 4X6	2001	DISTRICT	\$ 16,000	15					\$ 16,000						
SNOW BRUSH	2010	DISTRICT	\$ 8,000	12											
TRAILER SNO BIRD	2001	DISTRICT	\$ 5,000	None											
GIANT VAC	1989	DISTRICT	\$ 8,000	25			\$ 8,000								
GIANT VAC	1989	DISTRICT	\$ 8,000	25			\$ 8,000								
TAILGAGE LEAF VAC	2005	DISTRICT	\$ 8,000	15									\$ 8,000		
TURF AERATOR	2009	DISTRICT	\$ 5,000	20											
SPREADER SALT/CINDERS	2007	DISTRICT	\$ 5,000	20											
SNOW BLOWER - HONDA	2007	DISTRICT	\$ 8,000	15											\$ 8,000
IMP BLOWER JACOBSON	1982	DISTRICT	\$ 7,000	15	\$ 7,000										
SNOW PLOW WESTERN 8'	2007	DISTRICT	\$ 10,000	None											\$ 10,000
SNOW PLOW HENKE 10'	1999	DISTRICT	\$ 10,000	None											
#01-PM DODGE DAKOTA 4X4	2001	SUPERVISOR	\$ 30,000	12		\$ 30,000									
#01-SM DODGE DAKOTA 4X4	2001	SUPERVISOR	\$ 30,000	12		\$ 30,000									
#02 CHEVROLET CAVALIER	2002	DOP	\$ 20,000	15						\$ 20,000					
#97 1/2 TON FORD 4X2	1997	MARINA	\$ 25,000	15	\$ 25,000										
BOAT JON 18' W/50 HP	2001	MARINA	\$ 25,000	25											
BOAT JON 16'W/30 HP	1992	MARINA	\$ 25,000	25						\$ 25,000					
#03 FORD TARUS	2003	REC	\$ 25,000	15							\$ 25,000				
#99C DODGE DAKOTA	1999	BALLCREW	\$ 25,000	15			\$ 25,000								
#97 FORD F150 4X2	1999	REC	\$ 25,000	15			\$ 25,000								
TRACTOR JD970	1994	BALLCREW/REC	\$ 25,000	18	\$ 25,000										
SHOWMOBILE	1998	REC	\$ 140,000									\$140,000			
TABLE/TRASH REPLACEMENT	VAR	DISTRICT	NA		\$ 25,000	\$ 35,000	\$ 30,000	\$ 40,000	\$ 25,000	\$ 25,000	\$ 30,000	\$ 20,000	\$ 30,000		
Small Equipment Replacement	Multi	Parks			\$9,000	\$9,000	\$9,000	\$9,000	\$9,000	\$9,000	\$9,000	\$9,000	\$9,000	\$9,000	\$9,000
			\$1,563,000		\$190,000	\$222,000	\$324,000	\$162,000	\$110,000	\$174,000	\$200,000	\$246,000	\$116,000	\$134,000	\$132,000

**Quincy Park District
2010 IT Assessment**

Description	Brand/Model	Type	Processor	Processor Speed (GHz)	RAM (GBs)	HardDrive (GBs)	Optical Drive	NIC	Wireless 802.11	OS	OS Bit	Replacement Cost	Useful Life	Useful Life Remaining	Year of Replacement
Maint1-Chris	HP Pavilion	Desktop	P-4	2.93	2.50	200	CD/DVD	10/100		Win XP_Home, SP3	32	\$ 950.00	6	0	
Maint1-Chris	HP Pavilion dv-7-4296nr	Notebook	i7-2630QM	2.00	4.00	500	CD/DVD	10/100/1000	agn	Win7Pro, SP1	64	\$ 950.00	6	6	2017
Maint1-Rome	Generic	Desktop	i5-650	3.20	6.00	500	(2) CD/DVD	10/100/1000		Win7Pro, SP1	64	\$ 950.00	6	6	2017
Maint1	HP CM1312nfi	MFP-Printer						10/100				\$ 700.00	7	6	2017
Maint1	Linksys BEFSR41	Router/Switch										\$ 55.00	7	2	2013
Marina-GuardHouse	Dell Inspiron 570	Desktop	AMD Athlon TM2x2	2.80	4.00	120	CD	10/100		Win7_Home Prem, SP	32	\$ 950.00	6	6	2017
Marina-GuardHouse	HP Deskjet D4260	Printer					USB					\$ 375.00	7	6	2017
Rec - Director	Generic	Desktop	i5-650	3.20	6.00	500	CD	10/100/1000		Win7Pro, SP1	64	\$ 950.00	6	6	2017
Rec - Melinda	Toshiba Satellite	Notebook	Core 2 T5500	1.66	2.00	150	CD\DVD	10/100		Win7Pro, SP1	32	\$ 1,400.00	5	3	2014
Rec - Mark	Sony VAI0	Notebook	Core 2 T8300	1.83	2.00	120	CD\DVD	10/100		Win7Pro, SP1	32	\$ 1,400.00	5	3	2014
Marketing	ASUS M51Sn-X2	Notebook	Core 2 Duo T8300	2.40	4.00	250	CD\DVD	10/100/1000	agn	Win7Pro, SP1	32	\$ 1,400.00	5	4	2015
Park Safety	HP Pavilion dv-7-4296nr	Notebook	i7-2630QM	2.00	4.00	500	CD/DVD	10/100/1000	agn	Win7Pro, SP1	64	\$ 950.00	6	6	2017
Park Safety	HP Pavilion dv-5000	Notebook	AMD Turion ML-32	1.80	2.00	80	CD/DVD	10/100	bg	Win Vista_Bus, SP2	32	\$ 1,400.00	5	2	2013
Parks - Ed	Generic	Desktop	Core 2 Quad	2.50	4.00	130	CD/DVD	10/100/1000		Win Vista_Bus, SP2	64	\$ 950.00	6	5	2016
Parks - Ed	Dell 1600	Notebook	P-4	1.50	1.25	60	CD/DVD	10/100		Win XP-Pro, SP3	32	\$ 950.00	5	0	
DOBS	Asus M50Vm-A1WM	Notebook	Core 2 Duo P8400	2.26	4.00	250	CD/DVD	10/100/1000	agn/WiMax	Win Vista_Bus, SP2	32	\$ 1,400.00	5	2	2013
BusOffice - Roaming	Toshiba Satellite	Notebook	Celeron-m	1.50	1.50	75	CD/DVD	10/100		Win7Pro, SP1	32	\$ 650.00	5	2	2013
BusOffice - AdminAsst	Generic	Desktop	i5-760	2.80	6.00	500	(2) CD/DVD	10/100/1000		Win7Pro, SP1	64	\$ 950.00	6	6	2017
BusOffice - Bookkeeper	Generic	Desktop	Core 2 Duo	2.67	2.00	160	CD/DVD	10/100/1000		Win XP-Pro, SP3	32	\$ 950.00	6	4	2015
BusOffice - RecptDesk1	Generic	Desktop	Core 2 Quad Q8200	2.33	4.00	160	CD/DVD	10/100/1000		Win Vista_Bus, SP2	32	\$ 950.00	6	5	2016
BusOffice - RecptDesk2	Generic	Desktop	i5-750	2.67	4.00	160	CD/DVD	10/100/1000		Win Vista_Bus, SP2	32	\$ 950.00	6	6	2017
BusOffice - RecptDesk3	Dell Deminsion 4700	Desktop	P-4	2.80	1.50	40	CD	10/100		Win XP-Pro, SP3	32	\$ 950.00	6	3	2014
BusOffice - ServerQPD	Generic	Server	Core 2 Duo 6600	2.40	2.00	(4) 160	(2) CD/DVD	10/100/1000		Win Server2003, R2	32	\$ 2,500.00	7	3	2014
BusOffice - QPDserver	Compaq Presario	Server	AMD Sempron3000		1.00	60/80/150USB	CD	10/100		Win Server2000, SP4	32	\$ 2,500.00	N/A		
Executive Director	Asus N61Vg-X1	Notebook	Core 2 Duo T6600	2.20	4.00	320	CD/DVD	10/100/1000	bgn	Win Vista_Bus, SP2	32	\$ 1,400.00	5	4	2015
Emerson Bldg	Cisco - ASA5505	Router						10/100				\$ 1,500.00	10	8	2019
Emerson Bldg	Netgear - GS724T	Switch						10/100/1000				\$ 275.00	N/A		
Emerson Bldg	Netgear - FS116	Switch						10/100				\$ 250.00	N/A		
Emerson Bldg	Netgear - GS605	Switch						10/100/1000				\$ 40.00	N/A		
Emerson Bldg	TrendNet TEW-637AP	Access Point						10/100	begn			\$ 45.00	N/A		
Emerson Bldg - Public	TrendNet TEW-637AP	Access Point						10/100	begn			\$ 45.00	N/A		
Emerson Bldg	HP 4250dn	Printer						10/100				\$ 1,500.00	7	3	2014
Emerson Bldg	HP P2015dn	Printer						10/100				\$ 375.00	7	5	2016
Emerson Bldg	Savin C5050	MFC-Fax/Print/Scan						10/100				\$ 9,800.00	4	2	2013
Emerson Bldg	Fargo HDP5000	Printer - Card						10/100				\$ 2,100.00	8	6	2017
Emerson Bldg	Eltron P310	Printer - Card						Parallel				N/A	8	3	2014
Emerson Bldg	Dell 2200MP	Projector										\$ 1,300.00	16	8	2019
WV - ProShop	Dell PowerEdge SC440	Server	Pentium 4D E7230	2.80	1.00	(1) 80 SCSI	CD/DVD	10/100		Win Server2003, R2,SP2	32	\$ 2,500.00	7	3	2014
WV - ProShop PS1	Dell Dimension E521	Desktop	AMD Athlon 3200+	2.0	4.00	80	CD/DVD	10/100		Win Xp_Home, SP3	32	\$ 950.00	6	1	2012
WV - ProShop PS2	Compac Presario SR1820NX	Desktop	AMD Athlon 3400+	2.0	2.00	160	CD/DVD	10/100		Win XP Pro, SP3	32	\$ 950.00	6	1	2012
WV - Concession	Dell Optiplex 320	Desktop	P-4	3.00	512	80	CD/DVD	10/100		Win XP Pro, SP3	32	\$ 950.00	6	1	2012
WV - Maint (Rick)	Dell Dimension 3100	Desktop	P-4	3.06	512	?	CD/DVD	10/100		Win XP_Home, SP3	32	\$ 950.00	6	1	2012
WV - Maint Irrig Sys	Antec	Desktop	Celeron	2.66	256	80	CD/DVD	10/100		Win XP Pro, SP2	32	\$ 1,200.00	6	4	2015
WV - Director	ASUS	Desktop	Core 2 Duo E6750	2.66	2.00	160	CD/DVD	10/100/1000		Win XP Pro, SP3	32	\$ 950.00	6	4	2015
WV - Assit. Mgr.	ASUS	Desktop	Core 2 Duo E6750	2.66	2.00	160	CD/DVD	10/100/1000		Win XP Pro, SP3	32	\$ 950.00	6	4	2015

**Quincy Park District
2010 IT Assessment**

Description	Brand/Model	Type	Processor	Processor Speed (GHz)	RAM (GBs)	HardDrive (GBs)	Optical Drive	NIC	Wireless 802.11	OS	OS Bit	Replacement Cost	Useful Life	Useful Life Remaining	Year of Replacement
WV	Linksys WRT54GS	Router						10/100				\$ 55.00	N/A		
WV	Linksys WAP54G	Access Point						10/100				\$ 45.00	N/A		
WV	Netgear FS116	Switch						10/100				\$ 250.00	N/A		
WV	Kyocera FS-1128MFP	MFP-Fax/Printer/Scan						10/100				\$ 950.00	7	6	2017
WV	(3)POS Monitor/Drawer	POS						USB				\$ 1,800.00	8	2	2013
WV	HP P2035n	Printer						10/100				\$ 375.00	7	5	2016
WV	(2)Handheld 3800LR-12USBE	Handgun Scanner						USB				\$ 450.00	4	2	2013
WV	Ithaca 610	Receipt Printer						USB				\$ 300.00	4	2	2013
WV	(2) Ithaca 280	Receipt Printer						USB				\$ 600.00	4	1	2012
WV	Eltron P310	Printer-Card						Parallel				\$ 2,100.00	8	1	2012
												\$ 61,085.00			

Summary of Replacement Costs:

2012	\$	6,500	
2013	\$	15,855	
2014	\$	10,250	
2015	\$	6,850	
2016	\$	2,650	\$ 42,105
2017	\$	10,775	
2018	\$	-	
2019	\$	2,800	
	\$	55,680	

Appendix F: Unique Facilities & Assessments

1. QSHA Reports - 2
2. Quinsippi Island Bridge Study
3. Bull House Study
4. Log Cabin Study



Environmental, Health, and Safety Audit Report

Quincy Park District

March 30, 2011

Conducted by: Scott Jeffries

Midwest Compliance Consultants, Inc.

Quincy Park EH&S Audit Report

Building #1

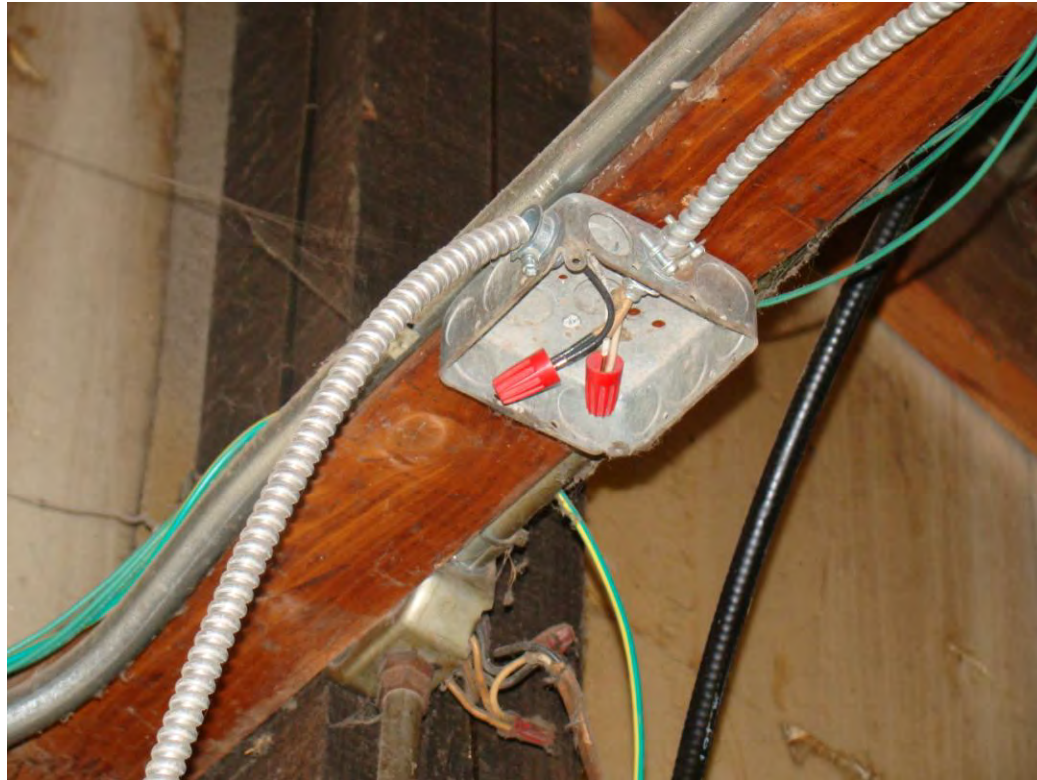
Quincy Park EH&S Audit Report



Extension cord used as permanent wiring

OSHA Standard Subpart S Electrical 1910.305, wiring methods, components and equipment for general use.

Quincy Park EH&S Audit Report



Electrical Boxes had missing covers

OSHA Standard Subpart S Electrical 1910.305 (b) Cabinets, boxes or fittings

Quincy Park EH&S Audit Report



Electrical Boxes had missing covers

OSHA Standard Subpart S Electrical 1910.305 (b) Cabinets, boxes or fittings

Quincy Park EH&S Audit Report



Cover missing on electrical box

OSHA Standard Subpart S Electrical 1910.305 (b) Cabinet, boxes, or fittings.

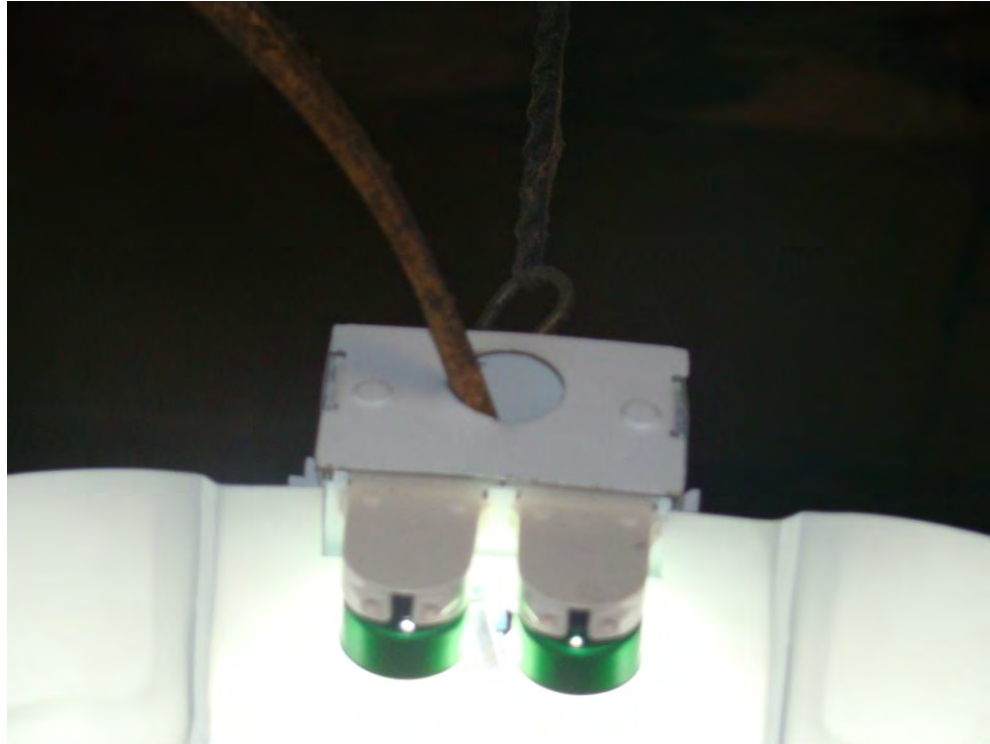
Quincy Park EH&S Audit Report



Romex coming out of conduit

National Electrical Codes (NEC) 334.10 non metallic sheathed cable, type NM, (romex) is only allowed in dwelling units, 1 and 2 family, and their attached garages and their storage units.

Quincy Park EH&S Audit Report



Romex going directly into lighting fixture

National Electrical Codes NEC 334.10 non metallic sheathed cable, type NM, (romex) is only allowed in dwelling units, 1 and 2 family, and their attached garages and their storage units.

Quincy Park EH&S Audit Report



Romex wiring throughout building mainly for lighting

National Electrical Codes NEC 334.10 non metallic sheathed cable, type NM, (romex) is only allowed in dwelling units, 1and 2 family, and their attached garages and their storage units.

Quincy Park EH&S Audit Report



Latch missing on electrical main building panel

OSHA Standard Subpart S 1910.305 (b) Electrical

Quincy Park EH&S Audit Report



Electrical wiring unprotected running through steel siding in Tractor building.

1910.305 Wiring methods and components and equipment for general use

Quincy Park EH&S Audit Report



Romex wiring of light passing through steel siding

National Electrical Codes NEC 334.10 non metallic sheathed cable, type NM, (romex) is only allowed in dwelling units, 1 and 2 family, and their attached garages and their storage units.

Quincy Park EH&S Audit Report



Close-up photo of previous violation.

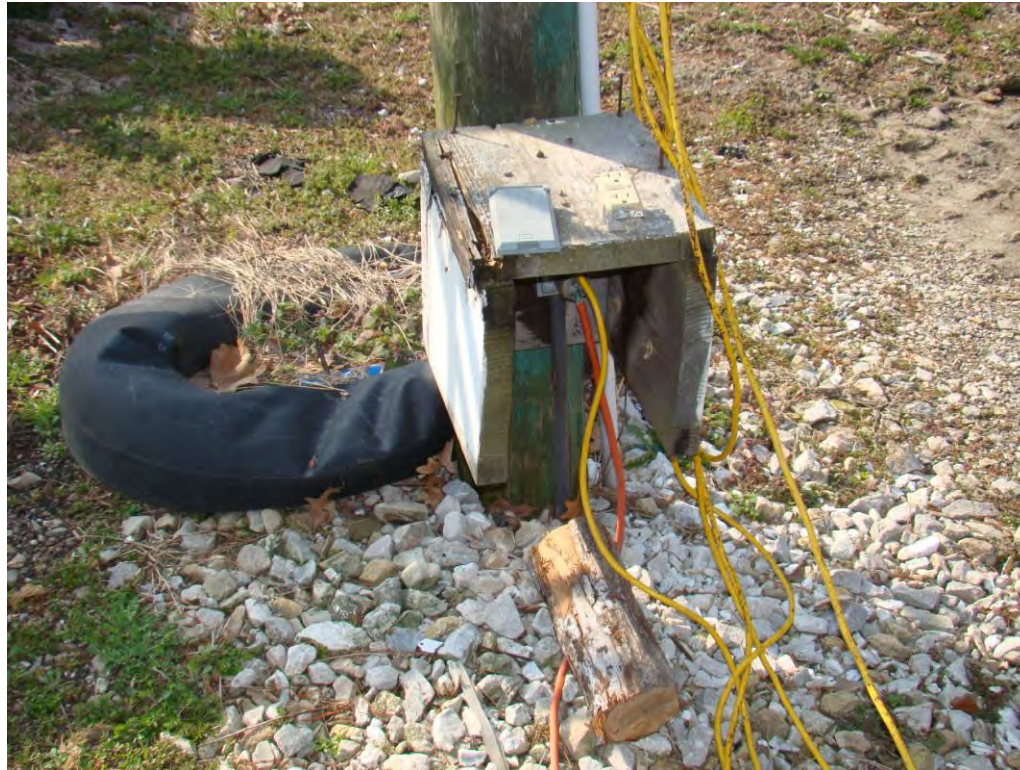
Quincy Park EH&S Audit Report



Outside receptacles without GFCI protection

OSHA Standard 1910.304 Subpart S Electrical (f) over current protection for outdoors.

Quincy Park EH&S Audit Report



Outside receptacles without GFCI protection

OSHA Standard 1910.304 Subpart S Electrical (f) over current protection for outdoors.

Quincy Park EH&S Audit Report



MSDS Book Outdated and incomplete

OSHA standard 1910.1200 Hazard Communication (4) (ii)

Quincy Park EH&S Audit Report



First Aid Kit very old and missing many items; not inspected

OSHA Standard 1910.151 Subpart K Medical and First Aid (b)

Quincy Park EH&S Audit Report



**Missing signs for load capacity of load bearing
Messene area**

OSHA Standard Hazardous Materials Subpart H Hazardous Materials
1910.106 (d) (4) (i)

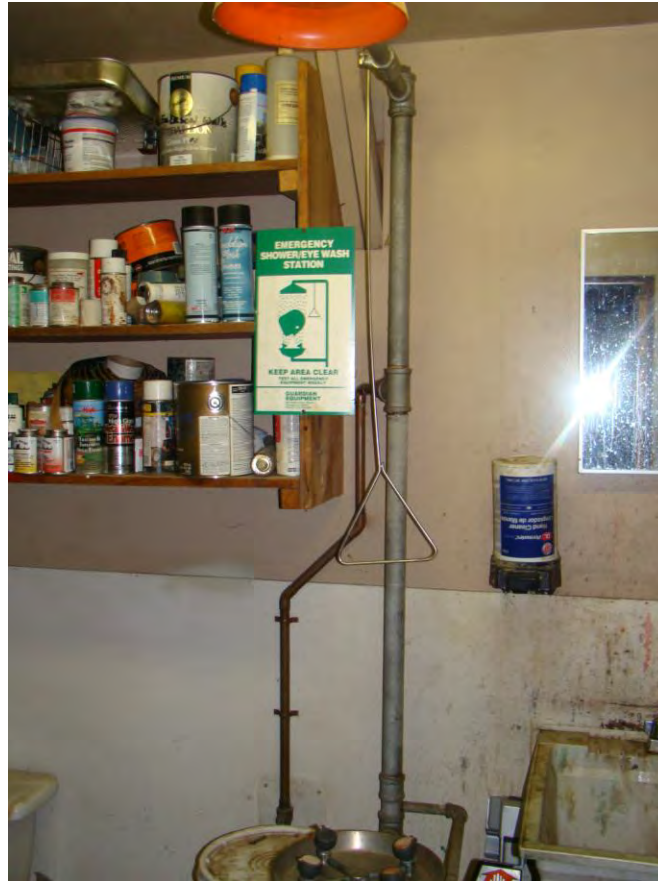
Quincy Park EH&S Audit Report



**Photo of many different types of paint and spray paint
all flammable should be in cabinet not in a bath room**

OSHA Standard Subpart H Hazardous Material 1910.107 (d) (1)
Storage of containers

Quincy Park EH&S Audit Report



Emergency shower not inspected

OSHA Standard 1910.151 © Subpart K Medical services and first aid

Quincy Park EH&S Audit Report



Bench grinder tool rest too far away from wheel work rest

OSHA Standard 1910.216 Subpart O Machinery and Machine Guarding

Quincy Park EH&S Audit Report



Safety catch missing on chain come-a-long

OSHA Standard 1910.184 Slings Subpart N Material Handling and Storage

Quincy Park EH&S Audit Report



Two bottles of acetylene can not be stored together

OSHA Standard 1910.253 Subpart Q (2) storage of cylinders.

Quincy Park EH&S Audit Report



Check drum storage standard 5 drums of oil stored together

OSHA Standard 1910.106 (d) (4) (v) Subpart Flammable and Combustible liquids paragraph

Quincy Park EH&S Audit Report



Misc. Drum full of unknown product no labels or markings, also unprotected from spills

1910.1200 Subpart Hazard Communication all chemicals containers must be labeled.

Quincy Park EH&S Audit Report



2 LP tanks with no labeling or markings

OSHA Standard 1910.110 (b) (5) Subpart H Storage and handling of liquefied petroleum gases

Quincy Park EH&S Audit Report



Waste Oil that has no marking or labeling and no containment

OSHA Standard 1910.1200 Subpart Hazard Communications

Quincy Park EH&S Audit Report



Double walled Gasoline and Diesel Fuel above ground storage tanks have missing labeling or markings.

Follow the guide lines set forth in the OSHA Standard 1910.106 (b) Subpart H Hazardous Materials Flammable and combustible liquids Tank Storage.

Quincy Park EH&S Audit Report



Unmarked LP above ground tank

OSHA Standard 1900.110 (b) (5) Subpart H Storage and handling of liquefied petroleum gases

Quincy Park EH&S Audit Report



LP tank has 40 foot of copper line unprotected on the ground into building

OSHA Standard 1910.110 (b) (8) Subpart H Hazardous Materials
piping, tubing and fittings

Quincy Park EH&S Audit Report

Building #2

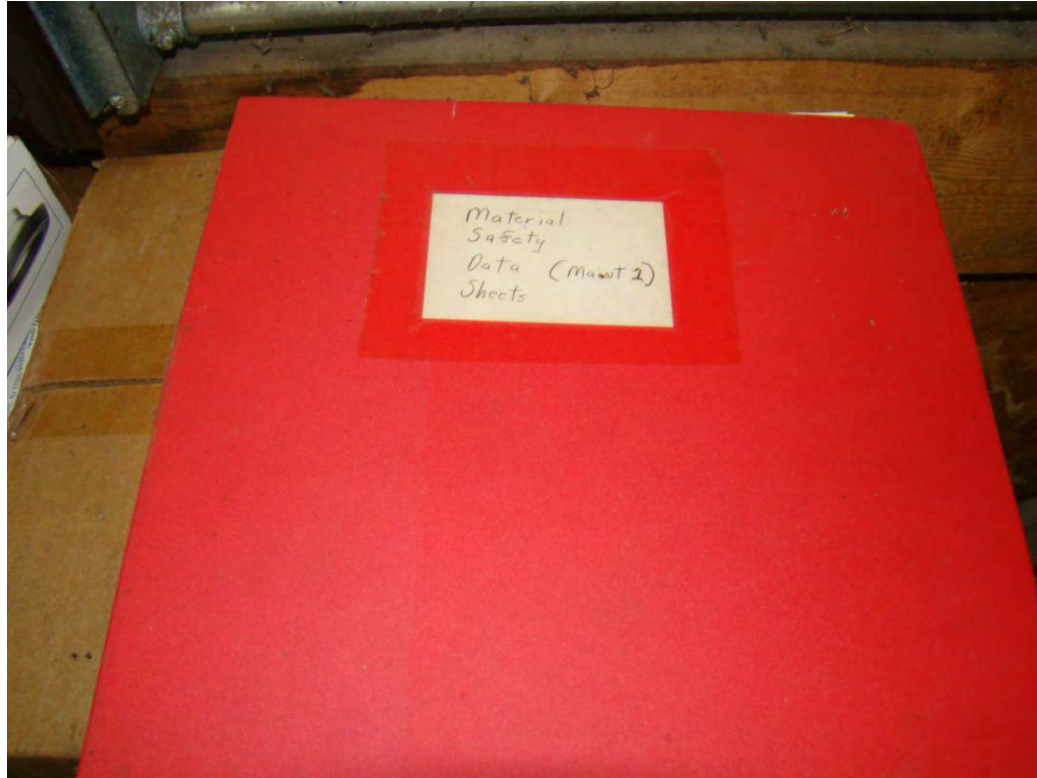
Quincy Park EH&S Audit Report



Posters out dated

OSHA Standard 1903.2 Posting of Notice

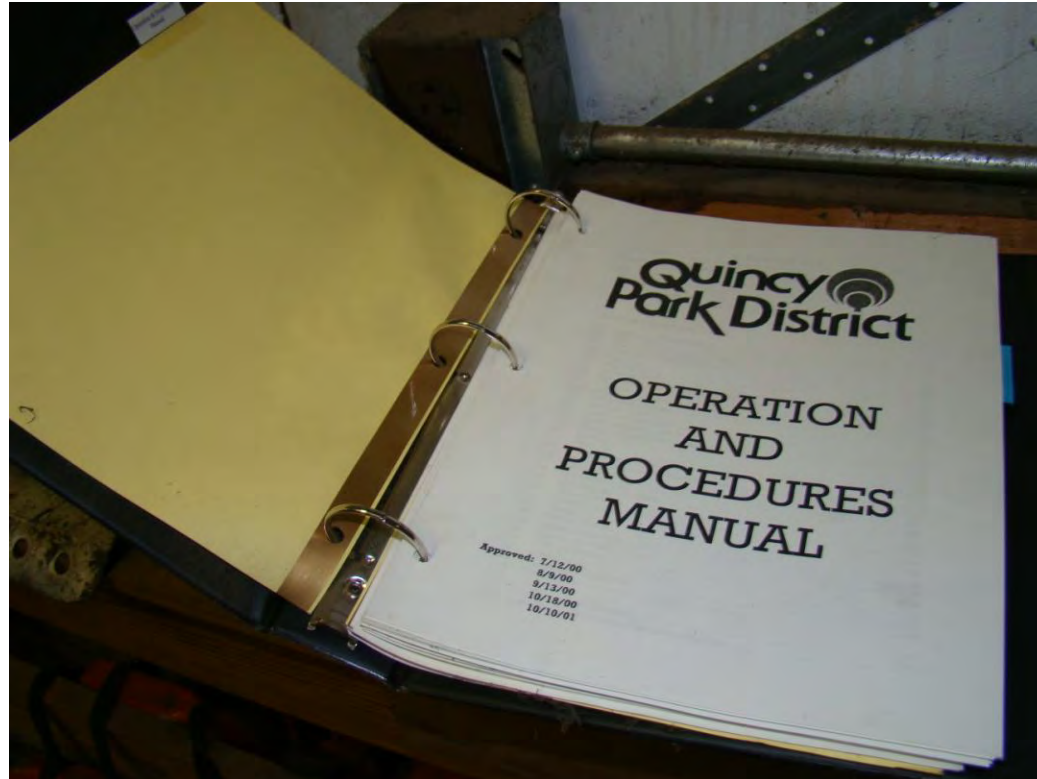
Quincy Park EH&S Audit Report



MSDS Book Out dated and not organized properly

OSHA Standard 1910.1200 Hazard Communication (4) (ii)

Quincy Park EH&S Audit Report



Safety Manual outdated should be reviewed annually

Quincy Park EH&S Audit Report



Emergency Shower not inspected

OSHA Standard 1910.151 Subpart K Medical services and First Aid

Quincy Park EH&S Audit Report



Bench Grinder Rest should be 1/8" from wheel not 1/4"
OSHA Standard 1910.219 Subpart O Machinery and Machine Guarding.

Quincy Park EH&S Audit Report



Close up of previous photo of Bench Grinder Rest

Quincy Park EH&S Audit Report



Unmarked 55 gallon steel drum

OSHA Standard 1910.1200 Subpart Z

Quincy Park EH&S Audit Report



Unmarked fuel container

OSHA Standard 1910.1200 Subpart Z

Quincy Park EH&S Audit Report



NFPA label missing on New Gasoline Fuel Above ground tank

OSHA Standard 1910.106 (b) Subpart H Hazardous Materials
flammable and combustible Tank Storage

Quincy Park EH&S Audit Report



NFPA label missing on New Diesel Fuel above ground tank

OSHA Standard 1910.106 (b) Subpart H Hazardous Materials
flammable and combustible Tank Storage

Quincy Park EH&S Audit Report



Outlet covers missing around the outside of the building

OSHA Standard 1910.303 Subpart S Electrical (h) (2) (v) & 1910.304 (b) (4) (iii)

Quincy Park EH&S Audit Report



Outside electrical outlet missing cover

OSHA Standard 1910.303 Subpart S Electrical (h) (2) (v) & 1910.304 (b) (4) (iii)

Quincy Park EH&S Audit Report



Outside electrical outlet missing cover

OSHA Standard 1910.303 Subpart S Electrical (h) (2) (v) & 1910.304
(b) (4) (iii)

Quincy Park EH&S Audit Report

Building #3

Quincy Park EH&S Audit Report



Open electrical box exposed wiring

OSHA Standard Subpart S electrical 1910.305 (b) Cabinets, boxes and fittings

Quincy Park EH&S Audit Report



Extension cords used and permanent wiring

OSHA Standard Subpart S Electrical 1910.305, wiring methods, components and equipment for general use.

Quincy Park EH&S Audit Report



Extension cords used and permanent wiring

OSHA Standard Subpart S Electrical 1910.305, wiring methods, components and equipment for general use.

Quincy Park EH&S Audit Report



**Romex wiring going into box with no support fitting
and romex can not be used in industrial buildings**

National Electrical Code (NEC) 334.10 non metallic sheathed cable, type NM, romex is only allowed in dwelling units, 1 and 2 family, and their attached garages and their storage units.

Quincy Park EH&S Audit Report



Romex running into main electrical box North East wall

National Electrical Code (NEC) 334.10 non metallic sheathed cable, type NM, romex is only allowed in dwelling units, 1 and 2 family, and their attached garages and their storage units.

Quincy Park EH&S Audit Report



Chemical not stored in flammable cabinets

OSHA Standard Subpart H Hazardous Material 1910.107 (d) (1)
Storage of containers

Quincy Park EH&S Audit Report



Unmarked plastic container of chemicals and storage of containers

OSHA Standard Subpart Z Toxic and Hazardous Substances Hazard Communication

Quincy Park EH&S Audit Report



Paint not stored properly under stairs

OSHA Standard H Hazardous Material 1910.107 (d) (1) Storage of Containers

Quincy Park EH&S Audit Report



Bench Grinder Rest should be 1/8" from wheel not 1/4"
OSHA Standard Subpart O Machinery 1910.215 (a) (4)

Quincy Park EH&S Audit Report



MSDS Book out dated and not organized properly
OSHA Standard 1910.1200 Hazard Communication

Quincy Park EH&S Audit Report



Safety Manual outdated should be reviewed annually

Quincy Park EH&S Audit Report



Unmarked weight of capacity of mezzanine

OSHA Standard Subpart H 1910.106 (d) (4) (i)

Quincy Park EH&S Audit Report



Leaking water valve for eye wash station

OSHA Standard Subpart K 1910.151

Quincy Park District

Facility Safety Assessment 2011

Prepared by:
Grey & Associates
tom.grey@greyandassociates.com
www.greyandassociates.com

Quincy Park District Facility Safety Audit

EXECUTIVE SUMMARY

This report provides the results of safety audit of designated Quincy Park District facilities in Quincy, Illinois. This audit was performed by, Tom Grey, Grey & Associates. The survey consisted of facility compliance as it applies to National Electrical Codes, National Fire Protection Association Standards and Occupation Safety and Health Administration Standards. When referring to this report, please refer to Corporate Safety Request Number 063111.

Quincy Park District Facility Safety Audit

AN OVERVIEW OF CONSULTATION ACTIVITIES

The opening conference was held with Ed Seger at the QPD main office in Quincy, Illinois. The purpose of the safety survey is to discuss and to reiterate the steps and procedures needed to complete a thorough audit of the designated facilities.

A day assessment of the golf facilities and maintenance facilities has given us an opportunity to identify areas for improvements. The information and recommendations of this audit should help your company achieve the next level of safety excellence.

Quincy Park District Facility Safety Audit

Areas of Concern

Electrical

The audit revealed that there is a critical safety concern in the area of electrical installation at all the facilities inspected. QPD will want to put a long term and short term plan together that addresses the improvements needed. Some of the electrical concerns listed and pictured in our presentation have been causes of major business fires and electrical injuries in the United States.

Types of electrical issues cited in audit:

- Missing/open knockouts on electrical boxes
- Breaker boxes missing breaker labels and Arc Flash labeling
- Improper use of Romax – exposed and should be protected in conduit
- Repaired electrical wiring with electrical tape
- Breaker boxes with missing/open breakers
- By-passing grounding
- Exposed wiring
- Outdoor outlets missing cover plates
- Breaker panels blocked – should have a 3ft clearance for access.
- Extension cords used permanently instead of temporary
- Frayed cords

Fire Extinguishers

Most of the fire extinguishers were compliant. Listed below are some areas for improvement. QPD should place employees that are assigned to certain buildings the responsibility of completing the monthly inspections of fire extinguishers.

- Missing monthly inspection
- Blocked extinguishers
- Extinguishers not mounted – placed on the floor
- Out dated annual inspection

Emergency Exits

All emergency exits should be marked with appropriate lit signage. These signs need to be placed above all exit doors. The Golf Pro Shop facility is missing signage (refer to pictures attached)

Emergency exits cannot be blocked at any time. (even in the overhead door next to the exit is opened)

Quincy Park District Facility Safety Audit

Flammable Materials/Cabinets

All flammable materials (such as gas) need to be stored in metal containers, indoors and in storage cabinets especially where welding, cutting and grinding are taking place. The flammable cabinets should have nothing stored on top of the cabinets. All cylinders including welding cylinders will need to be secured from falling, not placed next to emergency exits and in areas where moving machinery cannot come in contact with cylinders.

When storing welding cylinders the oxygen and flammable cylinders need to be placed at least 20ft apart or stored together with a 30min rated fire wall in between cylinders.

Ladders

All ladders should be nonconductive ladders. When purchasing ladders, look for industrial type ladders that hold the highest load capacity for your workers.

Above office storage and mezzanines

Areas where offices and second level mezzanines have stored materials must be marked with load limit capacities. This is to ensure the possibility of overloading.

Machine Guarding

The most frequent machine guarding violation at QPD is the bench grinders in the shop areas. All grinders need to have tongue guards (1/4 inch from the wheel) and the work rest needs to be (1/8 inch away from the wheel). All table bench equipment needs to be mounted to keep tool from walking while in use.

Housekeeping

There are a lot of combustible materials inside and outside of the buildings that were inspected. This type of clutter can create fire hazards and trip hazards. Our recommendation is to have a monthly purge to maintain the level accepted housekeeping in all facilities.

Recommendations

We recommend the QPD put a plan in place to address all concerns. It would be a good idea to address the "low hanging fruit" (the easiest stuff) first. These smaller steps will help the staff see that things are getting done and be viewed as accomplishments. The success of completing the smaller items will help build a systematic approach when comes to completing the larger more difficult task.

Quincy Park District Facility Safety Audit

Slide #	Picture	Facility
1		Golf Buildings
2	TL	Housekeeping/Combustible materials
	TR	Housekeeping/insect breeding ground
	BL	Chemical placed outside
	BR	Cabinet is marked "Flammable", cabinet place outside, should be inside and secured. This not a true storage cabinet – this is an office storage cabinet.
3	TL	Fuel tank needs new NFPA placard
	BR	Fuel tank has grounding wire attached to the tank but is just wrapped around a pole and is not grounding the tank
4	TL	Debris around building creating a fire and insect hazard
	BR	Electrical transformer needs to be cleared for access and heat dissipation
5	TL	All ladders should be nonconductive
	TR	Good use of the flammable cabinet. Remember to store up to maximum of 60 gallons of flammable materials in one cabinet
	BL	Flammable cabinets are not designed for storage on top of cabinet
	BR	Gas cans let outside of storage cabinet
6	TL	All electrical panels need arc flash warning signs and all breakers need to be marked to identify its use
	TR	No exit sign above exit door
	BL	Wrong label on chemical container
7		Maintenance Building at Golf Course
8	TL	Open electrical box
	TR	Romax wiring used improperly
	BL	Electrical tape on electrical cord as a repair
	BR	Broken electrical on/off cover plate - romax
9	TL	Romax – exposed wiring – open knockout
	TR	Romax – open knockout
	BL	Romax – open knockout
	BR	Same at a distance
10	TL	Open breaker slots – no breaker labeling
	TR	Bypass of grounding
	BL	Broken outlet
	BR	Exposed wiring

Quincy Park District Facility Safety Audit

11	TL	Exposed wiring
	TR	Plugs taped together
	BL	Plugs taped together
	BR	Wrong use of romax
12	TL	Romax into outlet with no wiring protection
	TR	Two different types of amperage cords spliced together and taped
	BL	Open knockout
	BR	Exposed wiring
13	TL	Romax into electrical box
	TR	Extension cord used as permanent wiring
	BL	romax
	BR	romax
14	TL	Burnt ground fault plug
	TR	Good outlet outside of building
	BL	Metal wiring close to exposed plugs in golf cart shed
		Golf Cart Building
	BR	Missing cover on outlet
15	TL	Broken light fixture
	TR	No electrical panel marking
	BL	Electrical panels blocked
16	TL	Missing tongue guard
	TR	Missing guard
	BL	Missing guard
	BR	Drill needs to be mounted to keep from walking while in use
17	TL	Need a better place for battery storage
	TR	Crane will an annual certified inspection
	BL	Combustible item in grinding and welding area
	BR	Good job at keeping vehicle hoist inspected
18	TL	Need a better storage system to keep from creating trip hazards, fire hazards and housekeeping issues
	TR	Need load limit on top of office or items will be stored in this area
	BL	Metal ladder
	BR	No monthly inspection of fire extinguishers
19	TL	FE sitting on floor and should be mounted
	TR	No exit sign
	BL	Need to check all chemicals for MSDS
	BR	Cabinet not marked as flammable and is wrong type of cabinet
20	TL	Eyewash station needs to be inspected every month. This is in the chemical shed

Quincy Park District Facility Safety Audit

21		Pro Shop
22	TL	No exit sign
	TR	Doors not marked to indicate usage
	BL	No exit sign
	BR	No exit sign
23	TL	No hand rail
	TR	Expired extinguisher
	BL	Blocked extinguisher
	BR	Compressed cylinder no secured from tipping
24	TL	Good GFCI outlet
	TR	Missing cover on outlet
	BL	Breaker panel missing breaker covers
	BR	Extension cord use as permanent wiring
25	TL	Missing cover for outlet
	TR	Electrical box not secured
	BL	Cylinders not secured
	BR	Plug not plugged in completely – exposed hot connection
26		Maintenance Shed
27	TL	Frayed cord
	TR	Frayed cord
	BL	Frayed cord
	BR	Electrical cord tied in knot – used to pull down light
28	TL	Missing breaker labels
	TR	Combo conduit and romax to wire
	BL	Wiring goes through hole in wall – not protected
	BR	Missing knockouts
29	TL	No protective sheath on light
	TR	Frayed cord
	BL	Power strip plug into power strip
	BR	Poor electrical wiring on outside of building
30	TL	Poor mid rail on lift cage – no chains for protection
	TR	Faded marking on tanks
	BL	O2 and acetylene store within 20ft to each other
	BR	O2 and acetylene store within 20ft to each other
31	TL	Guard wrong distance from wheel
	TR	Safety latch broke on lift hook
	BL	Poor battery storage
	BR	Should be no storage on flammable cabinets
32	TL	No load limit above office

Quincy Park District Facility Safety Audit

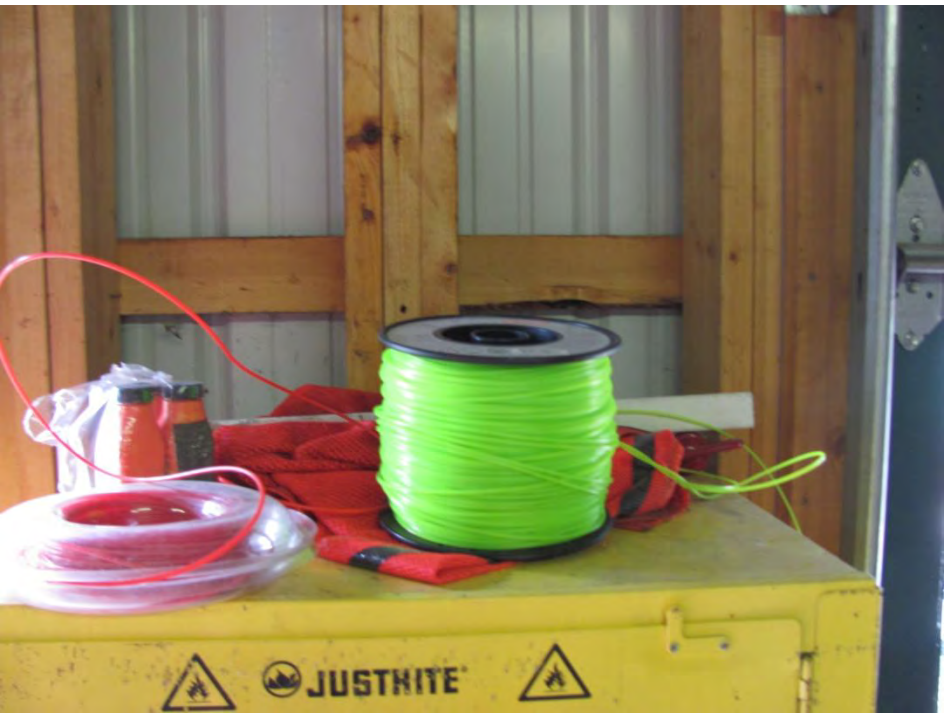
	TR	Flammables outside of flammable cabinet
	BL	Metal ladder
	BR	House keeping
33	TL	Space heater usage – need policy for usage and correct heaters to prevent fires
	TR	Same
	BL	No exit sign
	BR	Gas can left outside
34	TL	Housekeeping
	BR	same
35		Wavering Park Building
36	TL	Temporary light being used as permanent light
	TR	Improper type of extension coed for workplace – house hold type
	BL	Romax
	BR	romax
37	TL	Overload of outlet
	TR	Romax – no protection
	BL	Romax wiring to equipment
	BR	Missing guards
38	TL	Load limit
	TR	Poor chemical storage
	BL	User friendly container with chemical
	BR	No marking on container
39	C	No grounding
40		Maintenance Building
41	TL	Missing cover
	TR	Missing cover
	BL	No GFCI near sink outlet
	BR	Missing markings
42	TL	No plug adapters
	TR	FE on floor
	BL	Extension cord used on permanent basis
	BR	Missing guards and shields









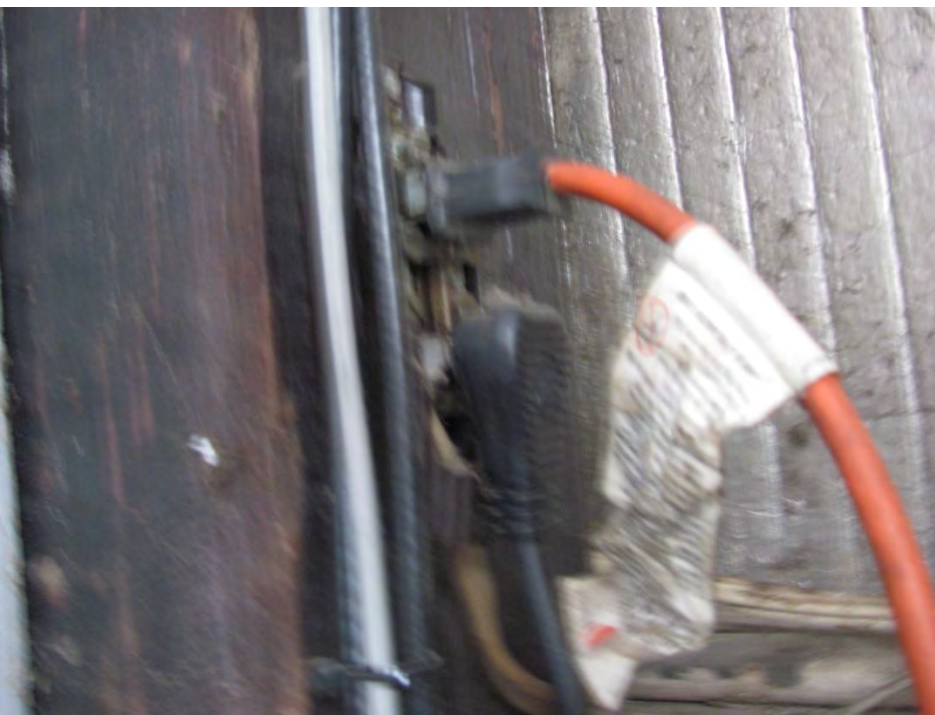


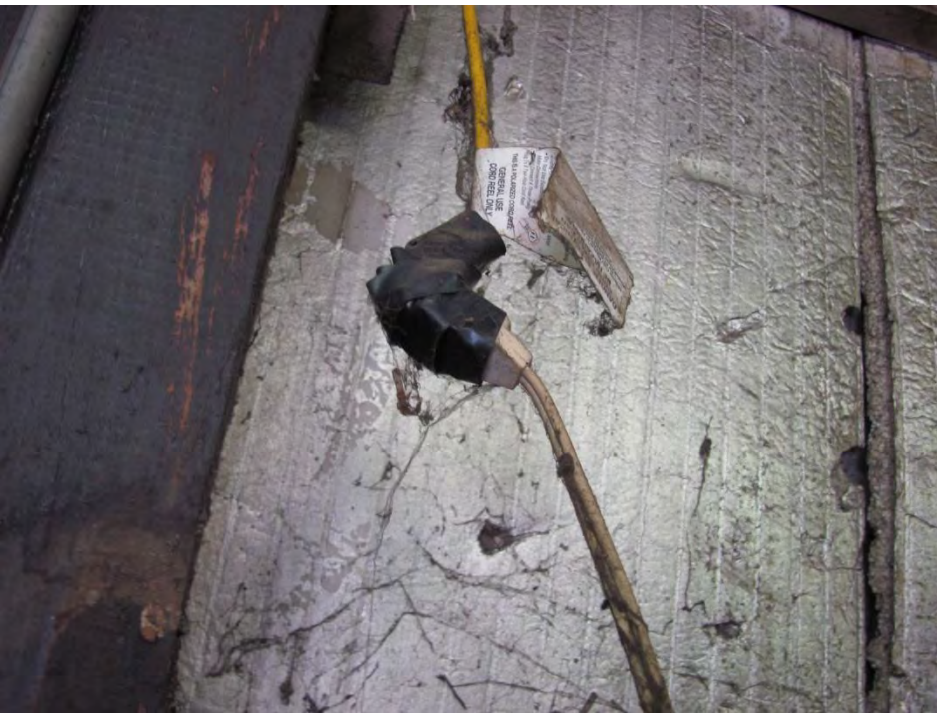










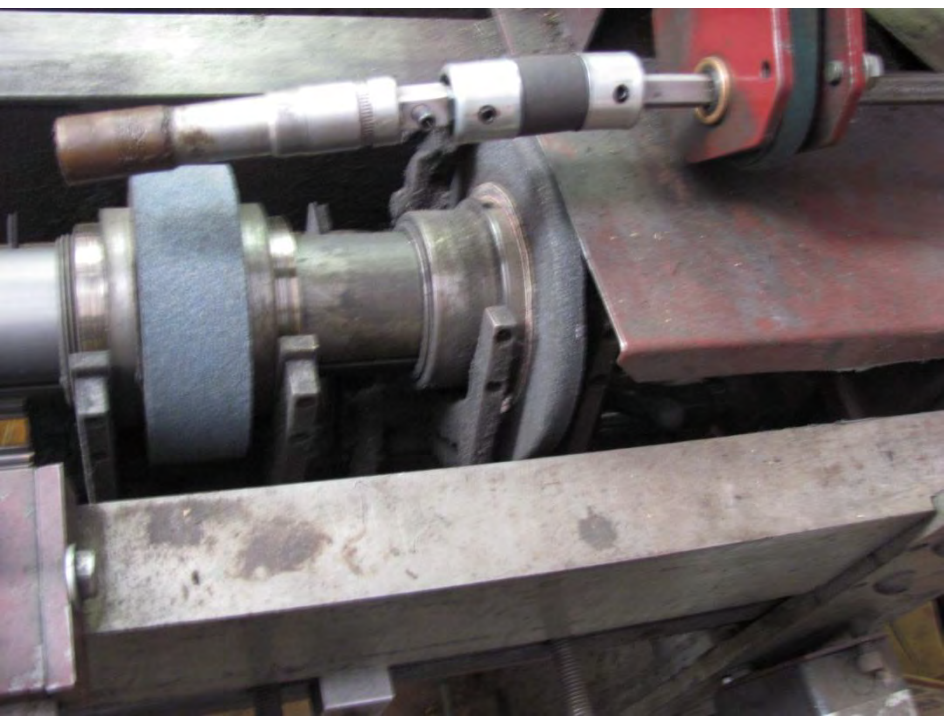
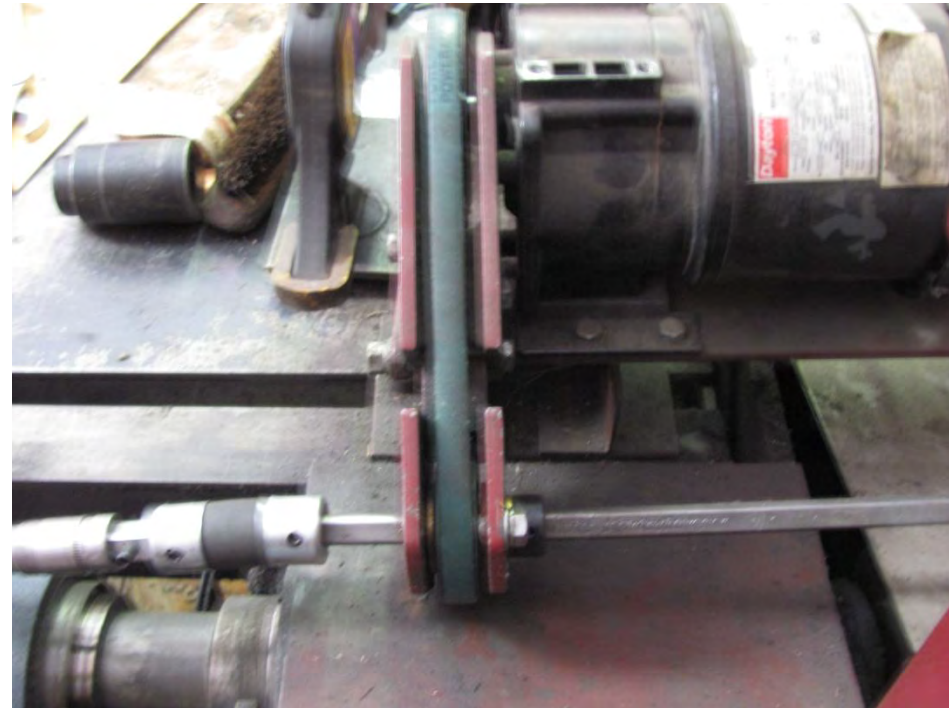




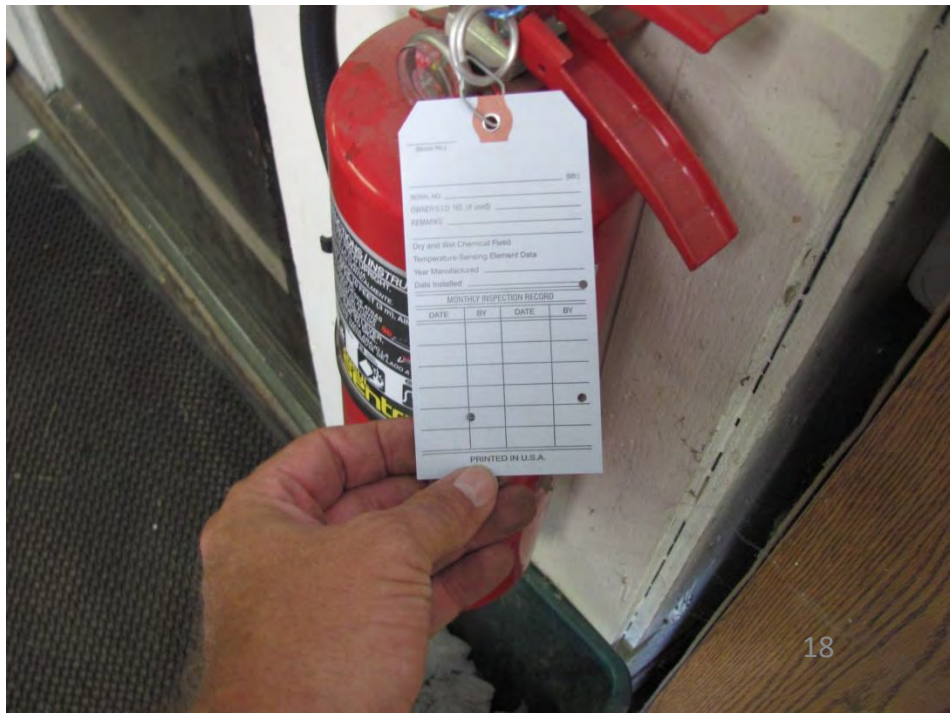


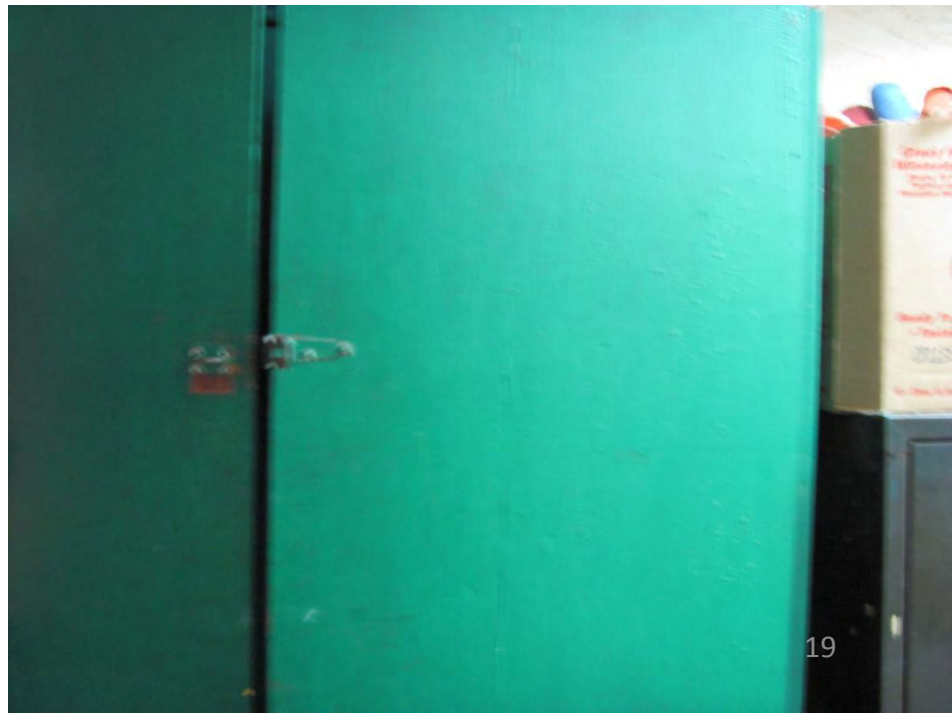






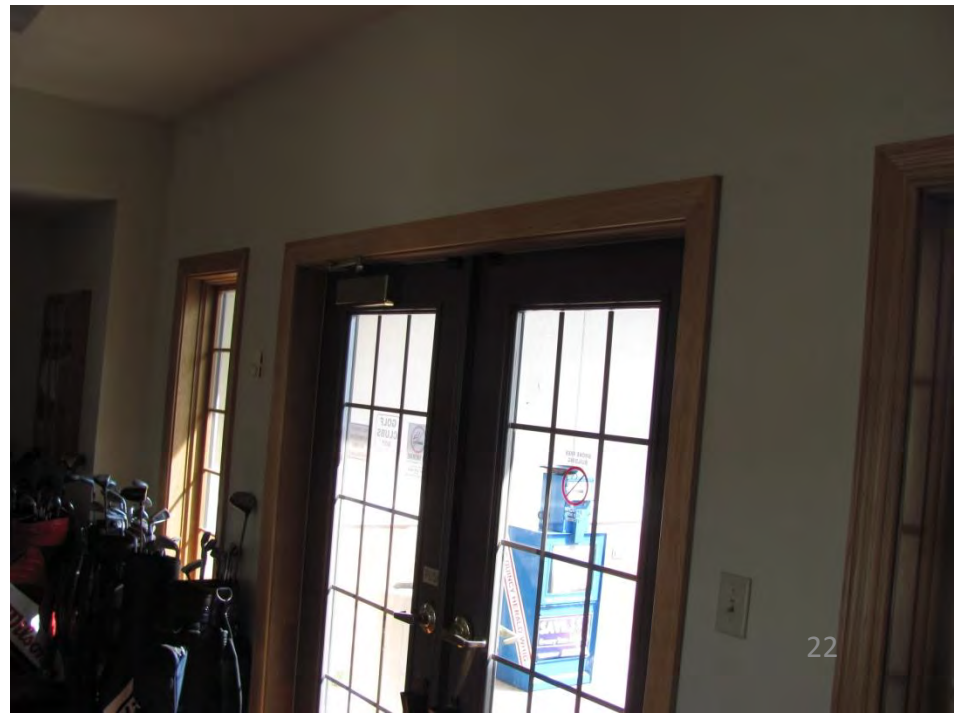






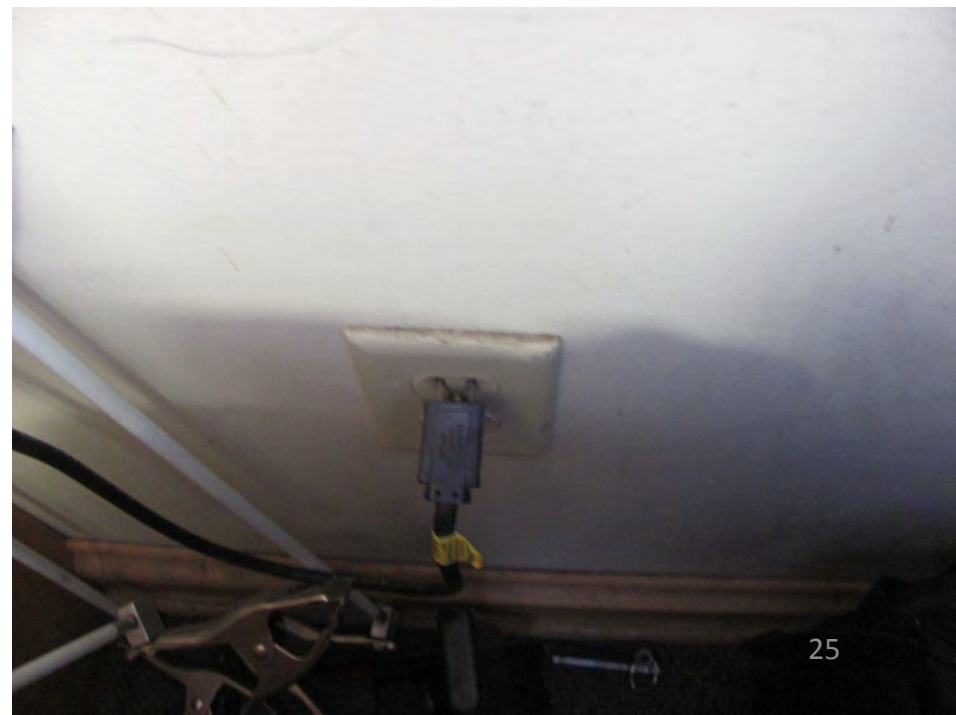














































Bridge Inspection Report



QUINSIPPI ISLAND BRIDGE

Quinsippi Island Road over Quincy Bay
Quincy, Illinois

Prepared For:

Quincy Park District

Prepared By:

Klingner & Associates, P.C.
616 N. 24th Street
Quincy, IL 62301

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1. Introduction	2
2. Bridge Description and History	2
3. Inspection Procedures	2
4. Inspection Results	3
5. Geometric Requirements	7
6. Bridge Load Rating	7
7. Conclusions	8
8. Recommendations	9

APPENDIX

Bridge Photos

General Plan and Elevation

Bridge Inspection Forms

Bridge Rating

Underwater Inspection Report (Provided by Mainstream Commercial Divers)

1. INTRODUCTION

The Quinsippi Island Bridge is located at the west edge of Quincy off of Bonansinga Drive. The structure carries Quinsippi Island Road over Quincy Bay to Quinsippi Island. The structure was inspected on June 23rd and 24th, 2009. Weather conditions were sunny with a temperature of 97 degrees. The site was revisited on August 6, 2009 in order to determine the condition of the abutments as they were not accessible during the June inspection due to high water. Weather conditions were sunny with a temperature of 80 degrees.

2. BRIDGE DESCRIPTION AND HISTORY

The Quinsippi Island Bridge is a one-lane, six span riveted steel plate girder bridge with a timber tie and concrete deck. There is a pedestrian lane on both sides of the bridge for pedestrian traffic. The back-to-back abutment length is 610.6 feet and there is no skew. Guardrail lines both sides of the vehicular traffic lane and there is pedestrian railing at the outside of the pedestrian lanes. The width of the traffic lane is 9'-9 1/2" and the pedestrian lanes are 3'-10" wide. The total out-to-out deck width measures 19'-9 1/2". There is a six inch concrete slab on top of twelve inch timber ties for a total deck thickness of 18". The original plans included five masonry piers and two masonry arch abutments. In the 1950's four timber lagging piers were added to the mid-span of the four outer spans. It is believed that the timber lagging piers were to be temporary even though they remain, however, most of them do not bear with the steel girders. There is no nameplate for the bridge since it was originally constructed by a railroad. Construction of the bridge was finished in 1868 and there is no information on the type of loading the bridge was designed for.

3. INSPECTION PROCEDURES

The field inspection was performed by a certified inspector and consisted of a complete visual inspection all bridge components above the surface of the water. The bridge dimensions were recorded and any deficiencies were noted.

The underwater inspection was performed by Mainstream Commercial Divers and consisted of a Level I underwater inspection by qualified diving inspectors. A separate report has been provided for the underwater inspection.

4. INSPECTION RESULTS

Approach Roadway:

The approach roadway is on a tangent alignment at the west end of the bridge and there is a slight curve to the north just past the east end of the deck. There is a level vertical profile across the bridge and approaches. The posted speed limit at the end of the bridge is 15 mph. The roadway consists of a bituminous surface and is in fair condition at the east end. There are many potholes and patches at this location. The west end approach roadway is in good condition with only minor surface cracking.

The approach roadway ramps for the pedestrian lanes at the west end of the bridge are not level. This condition can potentially create a hazard for pedestrians walking or riding a bicycle.

Superstructure:

The superstructure is in fair condition.

Deck: The concrete deck above the timber ties is in fair to poor condition. There are many longitudinal and transverse cracks across the entire surface of the deck. There is one area near the west end of the deck that has had full depth concrete replacement. Near the center of the bridge there is an approximately six inch diameter hole through the concrete. Drainage from the deck appears to run to the center of the traffic lane and then through any cracks in the concrete. Instead of a usual crown in a bridge deck at the center, it appears the center of the deck is the low point. After drainage makes its way through the deck, it saturates the timber ties and structural steel below. The timber ties are in fair condition and many of them are moldy from the constant presence of moisture. Approximately 10 – 15 % of the ties have hollowed out areas in the center which is visible from the ends. Since the ties are spaced so close together it does not severely affect the structural integrity.

The checkered plating used as a surface for the pedestrian lanes is in fair condition. The plating has been flame cut and welded in many locations along the south pedestrian lane. It appears that these sections have been cut in order to provide maintenance to the water line that runs directly below. Some of the welds connecting one plate to another have fractured.

Girders and Bearings: The steel is in overall fair condition. In each span there is minor surface rust and pitting. The additional ½" plate at the top flange of the girders is severely corroded and pack rusted. Nearly the entire depth of the plate along the length of the bridge is delaminated. This has been caused by the deck draining onto the ties and then onto the girders. Any strength that the plates may have provided has been ignored in the rating calculations. It appears the girders may have been painted some time ago, but there is essentially none left. The bridge is a two-girder, non-redundant structure which means that it is classified as fracture-critical. The additional deficiencies noted in each span are as described below. See the General Plan and Elevation sheet in the Appendix for the span arrangements.

Span 1: The steel bearings at the west abutment are in good condition with only minor surface rusting. The steel bearings at pier 1 have moderate surface rust and pack rusting. They are in overall fair condition.

Span 2: The steel bearings at pier 2 have very minor surface rust and no significant pack rusting. They are in overall satisfactory condition.

Span 3: Along with the ½" plate at the top flange, the splices at the top of the girder are severely pack rusted. All rivets are still intact and it appears the splices are still serving their intended function.

The bottom flange has been constructed with a channel section with the legs turned up. Even though a bituminous material has been placed to fill up the channel, water is still allowed to collect at the bottom flange, causing severe damage to the rivet heads. An approximately four-foot length near the east end of the north girder has no tar where the rivets can be observed. It is conservatively assumed that the unseen rivets in this span are also in poor condition. The rivets appear to be fully intact between connecting members, however, this poor detailing during the design and construction of the bridge needs to be addressed in order to halt any further damage.

The webs of the girders are in fair condition with minor pack rusting between the web and angles at the top and bottom flange. This condition does not appear to be affecting the strength of the member at this time.

Span 4: Along with the ½" plate at the top flange, the splices at the top of the girder are severely pack rusted. All rivets are still intact and it appears the splices are still serving their intended function.

The bottom flange has the same detail as span 3 with the channel legs turned up. There is no bituminous material in the channels, exposing the rivets. Almost all of the rivets at the bottom flange are deteriorated, and some of the rivet heads are nearly gone. All of the rivets remain intact between connecting members, but the detailing needs to be addressed.

The web of both girders near the first splice (west end) is in poor condition with severe pack rusting at the bottom flange. There is significant delamination of the web steel and several locations where the web has rusted all the way through, leaving small holes. The web is in fair condition for the remaining length of the beam.

The steel bearings at pier 4 are in good condition with only minor surface rusting.

Span 5: The steel roller bearings at pier 5 have moderate pack rusting and delamination. This may contribute to the structure not expanding properly, but does not appear to be causing any significant problems at this time.

Span 6: The steel bearings at the east abutment are in good condition with only minor surface rusting.

Substructure:

The substructure is in fair condition.

Abutments: The abutments are in fair condition. The faces of both abutments are in good condition. There is delamination of the masonry between the bearings, but everything under the bearings is solid. Vertical cracks are typical along the mortar joints of both abutments. There is a large vertical crack on the north and south sides of the east abutment that extends all the way down the sides. This crack is located in joints and through some of the stones as well. This has likely been caused by settlement over the long life of the structure and is does not appear to be a serious problem. There is no noticeable settlement at the west abutment. The concrete arches at both abutments are in satisfactory

condition with hairline cracks, leaching with efflorescence, and some minor spalls.

Piers: The piers are in fair condition. The original construction of the bridge included five masonry piers and rehabilitation in the 1950's included adding four timber lagging piers. The timber piers are believed to have been used for temporary shoring, but have been left in place. They are all in very poor condition and the one under span 1 has fire damage. Due to most of the timber lagging piers having no bearing, they are not considered part of the bridge. Even at the locations where there is bearing, it is not fully bearing and eliminating the timber piers from the bridge rating analysis will yield more conservative results.

At each pier there are vertical cracks in the mortar joints and delamination of the stone, particularly at the ends. Minor spalls are typical as well and could be the result of debris collision during high water events. The masonry below the bearings is in good condition. During the inspection, a depth finder was used to spot-check some of the water depths around the piers. The depth directly upstream of the piers was typically 6 – 12 feet while the depth directly downstream of the piers varied from 10 – 30 feet. It is to be noted that the water was approximately 4 – 5 feet above normal pool elevation during the inspection.

There is a heavy accumulation of debris around the piers and especially at the east abutment. There are existing pilings from a previous structure that extend above the water surface just south of the bridge downstream of span 6. These pilings hamper the ability of debris to flow downstream and contribute significantly to the build-up.

See the underwater inspection report provided by Mainstream for description of the pier conditions below the water surface.

Traffic Safety Features:

Steel plate beam guardrail (1'-9" to center of rail) serves as a bridge rail over the structure and is in good condition. There is surface rust on the guardrail posts and there are two locations that exhibit minor impact damage. The first guardrail post at the east end of the north rail is not attached and there are several locations along the bridge with loose connections, particularly along the north side. The guardrail does not continue beyond the ends of the deck and there are no terminals present.

Chain link fencing (3'-6" to top of rail) serves as pedestrian railing along the outer edges of the pedestrian lanes and is in satisfactory condition. There is surface rust on the posts and fencing, but no section loss was found on the posts. The pipe at the top of the pedestrian railing is loose at several locations along the bridge, especially at the west end of the north rail.

Channel:

Due to the depth of the water, the channel could not be evaluated from above the surface. The Level I underwater inspection was performed by Mainstream Commercial Divers. They have provided comments on the channel bottom both from diver probing and from soundings taken to evaluate possible scour locations.

Some local scour has occurred around the footings of the piers. See the underwater inspection report provided by Mainstream for an in-depth description of the scour.

5. GEOMETRIC REQUIREMENTS

The current daily traffic is unknown, but it is seasonal with more traffic using the bridge during warm months. It is assumed to be significantly less than 1,000 cars per day. For bridge rehabilitation AASHTO and IDOT guidelines would be recommended.

6. BRIDGE LOAD RATING

A load rating has been determined from the condition of the bridge and guidelines set forth in AASHTO's "The Manual for Bridge Evaluation", First Edition, 2008. The ratings for the bridge are HS 33 and HS 44 for inventory and operating levels, respectively. These load ratings are controlled by the timber tie deck. Inventory rating refers to the amount of live load the bridge can sustain for an undetermined amount of time given the bridge stays in the same condition as it is now. Operating rating refers to the maximum permissible live that the structure can safely support. It is important to note that live loads at the operating rating level are "permanent" loads, i.e., they can reduce the life of the structure if allowed an unlimited number of times. No load posting is required for the structure at this time.

The structure rating was calculated assuming the timber lagging piers were not present. Most of the lagging does not bear at all and the ones that do are not fully bearing. The bridge was originally designed and constructed without the timber piers. Ignoring the timber lagging piers yields the most conservative results and most accurate behavior of the structure.

7. CONCLUSIONS

The structure is in overall fair condition. The existing deck safely supports all traffic, however the leaks that allow moisture to penetrate and reach the steel girders remains a cause for concern. Once water from the deck reaches the steel further corrosion can occur. The joints between the checkered plating on the pedestrian lanes also allow water to seep through to the steel below. Other problems on the deck such as loose guardrail connections and cracked welds in the checkered plating are minor. Maintenance repairs can be made to ensure proper function of these items.

The existing timber ties under the deck remain in fair condition. There are some that are visibly deteriorated, but due to the close proximity of each tie, there is good distribution from the deck to the girders below. Water from the deck saturates the ties and mold has grown on the bottom surface. This condition creates no immediate threat but will make the ties deteriorate at a quicker rate.

The steel girders are in fair condition. The surface rust and pitting is minor and common, especially for structures this old. The ½" thick steel plate along the top flange of the girders is severely deteriorated. Its strength was neglected for the rating calculations due to its condition. Water that drains through the deck reaches these plates before any of the other steel; therefore it is easy to understand why they are in such poor condition. If the deck were to be replaced we recommend removing these plates.

The angles and channels of the top and bottom flanges are in fair condition with no serious deterioration. In spans 3 and 4 the channel at the bottom flange is turned up, causing water to collect without any way to drain. The bituminous filler used in span 3 does not appear to be allowing water to drain fully, so further deterioration of the rivets continues. The condition of the rivets for span 4 is poor and it is assumed that the unseen rivets in span 3 are of the same condition. The bituminous filler in span 3 should be removed and weep holes to allow water to drain should be drilled at the bottom flange of spans 3 and 4.

The webs in span 4 near the west end are in poor condition at the connection to the angles. The location of the deterioration is fortunate since this is not a high positive moment region, nor is located directly above a bearing. The reasoning for this deterioration is unknown, but it could be a result of more moisture getting through the deck at this location.

The substructure is in fair condition. Cracks in the mortar joints and stone delaminations are relatively minor but cracks and any loss of mortar should be filled or sealed to prevent moisture from penetrating, particularly the crack above the East Abutment arch. Freeze and thaw cycles can cause significant damage to the stone masonry in the future if the cracks remain open.

The timber lagging piers are in poor condition and were originally placed as a temporary support. A majority of the timber piers do not bear and none of them provide full bearing. For any major rehabilitation to the structure we recommend removing them since they restrict flow, create potential scour areas, and catch debris.

8. RECOMMENDATIONS

Maintenance Repairs:

- Re-weld areas of the checkered plating that have fractured.
- Post "One Lane Bridge" signs on both ends of the structure.
- Add bituminous material at the west approach ramps of both pedestrian lanes to provide smoother transition.
- Re-attach the top rail (pipe) at the west end of the north pedestrian rail.
- Tighten all loose guardrail connections and re-connect the guardrail to the first post at the northeast corner of the bridge.
- Remove tar and drill weep holes in the bottom flange in spans 3 and 4 to allow water to drain.

Programmed Repairs:

- Replace deteriorated rivets in spans 3 and 4 with high strength bolts.
- Replace deck.
- Mortar deteriorated masonry joints and epoxy seal cracks in the stones.

APPENDIX



Photo No. 1
Looking east at the bridge and approach roadway.



Photo No. 2
Looking west at the bridge and approach roadway.



Photo No. 3
Looking north at the south elevation of the bridge.



Photo No. 4
Looking west along the north elevation of the bridge.



Photo No. 5
Looking north at upstream Quincy Bay.



Photo No. 6
Looking south at downstream Quincy Bay.



Photo No. 7
Looking west at the top of the deck.



Photo No. 8
Looking northeast along the north guardrail and pedestrian rail.



Photo No. 9
Looking west along the south guardrail and pedestrian lane.



Photo No. 10
Looking south at the west abutment joint.



Photo No. 11
Looking north at the west abutment joint.



Photo No. 12
Looking north at the east abutment joint.



Photo No. 13
Looking south at the east abutment joint.



Photo No. 14
Hole through deck the near the middle of the structure.



Photo No. 15
Looking west at full depth concrete repair.



Photo No. 16
Looking west at typical longitudinal cracking.



Photo No. 17
Looking south at west abutment joint above stone arch.



Photo No. 18
Looking north at east abutment joint above stone arch.



Photo No. 19
Looking at a loose pedestrian rail connection.



Photo No. 20
Looking southwest at typical transverse cracking in deck.



Photo No. 21
Looking at typical weld fracture on checkered plating.



Photo No. 22
Looking at maintenance access areas in checkered plating



Photo No. 23
Looking west at south girder, span 1.



Photo No. 24
Looking west along the top flange of south girder, span 1.



Photo No. 25
Looking west along the bottom flange of south girder, span 1.



Photo No. 26
Looking west at the bottom of the south pedestrian lane, span 1.



Photo No. 27
Looking northwest at south girder bearings, pier 1.



Photo No. 28
Looking southwest at north girder bearings, pier 1.



Photo No. 29
Looking west through girders, span 1.



Photo No. 30
Looking east along top flange of south girder, span 2.



Photo No. 31
Looking west at top flange of south girder, span 2.



Photo No. 32
Looking west at bottom flange of south girder, span 2.



Photo No. 33
Looking west at the bottom of the south pedestrian lane, span 2.



Photo No. 34
Looking east through girders, span 2.



Photo No. 35
Looking northeast at south girder bearings, pier 2.



Photo No. 36
Looking east at north girder bearings, pier 2.



Photo No. 37
Looking east along top flange of north girder, span 3.



Photo No. 38
Looking east along top flange of south girder, span 3.



Photo No. 39
Looking east along the bottom flange of north girder, span 3.



Photo No. 40
Looking east at typical bay between girders, span 3.



Photo No. 41
Looking at pack rusting at the top flange splice of south girder, span 3.



Photo No. 42
Looking at deterioration of rivets, north girder, span 3.



Photo No. 43
Looking east at north girder bearings, pier 3.



Photo No. 44
Looking east at south girder bearings, pier 3.



Photo No. 45
Looking east along top flange of north girder, span 4.



Photo No. 46
Looking at top flange splice of north girder, span 4.



Photo No. 47
Looking east along bottom flange of north girder, span 4.



Photo No. 48
Looking east at the bottom of the north pedestrian lane, span 4.



Photo No. 49
Looking at deteriorated rivets at bottom flange of north girder, span 4.

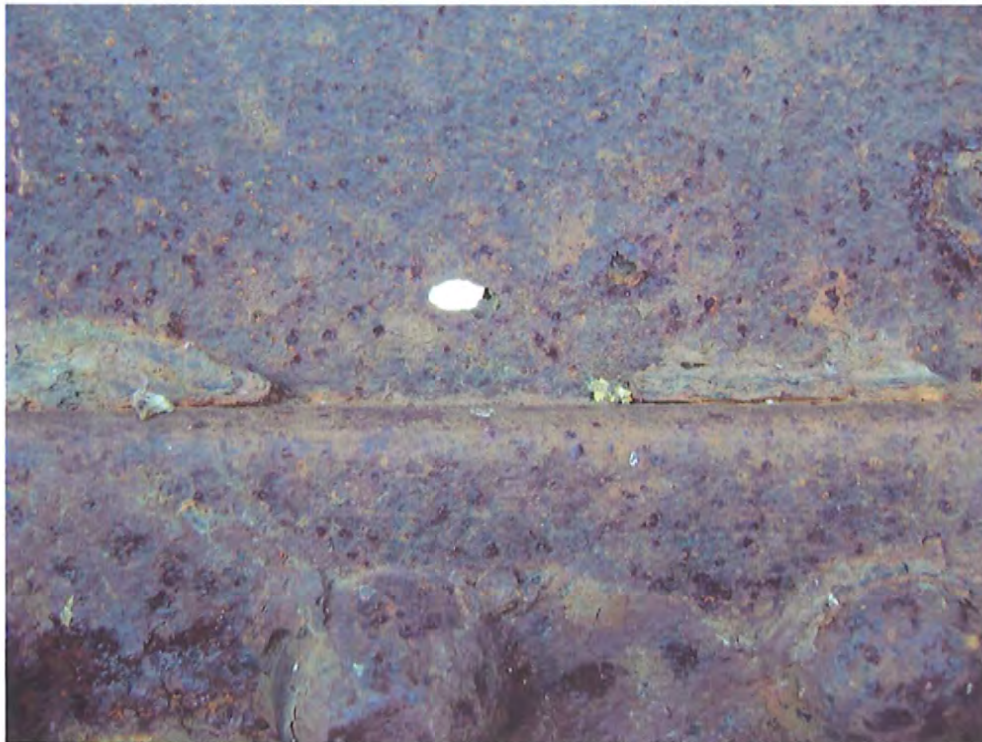


Photo No. 50
Looking at hole in web of north girder, span 4.

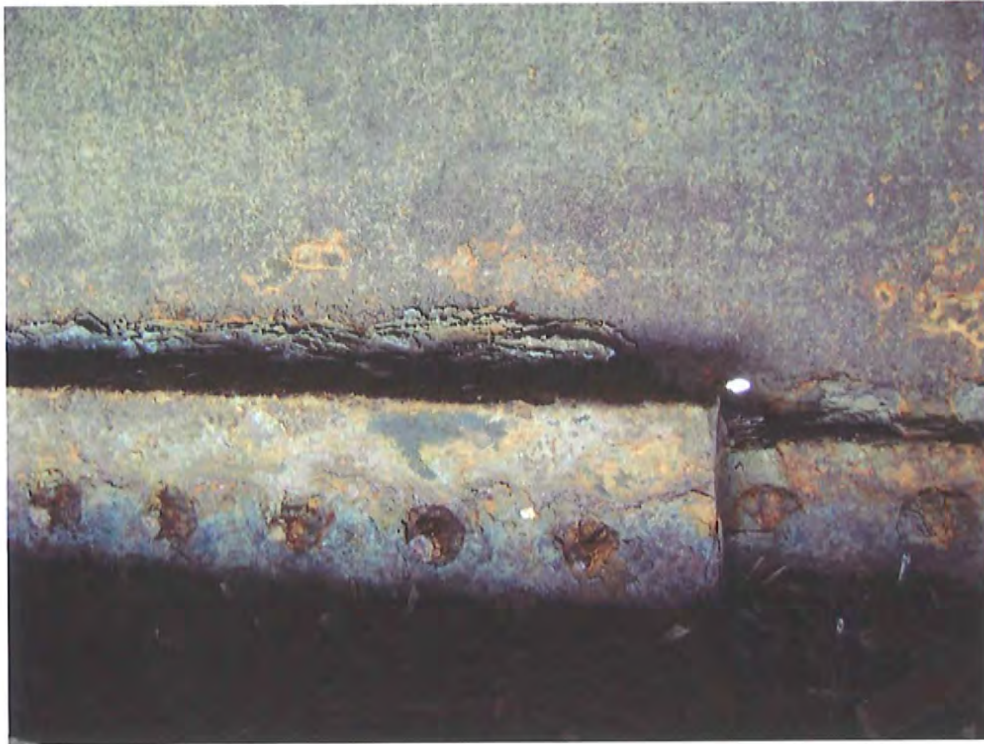


Photo No. 51
Looking at web deterioration of north girder, span 4.

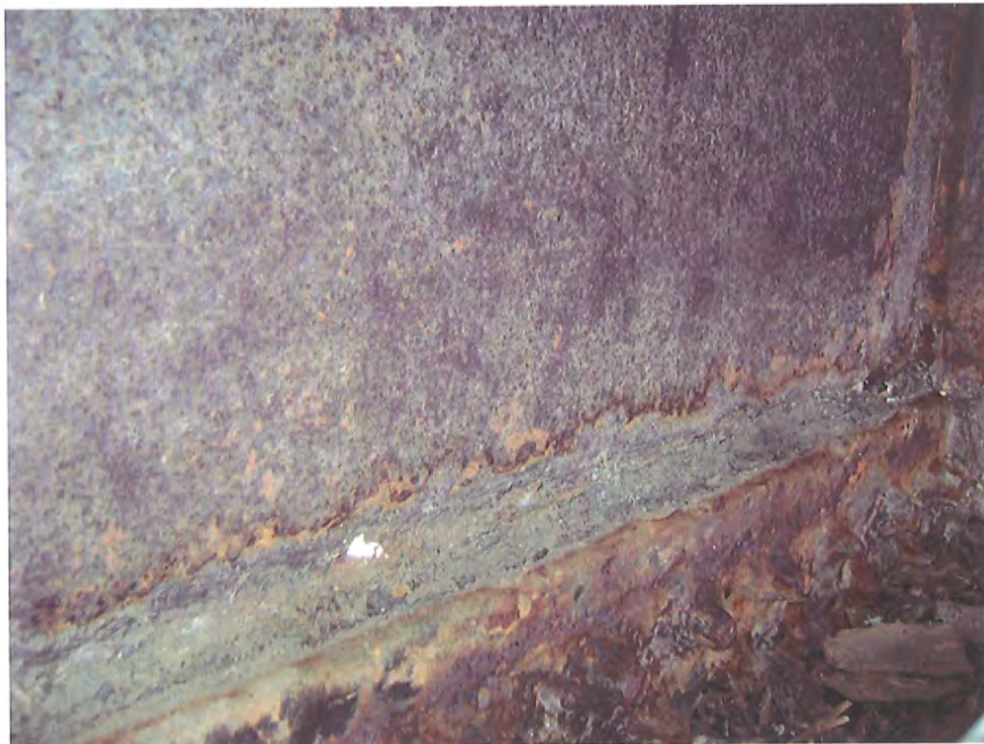


Photo No. 52
Looking at web deterioration of south girder, span 4.



Photo No. 53
Looking at web deterioration of south girder, span 4.



Photo No. 54
Looking west through girders, span 4.



Photo No. 55
Looking east at north girder bearings, pier 4.



Photo No. 56
Looking east at south girder bearings, pier 4.



Photo No. 57
Looking east at top flange of north girder, span 5.



Photo No. 58
Looking east at top flange of north girder, span 5.



Photo No. 59
Looking east at bottom flange of north girder, span 5.



Photo No. 60
Looking east at the bottom of the north pedestrian lane, span 5.



Photo No. 61
Looking east through girders, span 5.



Photo No. 62
Looking at timber ties in span 5.



Photo No. 63
Looking east at north girder bearings, pier 5.



Photo No. 64
Looking east at south girder bearings, pier 5.



Photo No. 65
Looking east along top flange of south girder, span 6.



Photo No. 66
Looking east along top flange of north girder, span 6.



Photo No. 67
Looking east along bottom flange of south girder, span 6.



Photo No. 68
Looking east at the bottom of the south pedestrian lane, span 6



Photo No. 69
Looking east through girders, span 6.



Photo No. 70
Looking east at north girder bearings, east abutment.



Photo No. 71
Looking east at south girder bearings, east abutment.



Photo No. 72
Looking west at timber lagging under span 1.



Photo No. 73
Looking east at timber lagging under span 2.



Photo No. 74
Looking west at timber lagging under span 2.



Photo No. 75
Looking east at timber lagging under span 5.



Photo No. 76
Looking east at timber lagging under span 6.



Photo No. 77
Looking east at the west side of pier 1.



Photo No. 78
Looking north at pier 2.



Photo No. 79
Looking east at the north end of pier 3.



Photo No. 80
Looking north at the south end of pier 3.



Photo No. 81
Looking northeast at pier 4.



Photo No. 82
Looking east at pier 5.



Photo No. 83
Looking south at the east abutment cap and arch.



Photo No 84
Looking northwest at the west abutment cap and arch.



Photo No. 85
Looking west at the west abutment cap.



Photo No. 86
Looking southwest at the west abutment cap and arch.



Illinois Department of Transportation

Bridge Inspection Report (MI)

Structure Number: **QUINSIPPI ISLAND BRIDGE**

Maintenance County: Adams

90 - Insp. Date

06 / 23 / 2009
/ /
/ /
/ /
/ /

90A - Insp. Team Leader/Qualification

R. Phelps / CI
/
/
/
/

Temp.

97°

Township: Quincy

Municipality: Quincy

Fac Carried: Quinsippi Island Road

Feat Crossed: Quincy Bay

Location: West edge of Quincy

Material/Type: Timber & Concrete deck on Riveted PG

Bridge Inspection Year:

09

Nbr of Spans: 6 Team Sect./Sub-Sect: -

Appraisals

Comments (All comments must be dated.)

Deck

Timber ties saturated from deck runoff.

Longitudinal and transverse cracking. 6" diameter hole in deck.

Top of pedestrian rail loose at NW side of bridge. Guardrail is satisfactory.

Surface rust, some welds b/w plates are fractured.

Light poles and lights in good condition.

Openings (In.):

58 - Deck Condition:

5

Wearing Surface: 3

Parapets / Bridge Railings: 3

Curbs: -

Median: -

Sidewalks: 3

Drain System: -

Light Standards: 4

Expansion Joints: -

Superstructure

Minor surface rust & pitting, pack rusting - mostly at top flange.

Minor surface rust and pack rusting.

Overall fair condition - minor surface rust, holes in web at span 4.

satisfactory with no significant problems noted.

Poor condition at spans 3 and 4 - bad detail (upside down channel section).

Substructure

Vertical cracking in masonry joints, delamination of stones, settlement at East Abutment.

Vertical cracking in masonry joints.

Stone delamination between bearings

Masonry solid below bearings.

Cracking in mortar joints.

Minor delamination of stones.

Masonry solid below bearings.

60 - Substructure Cond:

5

Stem / Columns / Piles: 3

Caps: 3

Bearing Seats: 3

Backwalls: 3

Wingwalls: -

Stem / Columns / Piles: 3

Caps: 3

Bearing Seats: 3

Crash Walls: -

Fender Systems: -

Paint: -

Bridge Inspection Report

Structure Number:

Bridge Inspection Year:

09

Appraisals

Comments (All comments must be dated.)

Culvert

62 - Culvert Condition:

N

Top Slab / Soffit:

Side Walls / Arch:

Bottom:

Headwalls:

Wingwalls:

Waterway and Channel

61 - Channel Condition:

6

Heavy debris accumulation at east end.

Streambed:

3

Minor local scour at piers 2 and 4.

Slope Walls & Rip-Rap:

-

Well vegetated.

Stream Banks:

3

Spur Dykes & Jetties:

-

71 - Waterway Adequacy:

7

Approach Roadway

72 - Appr. Rdwy Alignment:

6

15 mph speed zone, road curves to the north just east of the structure.

Riding Quality:

3

Structural Condition:

2

Potholes and patched surface at east end.

Relief Joints:

-

Navigable Waterways

111 - Pier Navig. Protect'n:

N

Inspection Remarks

Year

Item 90B - Inspection Remarks (237 characters maximum.)

2009

Serious deterioration of rivet heads in spans 3 and 4 due to poor steel detailing. Moderate pack rusting at the top flange of the girders, especially at the 1/2" plate connected to the top flange. Some minor local scour occurring at piers 2 and 4. See report by Mainstream for condition of scour.

20

20

20

20

Bridge Inspection Report

Structure Number:

Additional Inspection Data

36A - Bridge Railing Adequacy:	3	Rail Types: SPBGR (1'-9" to center of rail)
Approach Guardrail Adequacy:	36B - Transitions:	36C - Guardrail:
	1	1
		36D - Ends:
		1

108A - Wearing Surface Type:	A	108B - Type of Membrane:	F	108C - Deck Protection:	J
108D - Total Deck Thickness (In.):	18"	12" Timber Tie + 6" Concrete w/corrugated steel			

59A - Paint Date (Mo/Yr):		
---------------------------	--	--

59B - Paint Systems:	-- -- --	Color:	Fascia - _____;	Inter. - _____;	Railing - _____.
----------------------	----------	--------	-----------------	-----------------	------------------

59C - Utilities Attached:	3, 9	Water Line under south side of deck, light poles w/overhead electric south side also.
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Weight Limit Posting

70A2 - Single Unit Vehicles:	T.	Combinations:	T.	70C2 - 5 or More Axle:	T.
------------------------------	----	---------------	----	------------------------	----

70D2 - One Truck at a Time:		
-----------------------------	--	--

Inspection Resource Needs	Time to Inspect (H:M):		16:00		Traffic Control:		N		
	Equipment	Boat--	Y	Waders--	N	Snooper--	N	Manlift--	N
		Ladder-	N	Short		Medium	N	Tall	Y

93C - Special Inspection Date:	/	/	/	/	/	/	/	/	/
--------------------------------	---	---	---	---	---	---	---	---	---

Signature Block

	Signature	Date	Unit Supervisor Initials - Date
Inspection Team Leader			

Additional Comments:

09 - The pedestrian ramps at the west end of the bridge are not level and need to be fixed at both the north and south pedestrian lanes. It appears that the drainage from the deck is disposed of through holes in the deck or anywhere that it can get through (the center of the deck appears to be the low point). There are several areas of the deck with full depth cracking, but the concrete is still in place. Longitudinal and Transverse cracking is typical across the length of the deck. One area of concrete towards the west end has already been replaced full depth. The checkered plating has been torched and rewelded in many sections along the south side of the bridge. Since a water line runs directly beneath this side, it is assumed that the cuts have been made to service the water line or overhead electric poles. There are numerous welds between the checkered plates that are fractured. Any fractured welds should be re-welded. The 1.25" diameter rail at the top of the pedestrian rail is loose at the top of the northwest end of the bridge. It should be reattached to provide more stability. Overall, the pedestrian rail is in satisfactory condition with surface rust only. All of the base plate welds appear to be in good condition. The guardrail is in good condition with only surface rust on the posts and two areas of minor impact damage. The first post at the northeast corner of the bridge is not attached to the railing. It should be reattached. The guardrail is connected the entire length of both sides of the bridge, but it is loose in several locations, particularly along the north side guardrail. The bolts should be retightened so the guardrail can perform properly.

See additional notes attached at the back of this form for inspection information for the steel girders and substructures above the water.

(Continue comments on page 4)

BBS-BIR-1 (Rev. 10/01)

Sheet 3 of 4

Bridge Inspection Report
Structure Number:

Additional Comments:

(Continue comments on additional pages as needed)

Location and Inventory Information

SN: _____

4-Municipality: Quincy 9-Location: West edge of Quincy off Bonansinga Drive

6-Feature Crossed: Quincy Bay 7-Facility Carried: Quinsippi Island Road

92A-Pre Inspection Interval: _____ Months 92A-Post-Inspection Interval: _____ Months

93A-Inspection Date: 06 23 2009 & 06 24 2009

93A3-Team Leader: 1 -R. Phelps, Klinger & Assoc. 93A4-Temperature: 97

93A5-Inspector 2: _____ Program Manager: J. Frankenhoff

Resources

Time to Insp: 12:00 Trffc. Ctrl: _____ Boat: Yes Waders: _____ Snooper: _____

Ladder: Yes Manlift: _____ Other: _____

Inspector's Appraisals

92A1-Type: A3 FC Spans Descr: Span 1 - 2 Girder, Built-Up Plate Girder

93A1-Rating: Prev. ☒ New ☐ 5 FC Method: Prev. ☐ New: MP ☐ DP ☐ UT ☐ V ☐

93A2-Remarks: Minor surface rust on tension flanges and rivets. No cracks, tears, or significant section loss on tension members.

92A1-Type: A3 FC Spans Descr: Span 2 - 2 Girder, Built-Up Plate Girder

93A1-Rating: Prev. ☒ New ☐ 5 FC Method: Prev. ☐ New: MP ☐ DP ☐ UT ☐ V ☐

93A2-Remarks: Minor surface rust on tension flanges and rivets. No cracks, tears, or significant section loss on tension members.

92A1-Type: A3 FC Spans Descr: Span 3 - 2 Girder, Built-Up Plate Girder

93A1-Rating: Prev. ☒ New ☐ 5 FC Method: Prev. ☐ New: MP ☐ DP ☐ UT ☐ V ☐

93A2-Remarks: Minor surface rust on tension flanges, but rivet heads exhibit heavy deterioration from poorly detailed section. No cracks, tears, or significant section loss on tension members other than rivets. All visible rivets are assumed to be in the same condition as those not visible from bituminous filler added. See inspection report for description of the bituminous filler. All rivets observed are intact through connected area.

92A1-Type: A3 FC Spans Descr: Span 4 - 2 Girder, Built-Up Plate Girder

93A1-Rating: Prev. ☒ New ☐ 5 FC Method: Prev. ☐ New: MP ☐ DP ☐ UT ☐ V ☐

93A2-Remarks: Minor surface rust on tension flanges, but rivet heads exhibit heavy deterioration from poorly detailed section. No cracks, tears, or significant section loss on tension members other than riets. All rivets observed are intact through connected area.

92A1-Type: A3 FC Spans Descr: Span 5 - 2 Girder, Built-Up Plate Girder
 93A1-Rating: Prev. ☒ New ☐ 5 FC Method: Prev. ☒ New: MP ☐ DP ☐ UT ☐ V ☐
 93A2-Remarks: Minor surface rust on tension flanges and rivets. No cracks, tears, or significant section loss on tension members.

92A1-Type: A3 FC Spans Descr: Span 6 - 2 Girder, Built-Up Plate Girder
 93A1-Rating: Prev. ☒ New ☐ 5 FC Method: Prev. ☒ New: MP ☐ DP ☐ UT ☐ V ☐
 93A2-Remarks: Minor surface rust on tension flanges and rivets. No cracks, tears, or significant section loss on tension members.

92A1-Type: _____ FC Spans Descr: _____
 93A1-Rating: Prev. ☒ New ☐ FC Method: Prev. ☒ New: MP ☐ DP ☐ UT ☐ V ☐
 93A2-Remarks: _____

92A1-Type: _____ FC Spans Descr: _____
 93A1-Rating: Prev. ☒ New ☐ FC Method: Prev. ☒ New: MP ☐ DP ☐ UT ☐ V ☐
 93A2-Remarks: _____

93A3-Inspection Team Leader Signature _____ Date _____ Program Manager Signature _____ Date _____

Two Girder:

A1- Suspension Link & Pin
 A2- Single Pin Suspension
 A3- Tension Flange Riveted/Bolted Girder
 A4- Bearing Seat Suspension Span
 A5- Tension Flg Rolled Beam
 A6- Tension Flange Welded Girder
 A7- Tension Flange Lattice Truss Web Girder

Truss System:

B1- Eyebar & Pin Tension
 B2- Simple Span Welded Tension Members
 B3- Hanger Link & Pin Suspension
 B4- Single Element Tension Members
 B5- Simple Span Riveted/Bolted Tension Members
 B6- Continuous Truss Tension Members- Welded, Riveted or Bolted
 C1- Cables Suspension Bridge
 C2- Cable Stayed-Cables

Tied Arches & Box Bms:

D1- Welded Box Ties
 D2- Riveted/Bolted Box Ties
 D3- Stiffened Girders
 F1- Single Welded Box
 F2- Single Riveted/Bolted Box
 F3- Double Box - Welded, Riveted or Bolted

Framed Steel Substructure:

E1- Welded or Rolled Pier Cap
 E2- Riveted/Bolted Pier Cap
 E3- Welded or Rolled Pier Column
 E4- Riveted/Bolted Column

Other Types

X1- Bascule
 X2- Floorbeam supporting other steel members or spacing > 15 feet
 X3- Cross Frames or Transfer Beams
 X4- Other

ENGINEERING STUDY:
WOMEN'S CITY CLUB (LORENZO BULL HOUSE)
STRUCTURAL, HVAC, PLUMBING, AND
ELECTRICAL REVIEW

EXECUTIVE SUMMARY

At the request of the Quincy Park District, Klingner & Associates, P.C. has completed a review of the Women's City Club (Lorenzo Bull House) at 1550 Maine Street in Quincy. The review included a visual inspection of the interior and exterior of the building and is intended to identify architectural, site, structural, HVAC, plumbing, and electrical maintenance needs and/or repairs.

The report format consists mainly of a pictorial summary of the issues identified and is included with this document as a separate document. The following sections of this document contain a short summary of the items identified under the various disciplines and an estimate of cost for the work to address the issue. The maintenance items have been divided into three priority levels to illustrate the recommended phasing if all of the work is not completed at one time. While no immediate threats to life or property were identified, several safety related issues were identified and these items have been placed in Priority Level 1. Generally, the Priority Level 2 issues are not of immediate concern, however they are expected to improve the operating efficiency of building and will help reduce future maintenance needs and it is recommended to perform this work as soon as possible. Priority Level 3 issues are generally related to the long term usability of the facility.

The following table summarizes the cost estimates for the various disciplines under the three priority levels.

	Priority Level 1	Priority Level 2	Priority Level 3	Total
Site	\$4,000	\$0	\$0	\$4,000
Architectural	\$0	\$58,000	\$0	\$58,000
Structural	\$0	\$17,500	\$0	\$17,500
HVAC, Plumbing, Electrical	\$1,250	\$1,350	\$13,750	\$16,350
Engineering Fees				\$8,500
Contingency				\$10,000
Totals	\$5,100	\$77,850	\$13,750	\$114,350

Note: Estimated costs are based on work being contracted with prevailing wage rates.

1.0 SITE REVIEW

The site was reviewed on March 18, 2011 during a light rain. The site appeared to have positive drainage away from the building with the exception of some ponded water on the driveway pavement east of the building. This was a rutted area in the pavement near a downspout discharge. The brick walks are in good condition. There are a few minor areas where the bricks have settled resulting in potential tripping hazards. Some of the brick walks have been replaced with stamped concrete. The settled brick areas should be removed and reinstalled or replaced with stamped concrete simulating brick to eliminate the tripping hazards.

It is our understanding that the Park District is conducting an ADA audit on park facilities, including the women's city club. It was noted during our visit that the accessible route does not comply with the IL accessibility code and ADAAG guidelines. In addition, the building does not have a completely accessible entrance.

Women's City Center Site Priorities

Priority Level 1 Issues (Safety Related)		Cost
Site	Repair Settled Brick Areas	\$1,500
	Downspout connections below Grade	\$2,500
Priority Level 1 Issues Total		\$4,000
Total Cost		\$4,000

2.0 ARCHITECTURAL REVIEW

A March 18th site visit found the existing structure in generally good condition. The intent of the visit was to provide an architectural review of the overall condition of building envelope and interior finishes and to identify any maintenance issues regarding such.

Concerning the building exterior, the prefinished metal siding was in good condition with no discolored or peeling paint and virtually no surface damage. Primary areas in need of attention were the painted wood surfaces such as wood cornices, fascia boards, eave soffits, ornamental eave brackets, windows and other wood trim. Paint at many of the wood surfaces was either discolored or peeling. The wood plank floor deck of the exterior porches had shown some deterioration at end and edges of some planks. Although the condition of masonry joints at chimneys were in good condition, there were a few areas of exposed masonry foundation wall at ground level that needed to have mortar joints re-pointed.

Existing roof systems consisting of asphalt shingles, and sheet metal at concealed gutters and widow's walk roof area were installed in 1991. Although the roof shingles appear to be good condition, at 20 years age, they are due to be replaced in next 5 years. Overall, the galvanized sheet metal was in fairly good condition but some maintenance is necessary as the metal had a light surface rust in many areas and at three small locations on the flat widow's walk roof, the sheet metal had corroded completely through relying on the felt underlayment to shed water.

Concerning interior finishes, there are primarily two areas that need attention. Over the years the plaster ceiling of the attic has had water damage and as such some plaster surfaces are in need of repair. There is no evidence of recent water leaks at attic ceilings. There is some water damage on the interior surfaces of some window sashes, particularly at the lower corner frame joints. Overall, the interior finishes are in good condition.

There was substantial debris in the concealed gutters, and gutter drains as downspouts were clogged. The visit coincided with a rain, and it was noted that the gutters quickly overflowed. A maintenance program is suggested where all leaves and branches are cleaned from gutters at least twice a year. Aluminum strainers should be placed at all gutter drains.

It was noticed that there is no insulation above attic ceiling of the original building, nor is the roof hatch at widow's walk insulated. With the absence of insulation and many windows without storms, it would be expected there is a substantial energy loss. Any improvements for energy conservation must be made while minimizing alterations to the historic character of the building. For example, the installation of insulation between attic rafters would result in the complete removal of the original wall paper, plaster and wood lath from the underside of rafters. Energy conservation and weatherization measures would need to be further reviewed with those who are stake holders regarding the historical integrity of this building.

All architectural issues are considered Priority Level 2 and following is a cost estimate for correcting the maintenance issues identified.

Women's City Center Architectural Maintenance Items

Exterior		Cost
	Refinish galvanized sheet metal – concealed gutters, flashing, and downspouts	\$18,000.00
	Repaint wood surfaces – roof cornices, fascia boards, eave brackets, window frames, etc.	\$15,000.00
	Miscellaneous items – sheet metal patching, repair downspout, drain strainers, etc.	\$2,000.00
	Repair and repaint wood deck at porches	\$4,500.00
	New asphalt shingles	\$16,000.00
	Total for Exterior Architectural Work	\$55,500.00
Interior		
	Repair plaster	\$2,000.00
	Painting of water damaged window sashes	\$500
	Total for Interior Architectural Work	\$2,500.00

3.0 STRUCTURAL REVIEW

A visual structural inspection of the Women's City Club in Quincy, IL was performed. The building has three stories with a full basement. The 3rd story is an attic. Observations and recommendations are summarized in the Structural Exhibit on Sheets S-1, S-2, S-3 and S-4.

The wall, floors, roof and porches are wood framed. The framing of the north porch was recently replaced. Except for a few minor areas, the wood framing appears to be in good condition and is structurally sound.

The basement walls are either brick or limestone. No excessive settlement was visible. The basement walls are adequately supporting the building and retaining soil. The brick and limestone have some area of deterioration.

Overall the building is structurally sound. The deficiencies noted in the structural exhibits are not critical and all of the structural items are considered to be in the Priority Level 2.

The observations and recommendations in this report are limited to what was visible at the time of inspection. The possibility exists of other defects or problems, which were not identifiable by visual inspection.

The following are opinions of probable costs to repair the structural deficiencies. Most of the cost is masonry repairs.

Structural	Item	Description	Cost
	Item 1	Fence Repair	\$250
	Items 4 & 5	Exterior Brick Repair	\$4,000
	Item 6	Exterior Limestone Repair	\$2,500
	Item 7	Chimney Cap Repair	\$2,500
	Item 9	Brick and Parging Repair in Basement	\$2,500
	Item 10	Limestone Repair in Basement	\$2,500
	Item 11	Beam Shimming	\$300
	Item 12	Column Sistering	\$300
	Item 13	Rotten Joist Sistering	\$700
	Item 14	Replace Basement Stair Tread	\$200
	Item 15	Additional Beams and Columns	\$700
	Item 16	Sistering Notched Joists	\$300
	Item 17	Repairing Handrail Bracket	\$150
	Items 18 & 19	Repairing Roof Rafter and Plaster and Lath	\$600
	Total Cost		\$17,500

4.0 PLUMBING, ELECTRICAL, AND HVAC REVIEW

A site visit and review of the Women's City Center was performed to review the existing plumbing, electrical, and HVAC systems and to identify maintenance priorities. A few issues that directly affect the safety of the facility were identified and should be considered a top priority when planning maintenance activities.

The most expensive issue identified is the replacement of the air conditioning unit in the attic, but as this issue does not have an immediate threat to life or property, this issue has been placed in the lowest priority level. It is apparent from the space heaters on the second floor that the space comfort needs are not being met by the current system and the replacement of the attic unit could improve the comfort levels and eliminate the need for the space heaters.

Specific descriptions and recommendations for all of the issues identified during the review are contained in the pictorial section of this report. The table below is intended to help summarize the issues identified and to aid in the maintenance planning process by prioritizing the maintenance issues and providing a cost estimate for their completion. Priority Level 1 issues are safety related and should be completed as soon as possible, Priority Level 2 issues are related to the operational efficiency of the facility and are relatively inexpensive and easy to implement, and Priority Level 3 issues represent the more expensive maintenance items that should be considered and implemented if the facility is intended to be used for the indefinite future.

Women's City Center Plumbing, Electrical, and HVAC Maintenance Priorities

Priority Level 1 Issues (Safety Related)		Cost
Electric	Install missing covers on junction boxes	\$750
	Replace deadfront on main panel	
	Seal open knockouts on main panel	
	Replace smoke detectors and add carbon monoxide detectors	\$400
	Replace kitchen counter receptacles with GFCI receptacles	\$100
Priority Level 1 Issues Total		\$1,250
Priority Level 2 Issues		
Electric	Replace basement light bulb/fixtures	\$250
	Replace incandescent exit signs with LED exit signs	\$500
Plumbing	Replace illegal joints on drain pipes	\$250
	Insulate bare water pipe near basement window	\$100
HVAC	Connect disconnected duct and install sheet metal cover on duct opening	\$250
Priority Level 2 Issues Total		\$1,350
Priority Level 3 issues		
Plumbing	Remove obsolete piping in basement	\$1,000
	Install proper pipe supports for piping in basement	\$1,500
HVAC	Replace attic air conditioner with heat pump	\$11,250
Priority Level 3 Issues Total		\$13,750

	Total Cost	\$16,350

Note: In providing opinions of probable construction cost, it is recognized that neither the Client nor consultant has control over the costs of labor, equipment or materials, or over the Contractor's methods of determining prices or bidding. The opinion of probable construction costs is based on the Consultant's reasonable professional judgment and experience and does not constitute a warranty, express or implied, that the Contractor's bids or the negotiated price of the work not vary from the Clients budget or from any opinion of probable cost prepared by the Consultant.

Introduction

This report is prepared at the request of the Friends of the Log Cabins Association (Friends), Quincy, Illinois by Joseph Gallagher. It is designed to provide the Friends with sufficient information to allow them to make decisions regarding the repair, restoration, etc. of the 6 log cabins and one stone building located on Quinisippi Island, which is owned and managed by the city of Quincy, IL..

The assessment took place on April 6 and 7, 2001. The Board of the Association met with Mr. Gallagher on the afternoon of the 7th and were provided with a talking points about the possible restoration of the buildings. The assessment was made primarily by direct observation of the cabins. See Goodall and Friedman (1980) for a discussion of the techniques used to assess the condition of log structures.

Comments Regarding All Cabins

The cabins in the village are all very similar despite the different origins, functions, histories, and ages. Taken as a whole the following can be said, every roof in the village is deteriorated and needs to be replaced, a cost to replace the roof structure is included as a worst case situation. Some of these might be salvageable. These roofs are all not original and were built when the cabins were moved here. They are not historic. All the cabins have inadequate foundations and the lack of foundations has lead to much of the deterioration. All the cabins need to have new foundations installed. All the cabins have problems with many wall logs from as few as 4 very large logs in the Church to as many as 21 logs of various lengths at the Corn Crib. In these cabins at least 10 and as many as 21 logs need to be intensively repaired by cleaning, treating with borates and epoxies.

Because of the similarity of the roof situation and the foundation situation from cabin to cabin, and because these are not components that add much to the historic feel and appearance of the buildings not much is said about them except that the roofs will be replaced in kind, changing only shakes for shingles and designing a foundation that will be a significant upgrade to what is there now at minimal cost. Measurements for the logs add 2 feet to facilitate hewing and handling during. It is assumed that oak will be used to replace the deteriorated logs, but really any species can be made to work satisfactorily.

All the cabins need to be disassembled to permit new foundations (See Appendices I and 2 for a recommended standard foundation and floor) to be constructed, the crumbling joints to be re-built and rot encouraging daubing removed and replaced properly (See Appendix 3 for discussion of treatment options). At that time, the wall logs will be cleaned, treated with borates in checks and cracks and epoxies placed in the checks and cracks to eliminate the growth of decay. The borates and epoxies will be sourced from Conservepoxy (www.conservepoxy.com). The author has used these products for over 25 years with considerable success. When the cabins are disassembled some surprises may emerge. Some logs that appear to be sound may need to be replaced and some that have been slated for replacement may be salvaged. This is one of the variables working with older buildings where not all problems are visible.

All interiors were examined except that of the Fraser cabin; its door could not be opened without damaging either the door or the door frame. It was not possible, without disassembling the floors, to know how the floors were constructed. It is not known whether the floors are attached or hung from the sills or spandrel logs, or if they float on sleepers. As the buildings are disassembled the interior floors will be examined. Because all the buildings need new sill and spandrel logs, new floors will be hung from the new sills using as much of the original floor as possible (See Appendix 2). Cost estimates are based on rebuilding the floors and using as much of the original flooring as possible.

None of the foundations are adequate for any of the cabins. A pier system will be specified for each cabin (Appendix I). Generally 8 piers are recommended to support each cabin. The sill logs must be attached to the piers for stability and placed in corners and mid walls and below thresholds. These piers should be sufficient to prevent the cabins from settling into the island's sandy substrate. All foundations will use the same design. The sizes of the piers are estimated based on the author's construction experience. City architects may wish to provide a final approved specification for the piers and their placement. This design is suggested rather than a pad to (1) reduce the potential for decay of the sill log resting on the pad (2) to allow for water to flow under the cabin during floods without scouring on the downstream side (3) to keep the weight of the building and its foundation as low as possible (4) retain as much of an historic look as possible.

The description of the cabins' walls uses a numbering system that labels logs from the bottom up. The logs on each wall are numbered separately from one another. The lowest log on each wall is log one. When a wall is split by a door or window, the logs are labeled left and right for the person standing outside the building and looking at the wall. Charts of wall condition appear with each cabin's description.

This report is not a how-to manual. The methods and techniques needed to do the work that is recommended is not described. This work is for professionals, or for volunteers to undertake with proper, professional training or instruction and guidance. There are a variety of books and manuals available on such techniques.

See Appendix 3 for a further additional discussion of the process of starting the work.

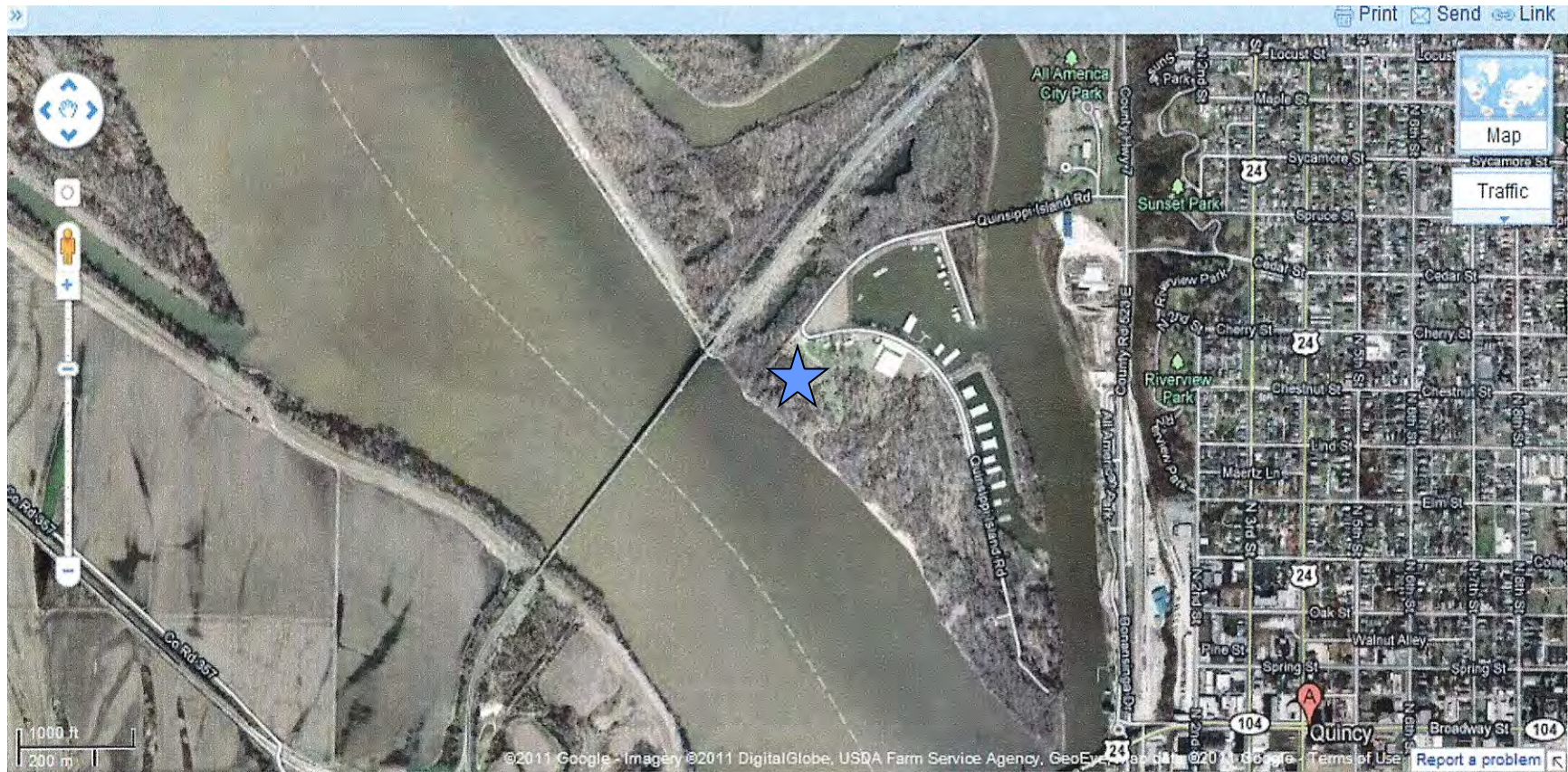
The Historic Significance of These Buildings

These cabins all have considerable age but have also had many changes to their original appearance. Parts of the building that are not original include: roofs, foundations, doors and to some degree windows, hardware and floors. Many of the wall logs have been replaced over time (and we are not sure when) with mismatched logs. Railroad ties appear in some places and round logs, that should be hewn, in others. The church is a complete artifact in that it was originally a barn and the logs have been re-purposed to build a church. The importance of these cabins lies in the story that they can tell about the past and the people that occupied these buildings. They would not be eligible for the National Register of Historic Places. They may be eligible for a local or county list of historic buildings. Therefore it is more important for these building to retain the appearance of an historic cabin than to retain every piece of original historic fabric. Consequently, all logs that should be replaced will be recommended to be replaced. A few logs that we want to retain may turn out to just be too decayed to retain. What will be important will be the craftsmanship of the individuals that undertake the restoration of the cabins. That skill will determine how well the blending of the old and the new is accomplished. Every effort should be made to retain as many of the old logs as possible. Decision in the field with the help of the Friends will determine what is saved and what is replaced.

The setting of these cabins makes them susceptible to a variety of problems. If the cabins were swept away in a flood, the investment made in any restoration would be lost. Periodic flooding presents one problem, the damp and humid location on an island in the Mississippi River represents another. Mold, fungus and rot are ubiquitous. Consideration could be given to finding another location for these cabins to protect any investment made in them.

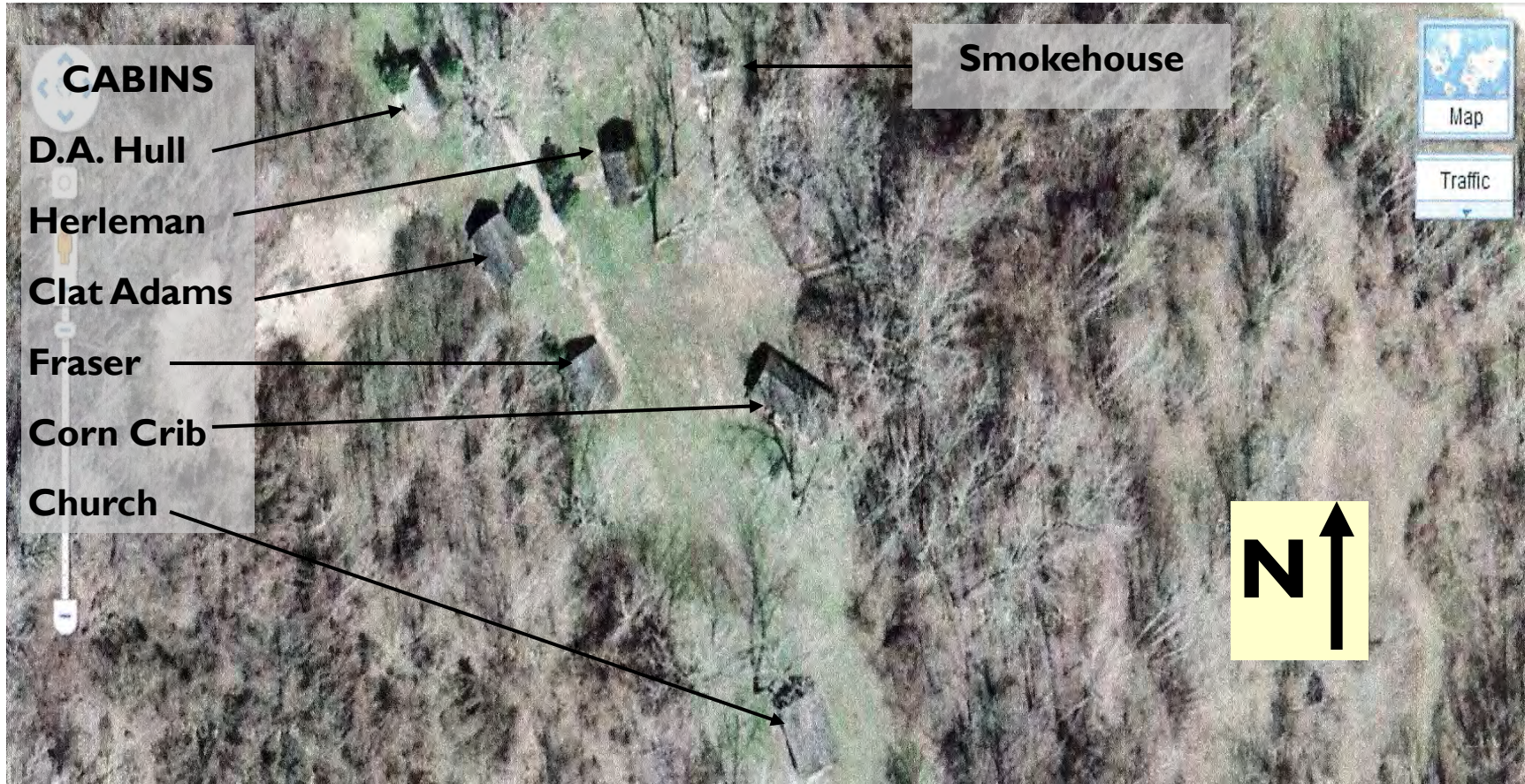
When the cabins are described, walls will be assigned a cardinal direction. Overall the cabins are not aligned in a particular direction though they tend to be distributed on an axis that runs NW to SE. This alignment guides that wall direction assignment. The emphasis in the description is on the condition and repairs or replacements of the log walls. There are materials list and cost estimates for roofs, foundations, and floors but there is not lengthy descriptions of those building elements. As mentioned above the roofs are recently constructed and will be replaced in kind. Floors in general will be hung on joist hangers and supported with concrete block piers in the floor center. None of the floors in the cabins are contemporary with the wall logs.

Map I. Location of Pioneer Village, Quincy, IL.



The village is on Quinsippi Island in the Mississippi River. Quincy, IL is to the east of the island. Star marks the village location.

Map 2. Pioneer Village.



Cost Estimates

The cost provided for materials are derived for the most part from sources that are available in Quincy, Il. e.g. Home Depot or Lowes. Costs for logs is some what unknown and were estimated at \$200 each for most logs of 20 linear feet (lf). Epoxies and borates are sourced from Conservepoxy.com. The cost for repairs and replacement of doors and windows is not included in the final total as to ensure the appearance of an old building, these will be left as is and reused. Not every nail, screw and fastener has been accounted for; a contingency fee would be included in a final bid that would cover these minor costs. There are no overhead costs or other normal costs a contractor would include (8% profit, taxes, insurance, 10% contingency, etc). These would need to be included based on a request for proposal. If two or more cabins are worked on at the same time, equipment rental costs per cabin may be reduced. Labor costs do not include the cost of travel, per diem and housing if an out of town crew is used. Housing for a contract crew could include camping on site and there fore might be reduced, although camping in a public park is not desirable.

Local contractors may be able to provide better prices for this work, if well supervised. Construction of the foundation piers, erection of the roof and installation of the roof covering, and installation of the floors may be work that a local contractor can undertake. If a large (8 or more) volunteer crew is used for labor, supervision by Mr. Gallagher and one of his regular workers could be provided for \$750 (total) per day which would cover all compensation, travel, per diem, and lodging for both individuals. If a small crew would be planned for (5 –8) Mr. Gallagher could provide that service for \$425 a day. What would not be provided for volunteers would be the equipment that a contractor brings to the work site. Equipment and all materials would be the responsibility of the Friends.

The work on the project could also be accomplished without supervision, following detailed instruction in the needed work. The Friends could tear off a roof, and Mr. Gallagher could spend sufficient time to provide instructions on the next phase: disassembly, log cleaning and repair, log hewing and notching techniques. At the same time the Friends could contract for the installation of the foundation piers and be ready to erect the cabin walls. All possible combinations of contracting, instruction and supervision are possible. Mr. Gallagher is open to discussing these in detail. See Appendix 3 for related ideas.

The Cabins

The D.A. Hull Cabin - - Current Condition

This is a rectangular, one story cabin whose wall logs have been hewn flat on the interior and exterior surfaces. It measures approximately 18' x 20'. Hewing marks are pronounced on some logs. It has dovetail notches and is daubed with a soft, sand-lime mortar that has large rock inclusions. The logs are typically 10-11" in diameter at the butt and 8-9" in diameter at the tip. A large well made chimney sits at the northern end of the building and a small porch has been added to cover the simple plank door on this end of the building. The chimney was constructed after it was moved to this location. Windows are present on three sides; on the western side, there is another plank door.

The roof, like all roofs at the site, is of rafter construction and covered with taper sawn shakes (8 1/2" to the weather), set on skip sheathing of mixed widths attached to 2"x4" rafters. The shallow roof is 440 feet square. The eaves are very short, less than 10". Gable ends are board and batten, with the battens cut in the shape of trapezoids. The roof is overgrown with moss and lichen. It is sufficiently deteriorated and must be replaced. On the interior, there is a ceiling constructed of hewn 9" diameter logs covered with random width 1" boards. These joists are in good condition as are the ceiling boards.

The walls are in poor condition. The sill logs are missing, several logs need to be replaced. Many logs have deep checks and marked pockets of decay. Corners are deteriorated, many are loose, broken and filled with daubing which may hide decay. A few logs listed on the following tables as treatable with cleaning, borates and epoxy may in the end need to be replaced. When all the daubing is removed further inspection may reveal the need for a replacement log.

The foundation will need to be replaced as it has failed. The cabin is settling into the sandy soil causing the sill and spandrel logs to come in contact with the ground. A design for the pier system is included in APPENDIX I. The floor will be replaced in kind at the time the cabin is rebuilt.

Because of the chimney and fireplace this cabin may not be fully disassembled. Care is needed to work around the foundation of the fireplace and sometimes it is worth not disassembling the wall of the fireplace. As the cabin is disassembled this can be examined further.

Figure I. D.A. Hull Cabin.

This cabin has a variety of overhanging tree branches that litter the roof and shade it from the sun. These should be trimmed back. Plants along the edge of the cabin should be removed.



The chimney of this building was doubtlessly constructed on site and not moved from its original location. It is not know if this chimney replicates the original form or is a new design. It will be necessary to work around the chimney as the building is dismantled and rebuilt. The doors need to be repaired by replacing deteriorated planks. Windows need to be repaired and replaced where missing. The floor of the building is in acceptable condition but it is unknown how or if the floor it attached to the walls. It is probable that the floor is floating on sleepers. These will have been allowed to settle into the underlying soil and are no doubt decayed; a new sub floor structure is needed. The existing floor boards will be salvaged and reused is possible as will the gable ends.

This Hull cabin is overall in fair condition in that it is unlikely to collapse any time soon although it does need attention within 2-4 years to ensure that deterioration does not accelerate. The tables that follow provide more detail on the overall state of the cabin.



Figure 2. D.A. Hull Cabin.

This view of the cabin exemplifies several problems with all the buildings in the village:

Moss covered roof

Daubing filled notches

Large checks in wall logs

Vegetation planted around the cabin perimeter

Failure of the foundation

D.A. Hull Cabin Wall Log Condition (table 1)		
West Wall Logs	Condition	Recommendation
1	Missing	Replace
2	Severe deterioration	Replace
3	Surficial deterioration	Attempt to reface or replace
4	Severe splitting	Clean, borates and epoxy repair
5-8	In fair condition	Clean
South Wall Logs		
1	Decayed and partially patched	Replace
2	Decayed, patched below window	Replace to match
3	Decayed, patched below window	Make Dutchman repair, possible replacement needed
4	Left side decayed	Replace 9 feet of left end, splice
5	Right side decayed	Attempt an epoxy patch
6	Decayed and large check	Attempt an epoxy patch
7	Minor decay	Clean, borate and epoxy repair

D.A. Hull Cabin Wall Log Condition (table 2)		
East Wall Logs	Condition	Recommendations
1	Missing	Replace
2	Decayed in depth	Replace piece on right side
3	Heavy checking	Clean, borate and epoxy repair right side
4	Deterioration is significant	Replace piece left of door
5	Right of door, log heavily checked	Clean, borate and epoxy repair
6	Heavily checked	Clean, borate, epoxy repair
7	Fair condition	
8	Fair condition but crown deteriorated	Replace log crown
North Wall Logs	Right of Chimney	
1	Missing	Replace
2	Severe decay	Replace
3	Decay and checking	Clean, borate, epoxy
4	Decay and checking	Dutchman repair; clean, borate, epoxy
5	Fair condition	
6	Minor decay	Clean, Borate and epoxy repair
7	Fair condition	

D.A. Hull Cabin Wall Log Condition (table 2 cont'd)		
North Wall Logs	Left of Chimney	
	Condition	Recommendations
1	Severe deterioration	Replace
2-7	Minor deterioration	Clean, borate and epoxy repair

Materials List for D.A. Hull Cabin (table 3)			
Roof (440'sq)	Materials	Quantity	Cost Materials
	Rafters, collar ties 2x6"x12'	42@\$6.22 ea	\$262
	decking, 1/2" plywood (plytanium)	16@\$13.5	\$216
	Ice and water dam (200' sq ea)	3@\$66ea	\$198
	Cedar breather (200 sq'per roll)	3@\$130	\$390
	Cedar Shingles per square	6 sq@ \$200 ea	\$1200
	Red cap nails 3/4"	15 lb	\$15
	6d galvanized nails	40lbs	\$125
	Galvanized ridge cap	3@10'@\$16.5 ea	\$50
	Drip edge	50lf@\$1.97/10'	\$10
		Total	\$2,466

Wall Materials List for D.A. Hull Cabin (table 4)		
Materials	Quantity	Cost-Materials
Hewn logs 22'	4@\$200 ea	\$800
Hewn logs 20'	2@\$200	\$400
Hewn logs 6-10' lengths	8@\$100	\$800
Log crown replacement	1@\$300	\$300
Clean, borate and epoxy repair	9	
Timber loc screws 18"	50	\$60
Sand, clean, sharp	1 yard	\$25
Lime-Type s	8 bags/50lbs@\$12ea	\$96
White cement	2 bags/90lbs@\$22 ea	\$44
Agricultural gypsum	2 bags/80lbs@\$18 ea	\$36
Boracare	5 gal.@\$106.5ea	\$532
Conserve epoxy 100	2 gal.@\$160 ea	\$320
Conserve epoxy 200	3 gal@\$95 ea	\$280
Fiberglass rebar	20' @3/4"@\$8.75/5'	\$35
Diamond Mesh, Kwik roll	13 rolls@\$9.18/roll	\$128
6d galvanized nails for mesh	30 lbs	\$100
	Total	\$3,956

D.A. Hull foundation piers, floor, and misc lumber (table 5)

Foundation Piers	Materials	Quantity	Cost
	Sonotube 12"x3'	8@11.83 ea	\$95
	Redimix (80lbs bag)	6@\$5.15 ea	\$31
	Rebar-steel #3	48 lf	\$12
	Rebar Fiber glass	3/4 " @ 5 lf	\$8.75
	Sheets galvanized metal 12"x12"	8@ \$9.34 ea	\$75
	Stone approx 3/4"	4 yd approx	\$200
Floor	Concrete Block	24 blk @\$1.70 ea	\$41
	2"x8" Joist hangers	24@ \$1.05 ea	\$25
	2"x8"x12' joists	20@\$5.99	\$120
	Joist hanger nails, fastners straps		\$20
	Quickcrete .6 cu bags	24bags@\$3.65	\$88
Bracing, supports	2"x6"x12'	5@7.20	\$36
	2"x4"x12'	10@4.20	\$42
	2"x10"x16"	10@\$14.36	\$143.60
Misc fastners	Duplex nails, 16p	10lbs @ \$30	\$30
	12d common	10lbs@\$23 ea	\$23
			\$990

D.A. Hull Total Cost Estimate (table 6)

Approximate cost of materials for the D.A. Hull Cabin	
Wall logs and wall repairs	\$3,956
Roof	\$2,466
Piers, floor	\$990
Equipment rental: dumpster, fork lift, scaffolding	\$1,800
Total	\$9,212

Grand total: \$30,912

Approximate cost of contracted labor for D.A. Hull	
Wall logs: replace 6 full, 8 half logs, one crown. Re- pair 9	\$5,000
Roof	\$3,000
Piers, floor	\$2,000
Cabin disassembly and reassembly	\$4,000
Daub the cabin	\$4,200
Insurance, FICA,	\$3,500
Total	\$21, 700

William Herleman Cabin

This is a one story rectangular cabin constructed of hewn logs. Corners are steeple notched and there are large chink spaces between the logs, a common feature of cabins in the village. Logs are 10-11" at the butt and 8-9" at the tip. There are no penetrations in the roof. The roof is of rafter construction, built of 2x6's covered with a solid deck and 24" taper sawn shakes set 10" to the weather. The eaves are shallow and the roof leaks badly. The cabin measures approx. 18'x22'. Gables ends are board and batten. These will be salvaged and reused.

Figure 3. Herleman Cabin

The steeple notching is difficult to see because of the daubing in some corners.

Large checks and partially replaced logs are common in this cabin.



The floor gives evidence that it is settling and that the floor joists are decayed, because of the floor's uneven condition. The foundation has failed and the building is bowed in middle as a result .

The log walls are in poor condition. The logs are deeply checked, frequently over-daubed which traps moisture, and are in contact with the ground and vegetation that grows adjacent to the sills.

Moisture falling off the 530 square foot roof is not controlled. The short eaves allow rain and snow melt to drip on the walls. When roof run off drips on the ground, it splashes back on to the lower wall logs carrying dirt and debris into the cracks where a muddy past can be found that supports decay and deterioration. Repairs of these logs will necessitates disassembly.

Herleman Cabin Wall Logs Condition (table 7)		
West Wall Logs	Condition	Recommendation
1	Poor	replace
2	Poor	replace
3-8	Ok	Clean, Borate, minor epoxy repair
East Wall Logs		
1	Poor	replace
2	Poor	Replace 10' on left end and new notch
3	OK, but daubing hides much of log	Clean, borate and epoxy, possibly re-place
4	Ok with deep checks	Clean, Borate, epoxy repair
5	Ok, with deep checks	Clean, Borate, epoxy repair
6-8	OK	Clean

Herleman Cabin Wall Logs Condition (table 8)		
South Wall Logs	Condition	Recommendation
1	Poor	replace
2	Poor	Replace notch, possible Dutchman, hollow in part of the log
3	Fair	Log is in 3 sections, should be replaced
4	Poor	Replace 10' on right, splice
5	Deep checks	Clean, borate, epoxy repairs
6	Deep checks, Carpenter Bees	Clean, borate, epoxy repairs
7	ok	
North Wall Logs		
1	Poor	replace
2	Poor, is in 4 pieces	Replace with whole log
3	Poor, large checks filled with daubing	Replace the log, hollow behind daubing
4	Fair with large checks	Clean, borate, epoxy repair
5	Fair with large checks	Clean, borate, epoxy repair
6	Fair with large checks	Clean, borate, epoxy repair
7	Fair with large checks	Clean, borate, epoxy repair

Materials List for Herleman Cabin (table 9)			
Roof (530' sq)	Materials	Quantity	Cost Materials
	Rafters, 2x6"x10'	46@\$5.13 ea	\$236
	Collar ties 2"x6"x10	23@5.13 ea	\$118
	decking, 1/2" CDX plywood	20@13.50 ea	\$270
	Ice and water dam (200'sq/roll)	3 @\$66 ea	\$198
	Cedar breather	3@\$130 ea	\$390
	Cedar Shingles (100' sq/square)	8@\$200 ea	\$1,600
	Red cap nails 3/4"	15 lbs	\$15
	6d galvanized nails	40lbs	\$125
	Galvanized ridge cap	5@10' ea/\$16.5 ea	\$83
	Interleafed flashing	5 rolls @\$23 ea	\$115
	Drip edge	9@10lf ea@\$1.97 ea	\$18
		Total	\$3,168

Wall Materials List for Herleman Cabin (table 10)		
Materials	Quantity	Cost-Materials
Hewn logs 20'	3@\$200	\$600
Hewn logs 24'	5@\$300	\$1,500
Hewn logs 10' lengths	2@\$100	\$200
Log crown replacement	1@\$300	\$300
Clean, borate and epoxy repair	15	
Timber loc screws 18"	50	\$60
Sand, clean, sharp	1 yard	\$25
Lime-Type s	8 bags/50lbs@\$12 ea	\$96
White cement	2 bags/90lbs@\$22	\$66
Agricultural gypsum	2 bags/80lbs@ \$18 ea	\$36
Boracare	4 gal. @\$106.50	\$426
Conserve epoxy 100	2 gal. @\$160/gal	\$320
Conserve epoxy 200	3 gal. @\$95/gal	\$285
Fiberglass rebar	20' 3/4" @\$8.75/5 '	\$35
Diamond Mesh, Kwik roll	13 rolls @\$9.18/roll	\$128
6d galvanized nails for mesh	30 lbs	\$100
	Total	\$4,177

Herleman Cabin foundation piers, floor, and misc lumber (table 11)

Foundation Piers	Materials	Quantity	Cost
	Sonotube 12"x3'	6@11.83 ea	\$71
	Quickcrete (80lbs bag)	5@\$5.15 ea	\$26
	Rebar-steel #3	48 lf	\$12
	Rebar Fiber glass	3, 3/4 " @ 5 lf ea	\$27
	Sheets galvanized metal 12"x12"	6@ \$9.34 ea	\$55
	Stone approx 3/4"	3 yd approx	\$150
Floor	Concrete Block	24 blk @\$1.70 ea	\$41
	2"x8" Joist hangers	74@ \$1.05 ea	\$78
	2"x8"x12' joists	40@\$8.24	\$330
	Joist hanger nails, fastners straps		\$20
	Quickcrete .6 cu bags	24bags@\$3.65	\$88
Bracing, supports	2"x6"x12'	5@7.20	\$36
	2"x4"x12'	10@4.20	\$42
	2"x10"x16"	10@\$14.36	\$143.60
Misc fastners	Duplex nails, 16p	10lbs @ \$30	\$30
	12d common	10lbs@\$23 ea	\$23
			\$1,173

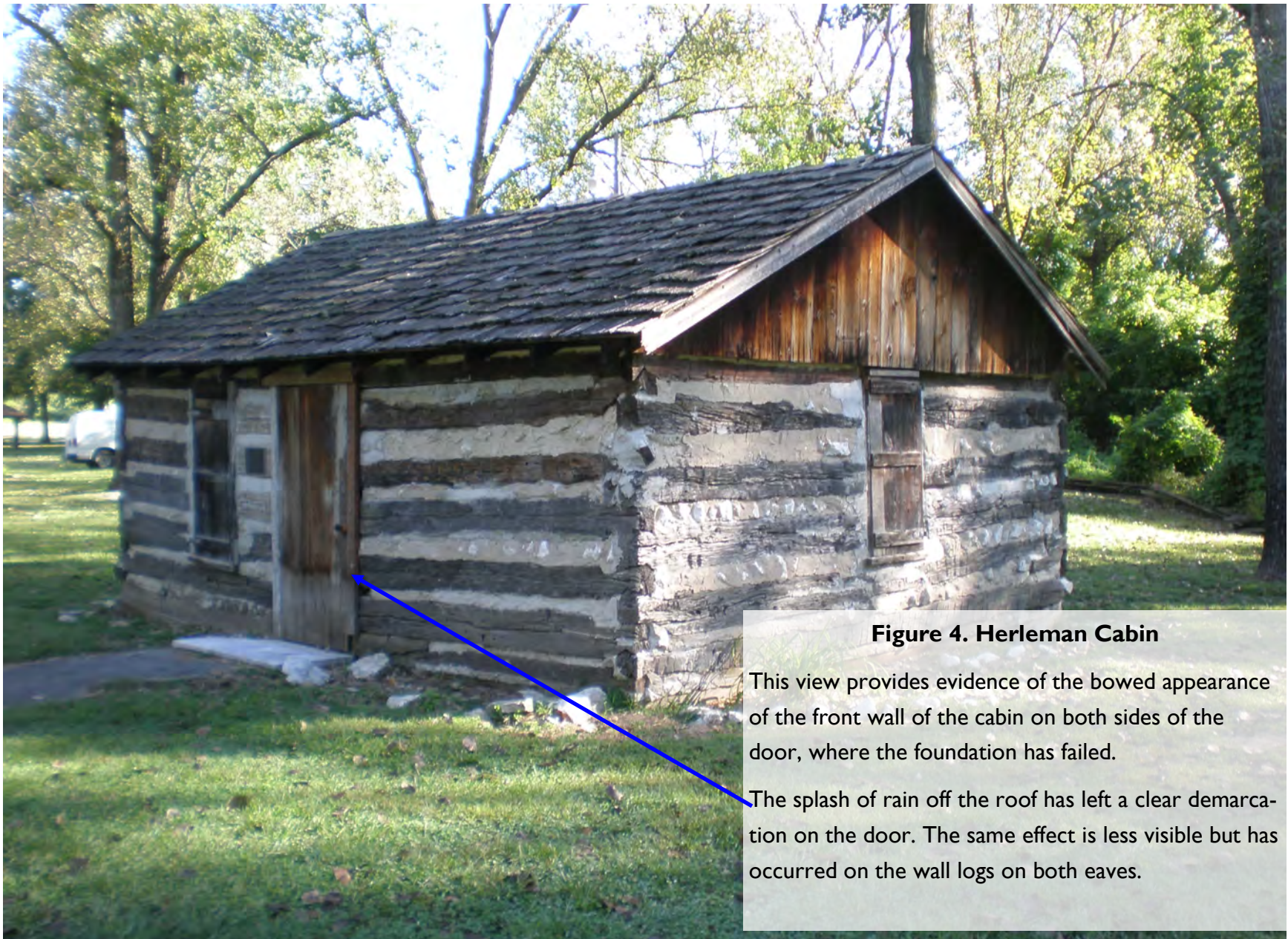


Figure 4. Herleman Cabin

This view provides evidence of the bowed appearance of the front wall of the cabin on both sides of the door, where the foundation has failed.

The splash of rain off the roof has left a clear demarcation on the door. The same effect is less visible but has occurred on the wall logs on both eaves.

Herleman Cabin Total Cost Estimate (table 12)

Approximate cost of materials for the Herleman Cabin	
Wall logs and wall repairs	\$4,177
Roof	\$3,168
Piers, floor	\$1,173
Equipment rental: dumpster, fork lift, scaffolding	\$1,800
Total	\$10,318

Grand total: \$35,818

Approximate cost of contracted labor for the Herleman Cabin	
Wall logs: replace 8 full, 2 half logs, one crown. Repair 16	\$7,800
Roof	\$4,000
Piers, floor	\$2,000
Cabin disassembly and reassembly	\$4,000
Daub the cabin	\$4,200
Insurance, FICA,	\$3,500
Total	\$25,500

The Clat Adams Cabin

This is a single story, rectangular cabin, measuring about 18' x 26'6" ; its walls are hewn logs with square notches. The chink spaces are large and the building is heavily daubed. The cabin has three small windows and a door on both eaves. The south wall has a small window in it at present, but a series of cuts through the wall logs suggests that a door may have been planned for this location. The north wall is a jumble of partial logs and log chinking making this wall less stable. The building is in considerable distress as it is listing and has two, somewhat bowed walls. Gable ends are board and batten with mixed dimension 1" boards and trapezoidal battens. Gable ends will be salvaged and replaced.

The cabin has a simple rafter roof constructed with dimensional lumber and a nearly solid deck, covered with taper sawn shakes set 9-10" to the weather. The roof has no penetrations. The eaves are very shallow and the soffit is partially enclosed. Recently, measures were taken to stabilize the cabin. A foundation was installed under the cabin consisting of pressure treated lumber set on concrete piers. At the same time the cabin was reinforced by sandwiching part of the front wall between 2x12" boards that were bolted together. Some planking has been attached to the interior walls that appears to be an attempt to add additional strengthening. The interior has three rooms and is partially finished in traditional lathe and plaster. It was not possible to inspect the interior as it was choked with piled furniture. As the interior is disassembled the lathe and plaster and intervening walls will be demolished. The walls will be rebuilt on the interior, but the Friends will need to decide if the lathe and plaster should be rebuilt as originally built, if plaster over diamond mesh is acceptable or if sheet rock can be substituted. Measurements for materials needed to replace these plaster walls will have to be collected after the contents of the cabin have been removed.

The Clat Adams currently sits below grade. When the wooden foundation was installed no effort was made to lift the building to be even with the ground surface. Instead it appears that an excavation under the cabin was dug to install the foundation; this left the building sitting in a low spot that collects water. The only way to remedy this is to disassemble the building, fill the low area and bring the building up to be even with the surrounding surface. Of course the building could be built adjacent to its present location.

Figure 5. Clat Adams Cabin

This view shows several of the issues with this building.

Heavy daubing filling chink space and checks in logs.

Temporary wooden foundation on cement block.



Sandwiched wall where several logs are unstable or decayed.

Figure 6. Clat Adams Cabin

This wall is a complicated jumble of whole logs, partial wall logs, large wooden chinking, and daubing used freely both to fill the chink space and to fill checks in the logs.

Temporary wooden foundation on cement block





**Figure 7. Clat Adams
Cabin**

Furniture filled interior.

Clat Adams Cabin Wall Logs Condition (table 13)		
East Wall Right Side Logs	Condition	Recommendation
1-5	Large checks and daubing issues	Clean, borate, epoxy repair
6-7	Ok	
East Wall Left Side Logs		
1	Poor	Replace
2	Poor	Replace
3	Poor	Replace
4	Large checks, hollow spots	Clean, borate and extensive epoxy or Dutchman patches
5	Large checks, poor condition	Clean, borate, epoxy repair
6	Large checks, poor condition	Clean, borate, epoxy repair
7	Large checks, poor condition, daubing issues	Clean, borate, extensive epoxy repair
8	Large checks, poor condition, spliced already	Clean, borate, epoxy repair; possible replacement needed

Clat Adams Cabin Wall Logs Condition (table 14)		
West Wall Logs right side	Condition	Recommendation
1	Poor	Replace
2	Fair	Clean, borate, epoxy repair
3-7	OK	
8	Fair, bug damage	Clean and inspect further
9	Ok	
West Wall Logs left side		
1	Poor	Replace
2	Large checks and hollow spots	Attempt repair or replace
3-9	OK	

Clat Adams Cabin Wall Logs Condition (table 15)		
North Wall Logs	Condition	Recommendation
1	Poor	Replace
2	Poor	Replace
3	In three sections	Recommend replacing
4	Hollow area in center of log	Attempt extensive epoxy repair or Dutchman
5	Large checks and bug damage	Clean, further inspection and repair
6-8	Large checks and daubing issues	Clean, borates and epoxy repair
South Wall Logs, left side		
1-3	Large checks	Clean, borate and epoxy repair
4-6	OK	
7	Large check	Clean, borate and epoxy repair
8-9	OK	
South Wall Logs, right side		
1-2	Fair	These logs do not mate or match
3-9	OK	Repair large check in #7

Wall Materials List for Clat Adams Cabin (table 16)		
Materials	Quantity	Cost-Materials
Hewn logs 16'@ 7-9" dia	6@\$200	\$1200
Hewn logs 20"@7-9" dia	3@\$250 ea	\$750
Dutchman repairs	2@\$150	\$300
Clean, borate and epoxy repair	2l	
Timber loc screws 18"	50	\$60
Sand, clean, sharp	1 yard	\$25
Lime-Type s	8 bags/50lbs@\$12ea	\$96
White cement	2 bags/90lbs@\$22ea	44
Agricultural gypsum	2 bags/80lbs@\$18 ea	\$36
Boracare	5 gal.@\$106.5	\$533
Conserve epoxy 100	3 gal.@\$160 ea	\$480
Conserve epoxy 200	4 gal@\$95 ea	\$380
Fiberglass rebar	40' 3/4"\$8.75/5'	\$70
6d gal nails for mesh install	30lbs	\$100
Diamond Mesh, Kwik Roll	13rolls@\$9.18/roll	\$128
Materials for plaster walls	Not known	
	total	\$4,202

Materials List for Clat Adams Cabin (table 17)			
Roof (430'sq)	Materials	Quantity	Cost Materials
	Rafters, collar ties 2"x6"x10'	45@\$5.15 ea	\$231
	decking, 1/2" CDX plywood	15@\$13.5	\$203
	Ice and water dam	3@\$66 ea	\$198
	Cedar breather	3@\$130 ea	\$390
	Cedar shingles	6@\$200/sq	\$1200
	Red cap nails 3/4"	15 lb	\$15
	6d galvanized nails	40lbs	\$125
	Interleafed galvanized metal	3rolls@\$23 ea	\$72
	Galvanized ridge cap	3@10'@\$16.5 ea	\$50
	Drip edge	6@10lf ea@\$1.97/10 lf	\$12
		total	\$2,496

Clat Adams Cabin foundation piers, floor, and misc lumber (table 35)

Foundation Piers	Materials	Quantity	Cost
	Sonotube 12"x3'	6@11.83 ea	\$71
	Quickcrete (80lbs bag)	5@\$5.15 ea	\$26
	Rebar-steel #3	48 lf	\$12
	Rebar Fiber glass	3, 3/4 " @ 5 lf ea	\$27
	Sheets galvanized metal 12"x12"	6@ \$9.34 ea	\$55
	Stone approx 3/4"	3 yd approx	\$150
Floor	Concrete Block	30 blk @\$1.70 ea	\$51
	2"x8" Joist hangers	81@ \$1.05 ea	\$85
	2"x8"x12' joists	48@\$8.24	\$396
	Joist hanger nails, fastners straps		\$20
	Quickcrete .6 cu bags	24bags@\$3.65	\$88
Bracing, supports	2"x6"x12'	5@7.20	\$36
	2"x4"x12'	10@4.20	\$42
	2"x10"x16"	10@\$14.36	\$143.60
Misc fastners	Duplex nails, 16p	10lbs @ \$30	\$30
	12d common	10lbs@\$23 ea	\$23
			\$1,256

Clat Adams Cabin Total Cost Estimate (table 12)

Approximate cost of materials for the Clat Adams Cabin	
Wall logs and wall repairs	\$4,202
Roof	\$2,496
Piers, floor	\$1,256
Equipment rental: dumpster, fork lift, scaffolding	\$1,800
Total	\$9,754

Grand total: \$36, 754

Approximate cost of contracted labor for the Clat Adams Cabin	
Wall logs: replace 9 ; clean and epoxy treat 22	\$9,300
Roof	\$4,000
Piers, floor	\$2,000
Cabin disassembly and reassembly	\$4,000
Daub the cabin	\$4,200
Insurance, FICA,	\$3,500
Total	\$27,000

The Fraser Cabin

This cabin is a hewn log structure with square and steeple notches. It measures roughly 18'x20' and has a gable roof with an extended eave to create a covered entry way. Three post support the extended eave. Its roof was added when the building was moved here over 25 years ago and it is assumed that the shape of the original roof was retained when the new roof was built. The present roof is constructed of 1"x6" rafters with skip sheeting and taper sawn shakes laid 10" to the weather. The roof is slightly over 800 square feet. The building is in fair condition. Walls are bowed and there are numerous logs that need to be repaired or replaced. Many of the logs are over daubed and checks have been filled with mortar, possibly hiding decay.

Figure 8. Fraser Cabin

The cabin is heavily daubed and on the north wall daubing has been substituted for a half log below the spandrel.



The building could not be entered without breaking the door or the door frame or both. No information is available on the condition of the interior including the floor. There are small windows on the north and east wall and doors on the east and west door. Shutters cover the windows. Board and batten gables finish the cabin; these will be salvaged for reinstallation.

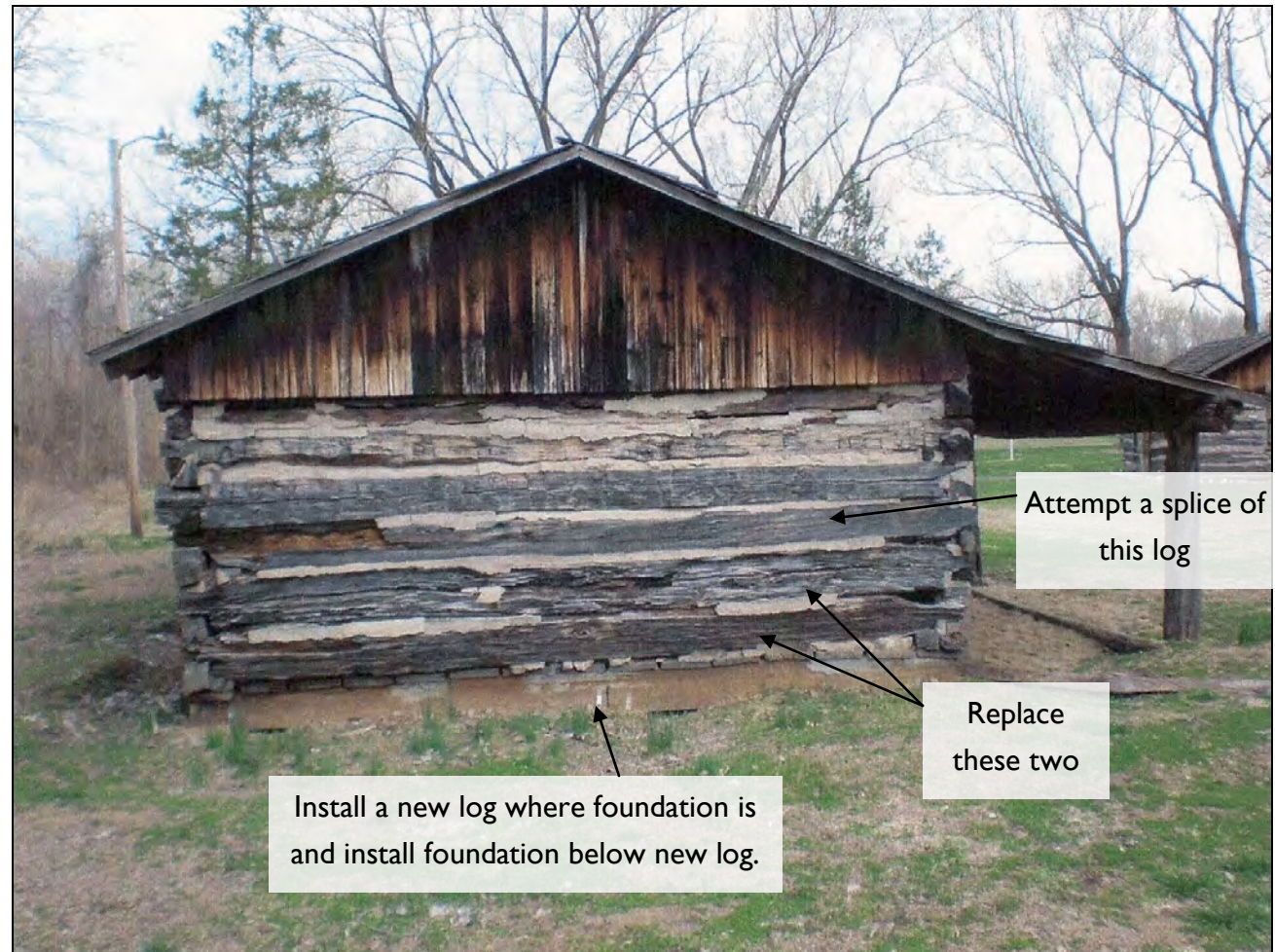
The cabin has had a temporary pressure treated wooden foundation that rests on large concrete blocks. The contractor that installed this foundation apparently excavated beneath the cabin. The cabin was not raised back to the surrounding ground surface and remains 1'6" feet below grade. Disassembly will allow for the hole to be filled in, and a new foundation constructed that will keep the building even with the current surface. The cabin could also be rebuilt adjacent to this location, ignoring the hole.

There appears to be an entire course of logs missing. The floor rests on the foundation as does the sill. Below the spandrel where a half log should be fitted, daubing has been placed directly on the protruding floor boards. This log and daubing mismatch fosters decay. When the cabin is rebuilt, these mistakes will be fixed and the will stand near its original (ca.1970) height. The tables document the needed logs.

Fraser Cabin Wall Logs Condition (table 20)		
West Wall Logs left side	Condition	Recommendation
1	Missing	Add new log
2	Checks and problems with the	Clean, borate, and epoxy repair
3	Several larger checks	Clean, borate, and epoxy repair
4	OK	
5	Checks	Clean, borate, and epoxy repair
6-8	OK	
West Wall Logs right side		
1	Missing	Add
2-8	OK	

Figure 9. Fraser Cabin

The south wall exhibits serious deterioration. The lower three logs need to be replaced on this wall. The 4th log needs to be spliced to retain historic character. The daubing in other logs may hide other serious problems.



Fraser Cabin Wall Logs Condition (table 21)		
East Wall Logs left side	Condition	Recommendation
1	missing	replace
2	Poor, missing notch	replace
3	Poor	replace
4	Several checks	Clean, borate epoxy repair
4-6	Right of window-RR ties	replace
5-6	Checks	Clean, borate, epoxy repair
7-9	OK	
East Wall Logs right side		
1	Missing	Replace
2-5	Ok minor checks	Clean, borate, epoxy repair
6	Some rot on right end	Dutchman repair
7-9	OK	

Fraser Cabin Wall Logs Condition (table 22)		
South Wall Logs	Condition	Recommendation
1	Missing	replace
2	Poor	replace
3	Poor	replace
4	Fair	Splice on end 8'
5	Large checks	Clean, borate, epoxy repair
6-7	Checks	Clean, borate, epoxy repair
North Wall Logs		
1	Missing	replace
2	OK	
3	OK	
4	Poor-hollow	replace
5-7	OK	

Wall Materials List Fraser Cabin (table 23)		
Materials	Quantity	Cost-Materials
Hewn logs @ 22'	4@\$200	\$800
Hewn logs @20'	3@\$200	\$600
Hewn logs 8-10' lengths, inclds 3 RR ties	3@\$150	\$450
Log crown replacement	1@\$300	\$300
Dutchman patch	1@\$150	\$150
Clean, borate and epoxy repair	8	
Timber loc screws 18"	50	\$60
Sand, clean, sharp	1 yard	\$25
Lime-Type s	8 bags/50lbs@\$12 ea	\$96
White cement	2 bags/90lbs@@22 ea	\$44
Agricultural gypsum	2 bags/80lbs@\$18 ea	\$36
Boracare	4 gal.@\$106.50	\$426
Conserve epoxy 100	2 gal.@\$160 ea	\$320
Conserve epoxy 200	3 gal@\$95 ea	\$285
Fiberglass rebar	30' 3/4"@\$8.75/5'	\$53
Diamond Mesh Kwik Roll	13rolls@\$9.18/roll	\$128
6d galvanized nails	30lbs	\$100
	total	\$3,873

Materials List for Fraser Cabin (table 24)			
Roof (750'sq)	Materials	Quantity	Cost Materials
	Rafters, collar ties, 2x6"10'	56@\$6.22 ea	\$292
	decking, 1/2" CDX plywood	25@\$13.2	\$330
	Ice and water dam	4@\$66 ea	\$264
	Cedar breather	4@\$130	\$520
	Cedar Shingles per square	10@\$200 ea	\$2000
	Red cap nails 3/4"	20lbs	\$20
	6d galvanized nails	50lbs	\$150
	Drip edge	6@\$1.97/10lf	\$18
	Interleafed galvanize metal	4 rolls@\$23 ea	\$92
	Galvanized ridge cap	3@10'ea@\$16.5 ea	\$50
		total	\$3,736

Fraser Cabin foundation piers, floor, and misc lumber (table)

Foundation Piers	Materials	Quantity	Cost
	Sonotube 12"x3'	6@11.83 ea	\$71
	Quickcrete (80lbs bag)	5@\$5.15 ea	\$26
	Rebar-steel #3	48 lf	\$12
	Rebar Fiber glass	3, 3/4 " @ 5 lf ea	\$27
	Sheets galvanized metal 12"x12"	6@ \$9.34 ea	\$55
	Stone approx 3/4"	3 yd approx	\$150
Floor	Concrete Block	24 blk @\$1.70 ea	\$41
	2"x8" Joist hangers	66@ \$1.05 ea	\$70
	2"x8"x12' joists	32@\$8.24	\$264
	Joist hanger nails, fastners straps		\$20
	Quickcrete .6 cu bags	24bags@\$3.65	\$88
Bracing, supports	2"x6"x12'	5@7.20	\$36
	2"x4"x12'	10@4.20	\$42
	2"x10"x16"	10@\$14.36	\$143.60
Misc fastners	Duplex nails, 16p	10lbs @ \$30	\$30
	12d common	10lbs@\$23 ea	\$23
			\$1,099

Fraser Cabin Total Cost Estimate (table 26)

Approximate cost of materials for the Fraser Cabin	
Wall logs and wall repairs	\$3,837
Roof	\$3,735
Piers, floor	\$1,099
Equipment rental: dumpster, fork lift, scaffolding	\$1,800
Total	\$10,471

Grand total: \$38,571

Approximate cost of contracted labor for the Clat Adams Cabin	
Wall logs: replace 9 ; clean and epoxy treat 22	\$9,300
Roof	\$5,000
Piers, floor	\$2,300
Cabin disassembly and reassembly	\$4,000
Daub the cabin	\$4,000
Insurance, FICA,	\$3,500
Total	\$28,100

The Corn Crib

This is a spectacular building. It is a double pen, dog-trot barn with an extended gable. The wall logs are hewn and dove tail notched. The pens are shorter than other cabins measuring not more than 15' in length, and as short as 28 inches. There are three doors in the 2 pens. These doors are supported with bolted interior framing that is failing. The pens are tipping over, in part because of the weigh of the roof and because of the failure of the sill logs. The building is rotating northward. The building is not daubed and the pens are in poor condition. There are extensive log repairs and several log replacements needed in both pens.

The existing pens were constructed differently in that the sills and spandrel logs appear reversed from one pen to the other. In the south end of the building there is a notched wall log that indicates that the building had a loft or some other type of second story. There is no additional information on this loft. The roof is of modern construction with a solid deck, inter-leafed felt paper with shakes laid 10" to the weather. The roof measures approximately 1550 feet square. The gables are covered with 1"x10" and 1"x12" boards. These can be saved and reused A variety of new material has been installed on the top of the pens (pony walls) to make the roof level. The extended gable is supported with new material as well. The roof is failing; shortly it will develop holes that will soak the interior. The floors are new construction but can be salvaged when the cabins are rebuilt.

The corn crib has been used as a storage location for both historic artifacts and fencing materials. The contents of the cabins need to be examined, assessed, determined it is important for the history of Quincy and donated to whoever can best manage these historic items. These are not items that will lessen the burden of managing the cabins in the village unless they can be converted into cash or good will. There is also considerable debris around the cabin. This should be cleared away and all materials that has been placed along side of, or under the gable taken to the dump, burned or given away. The building is heavily shaded and to the extent possible the surrounding brush and overhanging limbs pruned back. Sun-light and air will help keep the repaired/restored corn crib in better condition.



Figure 10. Corn Crib. This image shows the 2 pens as they lean to the north. The roof has exceeded its useful life, and two pens contain material that should be disposed of appropriately.

Figure 11. Corn Crib. This view of the building shows the old plate log that is not mate on the opposite wall.

Recent bracing attempting to stop the slow roll-over of the logs to the north.

Debris and vegetation around the building that needs to be removed.

Nicely made dove tail notches.





Figure 12. Corn Crib. Issues with the roof are visible in this image. The pony wall that was constructed to level the roof is visible here.

The bolted framework with wooden washers at each door is noted here.

Roof problems are only hinted at in this image but water coming off the roof has caused the plate log's deterioration.

Other logs in poor condition are also visible.

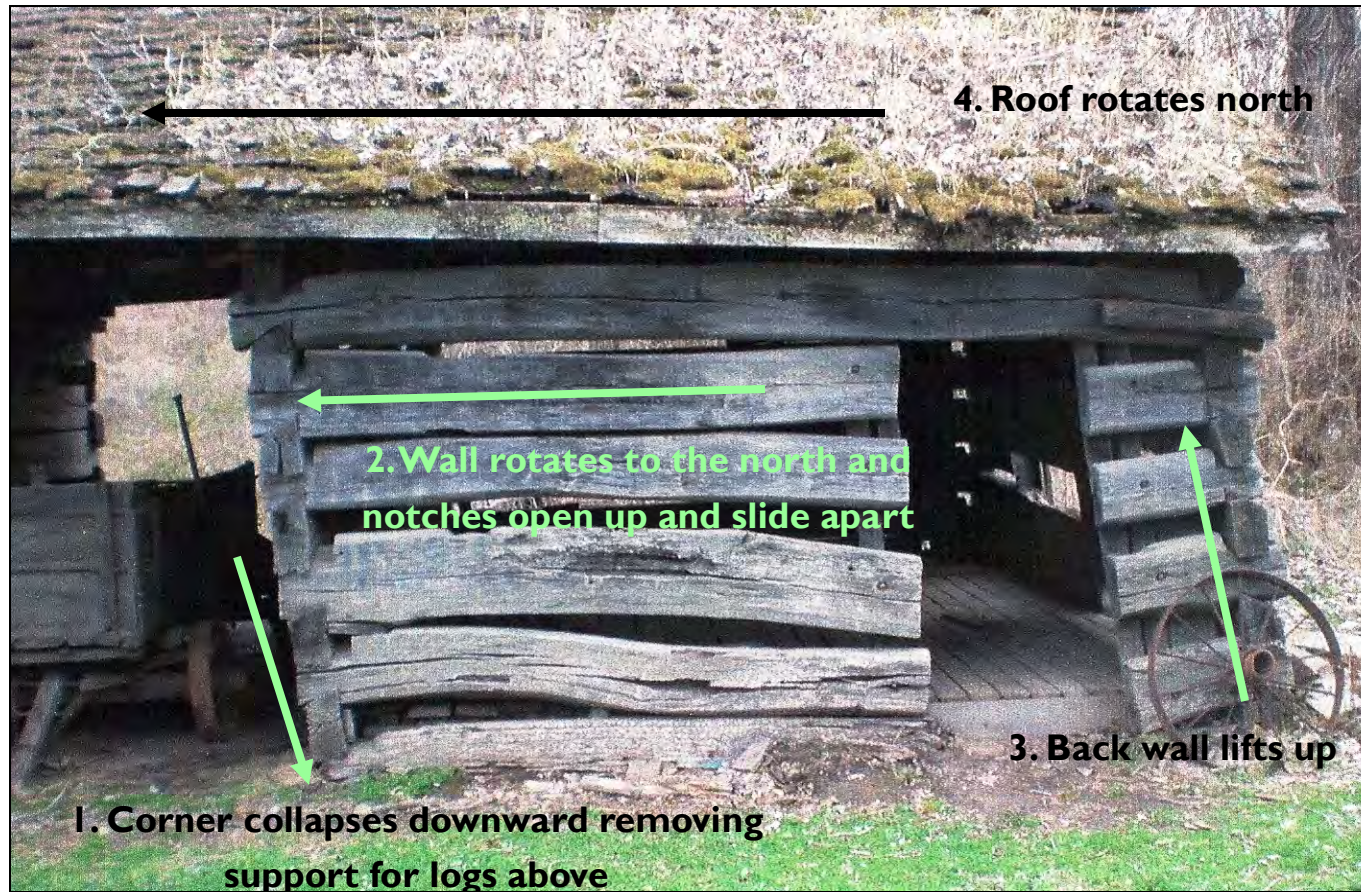


Figure 13. Corn Crib. As the sill log decays and no longer supports the logs above it, the building starts to pull itself apart.

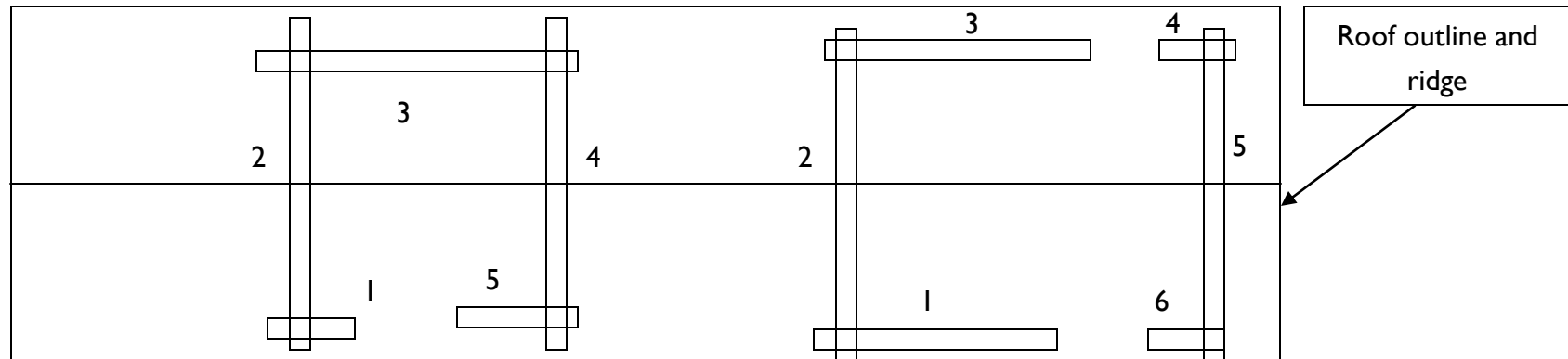


Figure 14. Corn Crib. Sketch map, not too scale.
Wall numbering layout for log condition tables.

Corn Crib, North Pen Wall Logs Condition (table 27)		
Wall 1 Logs	Condition	Recommendation
1	Poor	replace
2-4	ok	
5	Spans whole wall, bug damage	Clean, borate and epoxy repair
6	This is a new sawn log	Continue to use or replace with hewn log
Wall 2 Logs		
1	Poor	Replace
2	Fair	Clean, borate and epoxy repair
3	Ok	
4	Fair, checks	Clean, borate and epoxy repair
5	ok	
6	This is a new log, not notched to fit	Replace or attempt to notch and reuse
Wall 3 Logs		
1	Poor	replace
2	Fair to Poor	Clean, borate, epoxy repair
3	Poor	replace
4-5	OK	
6	This is a new sawn log	Continue to use or replace with hewn log

Corn Crib, North Pen Wall Logs Condition (table 28)		
Wall 4 Logs	Condition	Recommendation
1	Poor	replace
2	Fair to poor	Clean, borate and epoxy repair
3	Poor	replace
4-5	OK	
6	This is a new sawn log	Continue to use or replace with hewn log
Wall 5 Logs		
1	Poor	Replace
2	Fair to Poor	Clean, borate and epoxy repair
3-5	OK	
6	Same log as noted in north pen wall 1	

Corn Crib South Pen Wall Logs Condition (table 29)		
Wall 1 Logs	Condition	Recommendation
1	Poor	replace
2	Poor	replace
3	Heavily checked	Clean, borate and epoxy repair
4-5	OK	
6	OK, the plate log, full span	
Wall 2 Logs		
1	Fair	Clean, borate and epoxy repair
2-4	OK	
5	Center of log has been cut away	Consider replacing and reusing existing end pieces elsewhere
6	This is a piece of sawn timber	Continue to use or replace with hewn log

Corn Crib South Pen Wall Logs Condition (table 30)		
Wall 3 Logs	Condition	Recommendation
1	Poor	replace
2	Poor	Attempt to clean, borate and epoxy repair
3	Poor	replace
4	Poor	Attempt to clean, borate and epoxy repair
5	Poor	Clean, borate and epoxy repair
6	Poor, full span log	replace
Wall 4 Logs		
1	Poor	Replace
2-5	OK	
Wall 5 Logs		
1	Fair, large check	Attempt to clean, borate and epoxy repair
2	Fair to poor	Attempt to clean, borate and epoxy repair
3	Fair to poor	Attempt to clean, borate and epoxy repair
4	Poor	Attempt to clean, borate and epoxy repair
5-6	Ok, includes old plate with joist pockets	

Corn Crib <u>South Pen</u> Wall Logs Condition (table 31)		
Wall 6 Logs	Condition	Recommendation
1	Poor-missing	replace
2-5	OK	
6	Same log noted in wall 1	

Wall Materials List for Corn Crib Walls (table 32)		
Materials	Quantity	Cost-Materials
Hewn logs 22' lengths (inclds replacement for sawn timbers in plate logs)	6@\$200	\$1,200
Hewn logs 6-10' lengths	10@\$150	\$1,500
Hewn logs 3' lengths	3@\$100	\$300
Clean, borate and epoxy repair	14 some of which may have to be replaced	
Timber loc screws 18"	150	\$180
Galvanized ridge cap	5@10'@16.5 ea	\$83
Boracare	6 gal.@\$106.6 ea	\$639
Conserve epoxy 100	4 gal.@\$160 ea	\$640
Conserve epoxy 200	6 gal@\$95	\$570
Fiberglass rebar	10' of 3/4"@\$8.75	\$18
Drip Edge	90'@\$1.97/10'	\$180
Roll galvanized metal	8@\$23 ea	\$184
	total	\$5,494

Materials List for Corn Crib Cabin (table 33)			
Roof (1540'sq)	Materials	Quantity	Cost Materials
	Rafters & collar ties 2"x6"x16'	132@\$8.33 ea	\$1100
	decking, 1/2" CDX plywood	50@\$13.5 ea	\$675
	Ice and water dam	8@\$66 ea	\$528
	Cedar breather	8@\$130 ea	\$1040
	Cedar Shingles (100' sq/square)	20sq@\$200/ ea	\$4000
	Red cap nails 3/4"	45 lbs	\$45
	6d galvanized nails	120 lbs	\$675
	Interleafed flashing (25'roll)	8@\$23 ea	\$184
	Drip edge	10@10 lf ea@\$1.97	\$20
		total	\$8,267

Fraser Cabin foundation piers, floor, and misc lumber (table 35)

Foundation Piers	Materials	Quantity	Cost
	Sonotube 12"x3'	11@11.83 ea	\$133
	Quickcrete (80lbs bag)	10@\$5.15 ea	\$52
	Rebar-steel #3	100 lf	\$25
	Rebar Fiber glass	7, 3/4 " @ 5 lf ea@\$8.75	\$61
	Sheets galvanized metal 12"x12"	11@ \$9.34 ea	\$103
	Stone approx 3/4"	6 yd approx	\$300
Floor	2"x8"x16'	21@\$13.10 ea	\$275
	2"x8" Joist hangers	40@ \$1.05 ea	\$42
	2"x8"x10 joists	21@\$8.24	\$173
	Joist hanger nails, fastners straps		\$40
	Quickcrete .6 cu bags	48bags@\$3.65	\$175
Bracing, supports	2"x6"x12'	5@7.20	\$36
	2"x4"x12'	10@4.20	\$42
	2"x10"x16"	10@\$14.36	\$143
Misc fastners	Duplex nails, 16p	10lbs @ \$30	\$30
	12d common	10lbs@\$23 ea	\$23
			\$1,653

Corn Crib Estimated Total Cost (table 35)

Approximate cost of materials for the Corn Crib	
Wall logs and wall repairs	\$5,494
Roof	\$8,267
Piers, floor	\$1,653
Equipment rental: dumpster, fork lift, scaffolding	\$1,800
Total	\$17,214

Grand total: \$50,014

Approximate cost of contracted labor for the Corn Crib	
Wall logs: replace 9 ; clean and epoxy treat 22	\$9,300
Roof	\$11,000
Piers, floor	\$4,000
Cabin disassembly and reassembly	\$5,000
Insurance, FICA,	\$3,500
Total	\$32,800

The Log Church

Unlike the other structures at the village this building was constructed of repurposed logs from a barn. No other details are available about the barn. This is a large building measuring nearly 37'x21'. The structure is made from hewn logs, with steeple notches. The chink space between the logs is large and the amount of daubing and chinking in the space is substantial. Several logs are spliced together to span the length of the walls. The logs are heavy measuring 18" in diameter at the butt and 10-12" at the tip.

Figure 15. Log Church. This view shows several features of this building.



The building is not square at the present with lower logs sitting outside of the logs that are higher up in the stack. The roof is similar to other buildings with 2x6" rafters with skip sheeting covered with shakes laid 10" to the weather and inter-leafed with felt paper. The roof covers about 1000 square feet. The eaves are not very long and there are several logs that have been damaged by rain fall that has dripped on to them. The building, like all the others at this site floods on a decadal basis. The foundation is composed of concrete piers. Animals inhabit the area under the building. A large granite step marks the front entry .

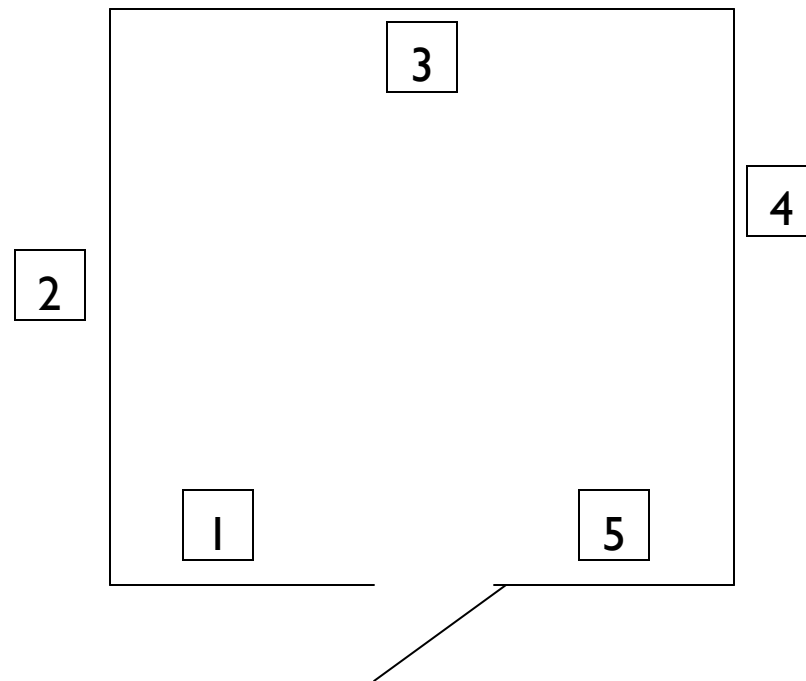


Figure 16 Log Church. This view of the church shows the spliced logs, a sill/spandrel log that is not hewn, and animal access points along the building's perimeter.

The interior of the cabin is a simple open space with hewn log benches, serving as pews and a small table that serves as an altar.

Generally, the building is in fair condition but there are significant problems with the foundation, certain wall logs and the roof. The building is subsiding into the surrounding sandy soil and this in turn has caused the lower logs to decay. The animals that burrow beneath the building no doubt contribute to this problem by undermining the stability of the foundation piers. The amount of daubing in the cabin poses a problem because one can not know for certain about decay hiding in the logs under the daubing. There remains, not so much as unknowns, but rather potential to the downside. None of the decayed logs are going to somehow be found to be in good condition, but one or two of the sound logs may have pockets of decay that will need to be treated. This is true of all of the cabins in the village.

Numbered walls of the church
correspond to following tables



Log Church Wall Logs Condition (table 36)		
Wall 1 Logs	Condition	Recommendation
1	Spandrel, fair condition	Clean, borate and epoxy repair
2	Large check	Clean, borate and epoxy repair
3	Large check	Clean, borate and epoxy repair
4	Large check	Clean, borate and epoxy repair
5	Ok , possibly did not come from barn	
Wall 2 Logs		
1	Sill, not hewn, decayed	replace
2	In three section, checked	Clean, borate and epoxy repair
3	In two sections, checked	Clean, borate and epoxy repair
4	Fair condition	Clean, borate and epoxy repair
5-6	ok	
Wall 3 Logs		
1	Spandrel, extensive decay	replace
2	Fair	Minor repairs
3	ok	
4-5	fair	Clean, borate and epoxy repair

Log Church Wall Logs Condition (table 37)		
Wall 4 Logs	Condition	Recommendation
1	decayed	replace
2	fair	minor repair
3	decayed for 5'	Replace/splice 5 feet of the log
4	fair	minor repair
5	decayed	Clean, borate and epoxy repair
6	fair	minor repair
Wall 5 Logs		
1	ok	
2	fair	Repair large check
3	fair	Repair large check
4	fair	Repair large check
5	ok	

Materials List for Log Church (table 38)			
Log repair and replacement	Materials	Quantity	Cost-Materials
	Hewn logs 39' (@ 18" dia)	2@\$400	\$800*
	Hewn logs 23" (@18"dia)	2@ \$200	\$400*
	Hewn logs 5' lengths	1	\$100*
	Log crown replacement	0	
	Clean, borate and epoxy repair	17	
	Oly log screws 16"	50	\$60
	Sand, clean, sharp	2 yard	\$50
	Lime-Type s	12 bags/50lbs@\$12 ea	\$144
	White cement	3 bags/90lbs@ \$22 ea	\$66
	Agricultural gypsum	3 bags/80lbs\$18ea	\$54
	Boracare	5 gal.@106.5/gal	\$532
	Conserve epoxy 100	3 gal.@ \$160/gal	\$480
	Conserve epoxy 200	4 gal\$95/gal	\$380
	Fiberglass rebar	20lf .75"@8.75/5'	\$35
	Diamond mesh, Kwik roll	50 rolls@ \$9.18	\$560
	6d nails for mesh, 10lbs	40lbs	\$125
	* price estimated	total	\$3,786

Log Church (table 39)			
Roof (1000'sq)	Materials	Quantity	Cost Materials
	Rafters, 2x6"x16'	40@ \$8.33 ea	\$334
	Collar ties 2"x6"x16'	20@\$8.33	\$167
	decking, 1/2" CDX plywood	33@ \$13.50 ea	\$445.50
	Ice and water dam (200' sq ea)	7@\$66	\$462
	Cedar breather	5 rolls at \$130 ea	\$650
	Cedar Shingles	13 sq @ \$300 ea	\$3900
	Red cap nails 3/4"	20lbs	\$20
	6d galvanized nails	40 lb	\$125
	Ridge cap	4@ 10" @ 16.5 ea	\$66
	Interleafed flashing	4 rolls @\$23 ea	\$92
	Drip edge	80lf@\$1.97/10'	\$16
	Total		\$6,278

Log Church foundation piers, floor, and misc lumber (table 40)

Foundation Piers	Materials	Quantity	Cost
	Sonotube 12"x3'	8@11.83 ea	\$95
	Redimix (80lbs bag)	6@\$5.15 ea	\$31
	Rebar-steel #3	48 lf	\$12
	Rebar Fiber glass	3/4 " @ 5 lf	\$8.75
	Sheets galvanized metal 12"x12"	8@ \$9.34 ea	\$75
	Stone approx 3/4"	4 yd approx	\$200
Floor	Concrete Block	24 blk @\$1.70 ea	\$41
	2"x8" Joist hangers	74@ \$1.05 ea	\$78
	2"x8"x12' joists	40@\$5.99	\$240
	Joist hanger nails, fasteners straps		\$20
	Quickcrete .6 cu bags	24bags@\$3.65	\$88
Bracing, supports	2"x6"x12'	5@7.20	\$36
	2"x4"x12'	10@4.20	\$42
	2"x10"x16"	10@\$14.36	\$143.60
Misc fasteners	Duplex nails, 16p	10lbs @ \$30	\$30
	12d common	10lbs@\$23 ea	\$23
			\$1,163

Church Estimated Total Cost (table 4I)

Approximate cost of materials for the Log Cabin Church	
Wall logs and wall repairs	\$3,786
Roof	\$6,278
Piers, floor	\$1,163
Equipment rental: dumpster, fork lift, scaffolding	\$1,800
Total	\$13,027

Grand total: \$37,427

Approximate cost of contracted labor for the Log Cabin Church	
Wall logs: replace 3, repair 15	\$5,400
Roof	\$6,000
Piers, floor	\$2,600
Cabin disassembly and reassembly	\$3,300
Daub the church	\$3,600
Insurance, FICA,	\$3,500
Total	\$24,400

Smoke House

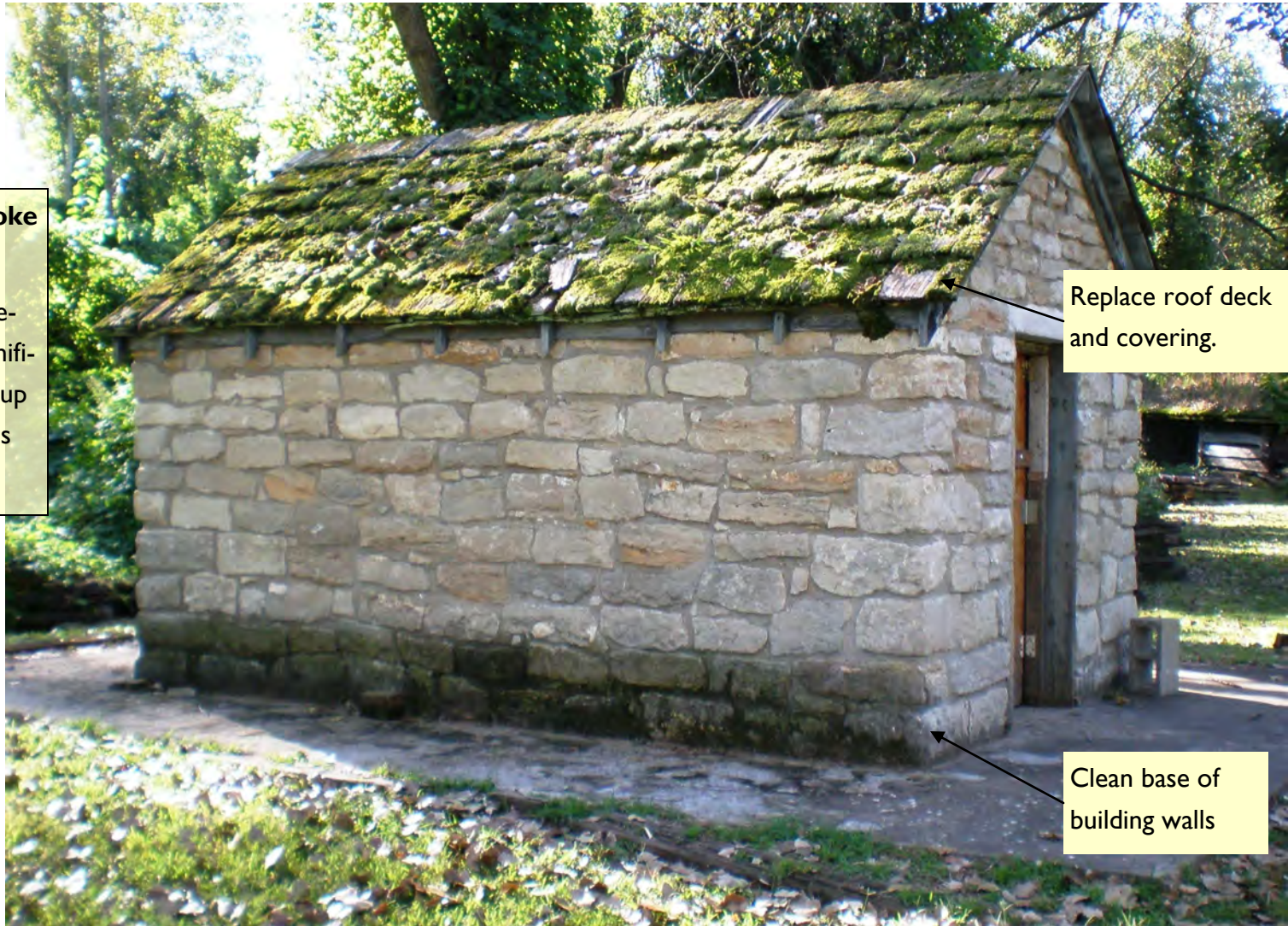
This building was probably built on site about the time that most of the other buildings were moved to this location. It is constructed of roughly squared limestone blocks and set in a hard mortar. The walls of the building are generally in good condition and need little attention. The one exception to that is the mold is growing on the north wall at the base where moisture accumulates and a lack of sunlight prevents the moisture (rain fall or snowfall) from evaporating. This area (walls and cement slab) should be

Smoke house materials list (roof)

Materials	Quantity	Cost-Materials
decking, 1/2" CDX plywood	8@ \$13.50 ea	\$108
Ice and water dam (200' sq ea)	2@\$66	\$132
Cedar breather	3 rolls at \$130 ea	\$390
Cedar Shingles	3 sq @ \$300 ea	\$900
Red cap nails 3/4"	10lbs	\$10
6d galvanized nails	20 lb	\$60
Ridge cap	2@ 10" @ 16.5 ea	\$33
Interleafed flashing	2 rolls @\$23 ea	\$46
Drip edge	40lf@\$1.97/10'	\$80
		\$1,759

Figure 17 Smoke House

Roof is fully deteriorated and significant mold build up on base of wall is apparent.



be cleaned (1 cup of bleach in 1 gallon of water and a stiff bristle brush) and then treated with a borate solution to prevent the return of the mold. The cleaning and borate treatment should be repeated annually.

The roof of the building is in poor condition but it may be possible to redeck the roof without replacing the rafters. The rafters did not appear to be seriously damaged. The one value to replacing the rafters would be to extend them slightly to move moisture further away from the building. The current use of the building for storage is does not cause any damage to the building.

Summary

Much of this assessment has been about cost. And the Friends should do everything in their capacity to undertake this work minimizing costs accomplishing the most work. It was mentioned earlier that there are unaccounted costs in the development of the figures represented for each building. The materials costs are very good estimates of what is needed to complete the repairs on these buildings. Other items that would be needed would be minor, and covered by either a contingency cost or reimbursement with the contractor.

Labor that has been outlined for each building can be obtained locally less expensively than by hiring the crew of Heritage Preservation Resources from Boise, Idaho. The only justification for hiring a crew from far away would be that they can bring a level of expertise, efficiency and quality for the work needed. This is especially true for hewing, treating, fitting and repairing the logs.

Local contractors could readily install the foundations and build the new roofs at a lower cost than an out of town crew that charges mileage, per diem, and lodging.

The cost to restore all the cabins is close to a quarter million dollars. The average cost (if the smoke house and the corn crib and its very large roof are excluded) is about \$36,000. While significant, it is not very high for such work.

Heritage Preservation Resources is willing to work with the Friends in any way that the Friends would like to suggest. All options are on the table and should be discussed.

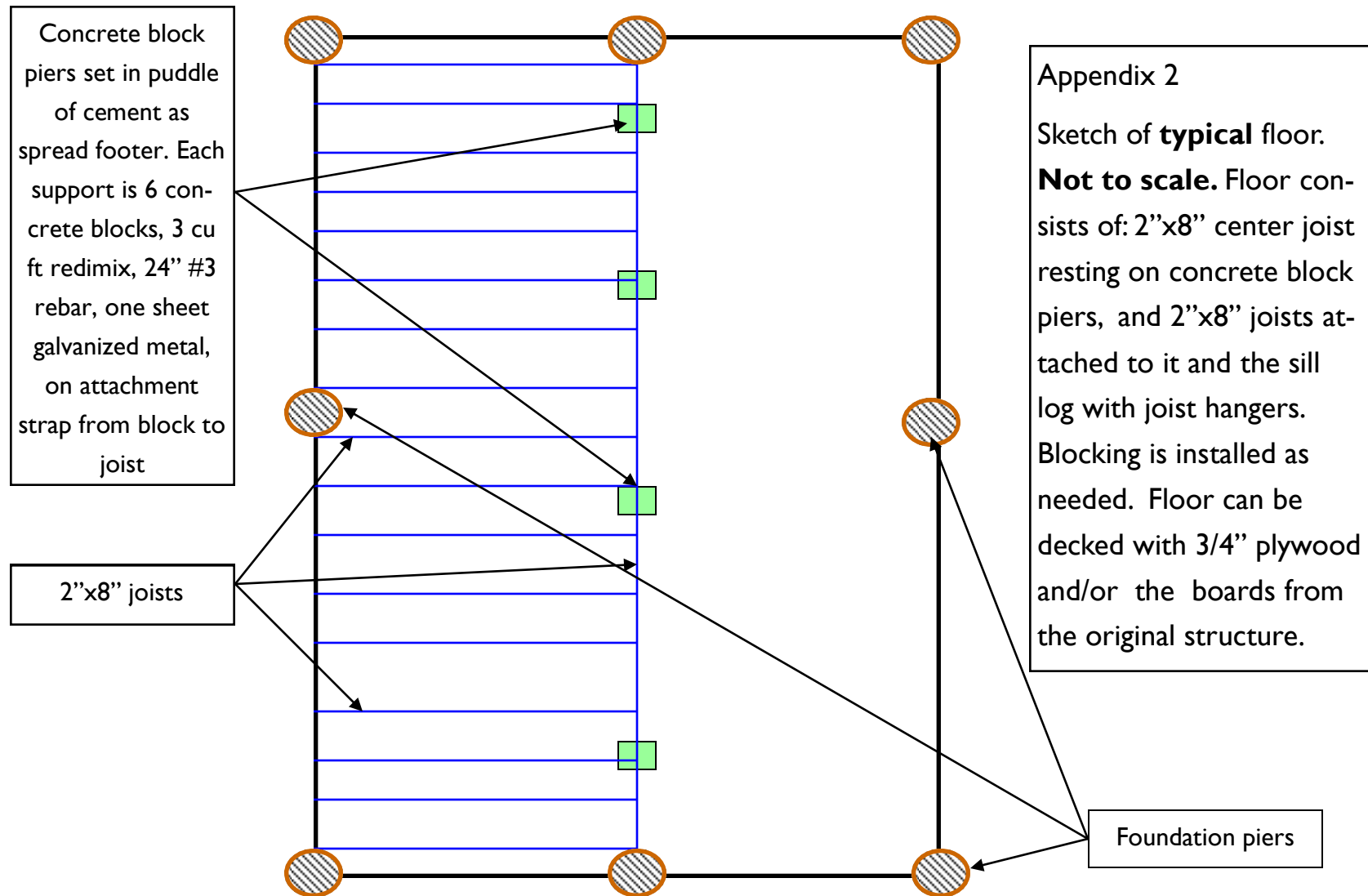
Cabin	Total Cost
D.A. Hull	\$30, 912
Herleman	\$35, 818
Fraser	\$38, 571
Clat Adams	\$36, 754
Corn Crib	\$50, 014
Church	\$37, 427
Smoke House	\$1, 759
Total	\$231, 255

Bibliography

- 1980 Goodall, Harrison and Renee Friedman. Log Structures Preservation and problem Solving. The American Association for State and Local History. Nashville, TN



Appendix 1. Schematic of pier system for cabin foundations
 Attachments of the log to pier and use of impel rods.



Appendix 3

Treatment Options and Getting Started

The recommendation to disassemble the cabins rather than to jack them up and replace the foundation and various logs while holding several courses in the air on blocking is based on the overall condition of these buildings. Deteriorated cabins are not stable. Working under the cabins to install new foundations just complicates the work and adds safety issues and cost. Jacking up the cabins will not save the daubing as most of it will need to be removed to replace wall logs. When a cabin is jacked up and logs replaced, the building is rebuilt from the top down, hanging logs from the plate. Needless to say, it is more difficult and more costly to build upside down, and harder to make the connection to the foundation

There are safety unknowns with these buildings. No inspection can say with 100% certainty how each building is held together. Some corners are known to be spiked while some other appear not to be. But spikes can be hidden from view depending on where the spike is driven. Cutting spiked corners from a building held in the air can cause unexpected shifting of the load. There may be threaded stock between some logs that is hidden from view. This may be difficult to detach while the building is supported on jacks. Lastly, while some walls are in relatively good condition, the adjacent walls are not and it is not possible to disassemble two walls and leave two standing without considerable cost and effort. This is something that my crew is familiar with but not a skill volunteers should learn on their own. Disassembly is safer and provides a better look at the cabin's bones. It can be done fast and results in a better outcome. The costs for labor were all based on disassembly. Disassembly facilitates each log's individual cleaning, treating with borates, epoxy stabilization. An assembly line process is envisioned for the treatment of each cabin's logs.

After all the logs are treated and new logs hewn, and a good foundation under the cabin in the right place, rebuilding each cabin becomes much easier. The rebuilt cabin is stable, secure and will last for the foreseeable future. Logs can easily be attached to a new foundation and made weather tight. Logs will be secured with timber loc screws and daubed to make the building weather tight.

One possible way to reduce costs might be to remove the roof, with a crane, intact. And then attempt to replace the roof on the rebuild cabin. Mr. Gallagher has limited experience with such a technique; a local contractor may know more. As a percentage of the total, roof replacement ranges in cost from 17% at D.A. Hull to 40% at the Corn Crib. The shakes and the roof decks are fully deteriorated on every building; there is no saving them. If the roof structures are not to be as deteriorated as they appear, some would argue an attempt to save them (rafters and collar ties) could be made. Costing out this is beyond the scope of this report.

The work is scalable and greater efficiency and cost savings can be obtained if more than one building is undertaken at one time. There are costs repeated in every building, e.g. equipment rental costs would be incurred over a slightly longer time if two or more buildings were simultaneously restored, but at a lower total cost. Also the expense of misc lumber for bracing and support would be incurred once. The likelihood of lumber such as this lasting for 3, 4 or more years is slight. If foundations and floors were built for 2 or more cabins at once, greater efficiencies can be achieved by operating in an assembly line fashion. If all the buildings were disassembled, moved to a work place/storage area for treatment, new foundation could be built at once. In fact, since the location of these cabins on the island is not "sacred, all new foundations could be built next to the current location and as the cabins are disassembled, treated and rebuilt. The finished cabins would be in a slightly different spot. Constructing all the foundations at once would save by having it delivered rather than mixing it on site, from bags, by hand or in a small mixer. As the Friends think about their plans for undertaking this work, you will balance your funds, the condition of the building and approach you are taking, whether contracting for all the work on an individual building, doing some of the work with some contracted assistance or if you plan to do all the work through volunteer labor and donated materials. Part of that balancing act is tied to scaling the project up to gain some of the efficiencies described above.

Some of the materials specified in the report and sources.

150 ft/roll and \$66.00 per roll @
Home Depot



15/32 in. x 4 ft. x 8 ft. 3-Ply Rtd Sheathing
at Home Depot



Plytanium

Cedar Breather <http://www.benjaminobdyke.com/>



10 in. x 25 ft. Galvanized Steel Val-
ley Roll Flashing for interleaving in
shingles, Home Depot



Fabral 12-1/2 in. x 10-1/2 ft. Galvanized Steel
Ridge Cap, Home Depot



3 in. x 1-1/2 in. x 10 ft. Galvanized
Steel Drip Edge Flashing, Lowes



Lighthouse.com. Box of 250,
16" ody log screws \$300.



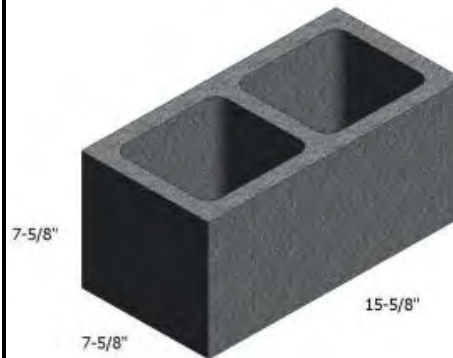
At Home Depot Sonotube 4'x12" dia \$11.64
each



Home Depot: Master Flow 24 in. x 36 in.
Galvanized Steel Flat Sheet



Simpson Strong-Tie LUS28Z Z-MAX
18-Gauge Steel Double-Shear Joist
Hanger (2'x8") Home Depot. \$1.05



Tarmac America 8 in. x 8 in. x 16 in.
Regular Block @ Home Depot \$1.70
ea



Construction Metals Inc.
4 in. x 25 ft. Galvanized Steel Kwik Mesh Roll
@ Home Depot @ \$9.18 ea

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Appendix G: Aquatics

1. Wavering Aquatic Center Audit by Staff
2. Attendance Chart for Pools

Wavering Aquatic Center

Facility Evaluation

The Wavering Aquatic Center opened in 1981, making the facility 30 years old in 2011.

The facility consists of a bathhouse, filter building, a diving pool, a main, 50 meter pool basin, a baby pool and a water slide.

Summary:

In general the main pool structures; pool basins, bathhouse, filter building and the pool water circulation, sanitation and filtering systems are in good condition. The main circulation pump was recently replaced and the chlorinator controller was replaced in 2008. The pool functions properly and there is nothing to indicate anything significant will fail in the next 5 years.

The pool piping is PVC and will not corrode.

The water slide has significant rusting to step brackets and slide frame supports. The pump and motor are old and showing signs of wear. The slide will likely need repairs in the next 5 years.

The facility will likely need modification to meet current ADA requirements. (Subject of a separate report)

Bathhouse

Summary: The bathhouse is in generally good condition with no significant maintenance needs. There are no known issues that would require major repairs in the next 10 years.

85' x 40'

Concrete Foundation

Concrete Floor

Concrete Block interior walls

Brick exterior

Wood Frame Gable Roof

Fiberglass Shingles





The building envelope is in good condition with no significant repairs needed to the foundation, walls or roof. The roof is approximately 10 years old and appears to have an additional 10 year of life remaining. There was some settling that caused cracking in the concrete block walls. This was repaired in approximately 2005 and no further settling or cracking has been observed. The water heater was replaced in 2010.

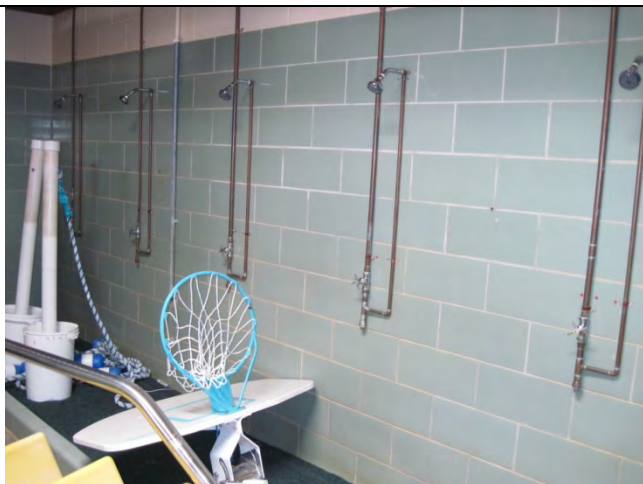
Needed Repairs: Facia and Soffet needs painting and some repairs. Where the sunscreen meets the concession area, water is trapped, causing the wood to deteriorate. This needs repaired and redesigned.



Women's Showers



Women's Shower Room



Men's Showers



Men's Shower Room



Soffet Water Damage



Soffet Water Damage

Filter Building

Summary: The filter building is in generally good condition with no significant maintenance needs. There are no known issues that would require major repairs in the next 10 years.

38' x 30'

Concrete Foundation

Concrete Floor

Concrete Block interior walls

Brick exterior

Wood Frame Gable Roof

Fiberglass Shingles





The building envelope is in good condition with no significant repairs needed to the foundation, walls or roof. The roof is approximately 10 years old and appears to have an additional 10 year of life remaining. Needed Repairs: Exterior Door to Acid Chemical Room needs replaced. Some of the metal supports and fitting are corroded and will need replaced in the next 5 years to prevent pipe failures.



Interior View – Main Level



Interior View – Lower Level

Filter

Summary - Filter: The pool has a low pressure sand filter system. The filter vessel is stainless steel and is in good condition. The main filter circulation pump was replaced in 2010. There are no known issues that would affect the filter system in the next 5 years.





Filter Housing Lower Level



Filter Pump

Sanitation System

Summary - Sanitation: The sanitation system is a tab chlorine system. This replaced a gas chlorine system in approximately 1998. The controller for the system was replaced in 2008. The system is in good condition and functions properly. There are no known issues that would affect the sanitation system in the next 5 years.



Chlorine Controller



Chlorinators (Tabs)

Basins

Summary - Basins: All pool basins; main, baby, diving, are free of significant cracks. They are holding water and functioning as designed. There is no significant repair history for the basin. Drain covers were modified to comply with new rules in 2009. The pool decks have some moderate cracking. There is nothing that would indicate a failure of these systems the next 5 years.



Main Basin



Deck Cracking



Diving Basin



Baby Pool

Plumbing

Summary: Nearly all pool plumbing is PVC pipe which will not failure due to corrosion. There was a failure in a single line that ran under the deck near the main basin approximately 12 years ago. This line pulled free from a fitting. A line in the filter building failed due to pressure. Most of the valves that control flow have been replaced at least once due to corrosion, but this is normal for pools.



Plumbing Example



Deck cut to repair filtered water pipe failure

Water Slide

The water slide was installed in 1985. The slide motor and pump are old (maybe original) but there has been a repair to the pump blades and bearings in approximately 2005. There is serious corrosion of the metal support components of the slide and stairs. This will likely need to be address in the next 5 years.



Water Slide



Slide Pump and Motor



Support Deterioration



Step Support Deterioratoin

Other Deteriorating Features

The fencing throughout the facility is old and rusting.

The diving board supports are badly rusted and may need replaced in the next 5 years.



Fence Rusting



Fence Rusting



Diving Board Support Rusting

POOL ATTENDANCE

